

DESIGN, ACCESS & HERITAGE STATEMENT

69 The Green, West Drayton UB7 7PW



PROJECT: REPLACEMENT SINGLE STOREY REAR EXTENSION & INTERNAL ALTERATIONS

This Design and Access Statement has been prepared to support an application for listed building consent and householder planning permission for the proposed works at 69 The Green, West Drayton, a Grade II Listed Building.

This Statement should be read in conjunction with all associated documentation attached to this application.

The level of information given in this Statement is appropriate and relevant to the extent of works proposed.

1. The Site & Property

The application relates to 69 The Green (also known as The Old House), a handsome 2-storey dwelling set on an extensive plot. The property is prominently positioned along The Green with several other listed buildings dotted around the open space. It is also within the West Drayton Conservation Area.

2. Planning History

No previous planning applications have been found on the London Borough of Hillingdon website.

3. The Proposal

The proposed works comprise the demolition of the existing single storey flat roof rear extension and replacement with a new pitched roof single storey extension. The proposed extension is 1m longer and approximately 1m wider taking the extension to within half a brick of the existing kitchen window.

Internally, the existing cloakroom is being altered to provide a WC at ground floor level.

The alterations to the listed building serve to enhance the appearance of the property.

4. Design

4.1 External Works

The existing extension is of modern cavity wall construction formed in stretcher bond painted Fletton bricks with a mineralised felt flat roof and UPVC gutters (see Photos 1 & 2). This is considered to be an entirely unsympathetic extension to the listed building and its replacement with a more appropriate form represents significant improvement.

The new extension will be of cavity wall construction however the external facing brickwork will utilise a more appropriate brick to match that of the original. Although of cavity construction, the external brick skin will be laid in a bond featuring snapped headers to replicate the solid brick bond featured on the rear elevation of the house. The pitched roof will be weathered with natural slate as the rear roof slope of the original house with Velux low profile Conservation range rooflights and black rainwater goods to match the existing house.

The works involve removing a section of brickwork on the rear elevation of the main dwelling; however, it should be noted that the majority of the masonry to be removed is previous infilling of what appears to have been at one time a larger window opening (see Photo 3). The only original brickwork is from sill to ground. This is illustrated on the Drawings MD1975 – 01LBC and 02LBC Rev A and shown in the Photographic Schedule appended to this Statement.

The new structural opening into the extension will be formed using a steel goalpost frame with new pad foundations (see Photo 4). This will prevent any new loads being concentrated on the existing (expected to be shallow) foundation and ensure that the remaining structure and rear elevation is fully stabilised.

4.2 Internal Works

The internal alteration to the existing cloakroom requires the construction of a non-loadbearing timber stud partition built off the existing floor to provide a new WC (see Photo 5). A new foul drain will be laid underground to connect the sanitary appliances to the existing foul drain run as shown on the Drawings MD1975-01 & 02. This will require the foul pipe being taken through the floor and external wall. It will not be visible externally and requires localised disruption to the modern ceramic tile floor finish of the existing room (see Photo 6). This operation will be carried out carefully using hand tools to ensure minimal disruption to the structure.

4.3 Access

There are no issues regarding access.

5. Heritage Statement

5.1 *Historical record of the building*

Heritage Category: Listed Building
Grade: II
List Entry Number: 1080250
Date first listed: 05-Sep-1974
List Entry Name: THE OLD HOUSE
Statutory Address 1: THE OLD HOUSE, 69, THE GREEN

THE GREEN (East Side) WEST DRAYTON No 69 (The Old House) TQ 0579 29/133 II 2. Early C18. Brown brick. 2 storeys, 3 double hung sashes in surrounds with rubbed red brick flat arches. Door has cornice-hood on brackets. Brick bands above ground and 1st floors. Parapet, old red tile roof. Listing NGR: TQ0587679305

5.2 *Analysis of the significance of the history and character of the structure*

The property has been constructed, adapted and enlarged in several phases. The rear of the property was originally a cottage, dating from the late C17th/early C18th and would have been timber frame construction with rendered infill panels, a shallow pitched roof finished in slate tiles and timber casement windows.

The C18th was a time of expansion for the village of West Drayton and the property was extended to the front with a much grander façade featuring a double fronted elevation with early six over six, vertically sliding sash windows. The windows are of significant historic interest and potentially original to the building and are positioned flush along the building façade. Their positioning means the windows were not altered in accordance with the 1709 and 1774 Buildings Act, which required windows and doors to be set back from external brickwork by at least 4 inches. The property is finished in well-weathered red brick, contrasting brick arches over the windows, plain clay tiles and flanking chimney stacks.

Some parts of the property have been modernised and an inappropriate cement-based render has been applied to the rear of the building. The single-storey extension is a C20th addition.

The opening of the Grand Union Canal saw the industrialisation of West Drayton, particularly in the field of brickmaking, and a growth in housing in the area. The subject property is therefore an important, historic contributor to the area and, together with several other listed and historic buildings, still frames the once agrarian space that remains known as The Green.

5.3 *The principles of, and justification for, the proposed works and their impact on the fabric, special character and setting of the listed building and the setting of adjacent listed buildings.*

The proposed works as described above in the Design section will replace the existing flat roof single storey extension with a structure that will reintroduce some sympathetic materials and improve the appearance and character of the overall property. The proposed extension will be slightly larger to accommodate better internal living space so that occupiers can enjoy the extensive garden space.

The works to accommodate the foul drain will be carried out carefully using hand tools to ensure minimal disruption to the structure.

It is considered that the proposed works will overall enhance the appearance of the listed building and have no detrimental impact on the fabric, special character or setting of the property itself or adjacent buildings.

6. Conclusion

This Statement has outlined the proposed works to the listed building and explained how they will be carried out with due care and attention to the treatment of historic materials.

The entirely unsympathetic flat roof extension to the listed building will be replaced with a more appropriate form.

Internal alterations include the construction of a non-load bearing timber stud partition built off the existing floor to create a WC at ground floor and drainage works.

Overall, it is considered that the proposed works represent a significant improvement to the appearance of the property and a desire to enhance the property without compromising its historic and architectural features.

APPENDIX 1 – PHOTOGRAPHIC SCHEDULE



Photo 1 – Existing single storey rear extension



Photo 2 – Existing single storey rear extension



Photo 3 – Section of external wall modern infill



Photo 4 – Location of proposed enlarged opening into the extension

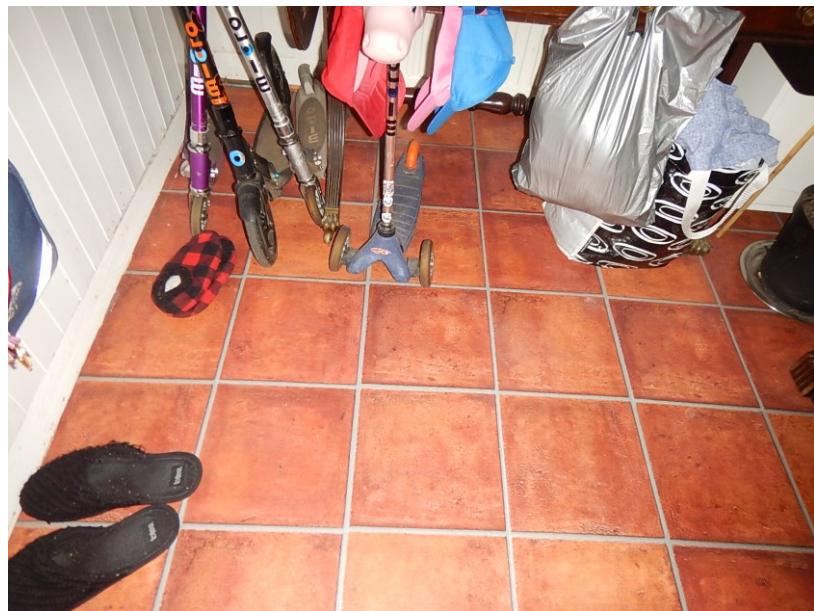


Photo 5 – Cloakroom to be converted to include WC



Photo 6 – Modern floor finish in existing cloakroom