

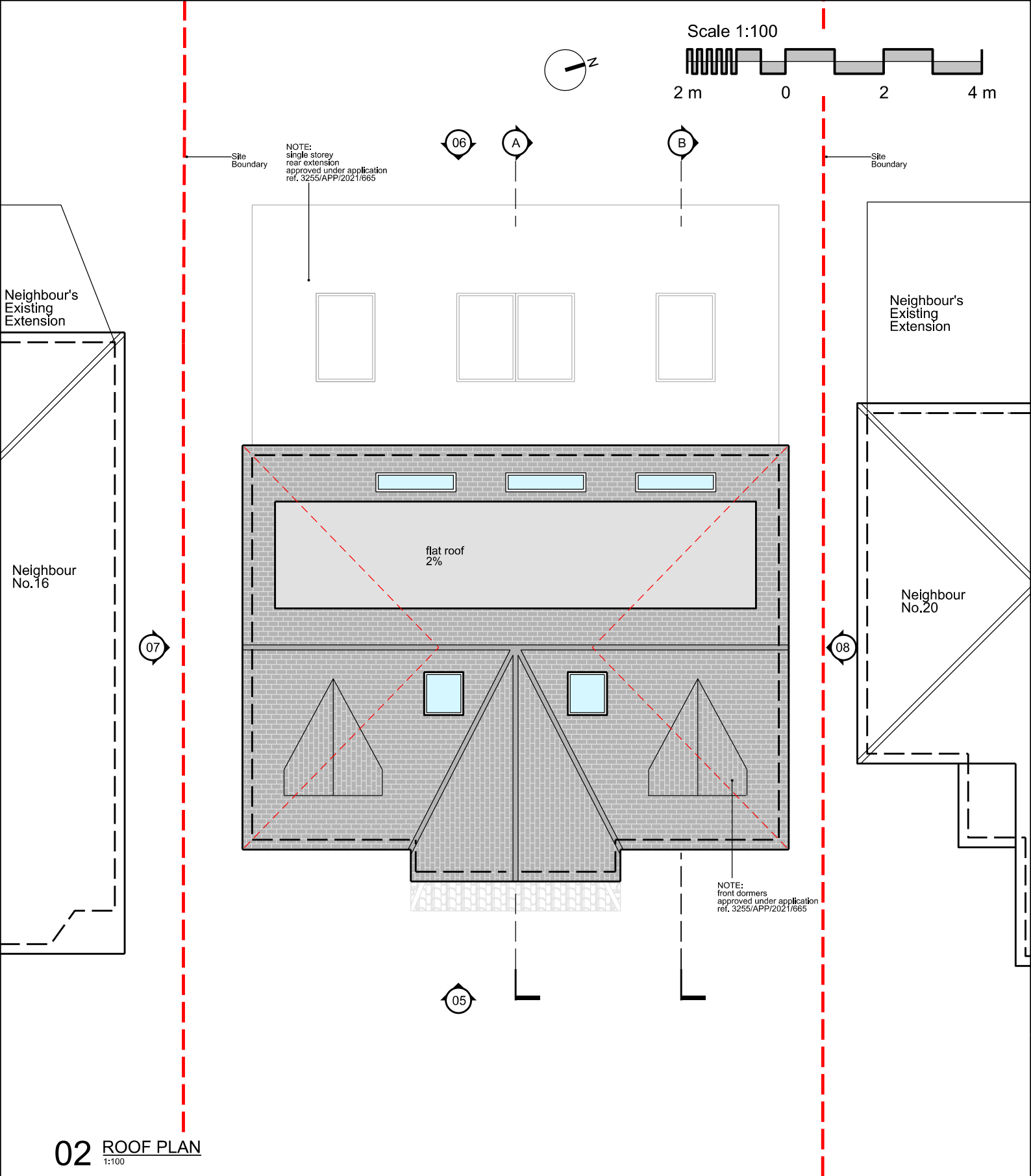
# 01 FIRST FLOOR PLAN

1:100

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Notes: All dimensions in millimeters.
KEY:  SITE BOUNDARY —

Rev: '00	Notes: Planning Submission	Date: 28.02.2023	Drawn: MG	Issd: MG	Author: <b>Maria Golasowska</b> M Eng, Dip Arch, BA (Hons) ARB no. 077808G Director, MGDC Ltd. M: 077 3138 7952
Client: <b>Mr Sam &amp; Mrs Rachel Blake</b> 18 St Edmunds Avenue Ruislip Hillingdon Middlesex HA4 7XW			 [ Architecture ] [ Interior Design ] 246 Watson Heights Chalfont St Giles United Kingdom T: +44 (0) 20 3715 7751 E: office@mgdc.info		
			<b>Maria Golasowska</b> Design Consultancy <b>MGDC LTD</b>		

Project: Private Detached Residential Dwelling 18 St Edmunds Avenue, Ruislip Hillingdon, Middlesex HA4 7XW		
Drawing Title:  SURVEY AS EXISTING  First Floor Plan		
Drawn By: MG	Issued By: MG	Date of First Issue: 28.02.2023
Project No: EX-HA-A-018D	Scale @ A4: 1:100	
Drawing No: A-HA-018D-PL-111		Revision: 00



## 02 ROOF PLAN

1:100

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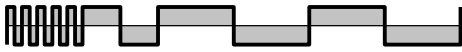
**Notes:**  
All dimensions in millimeters.

**KEY:**  
SITE BOUNDARY —

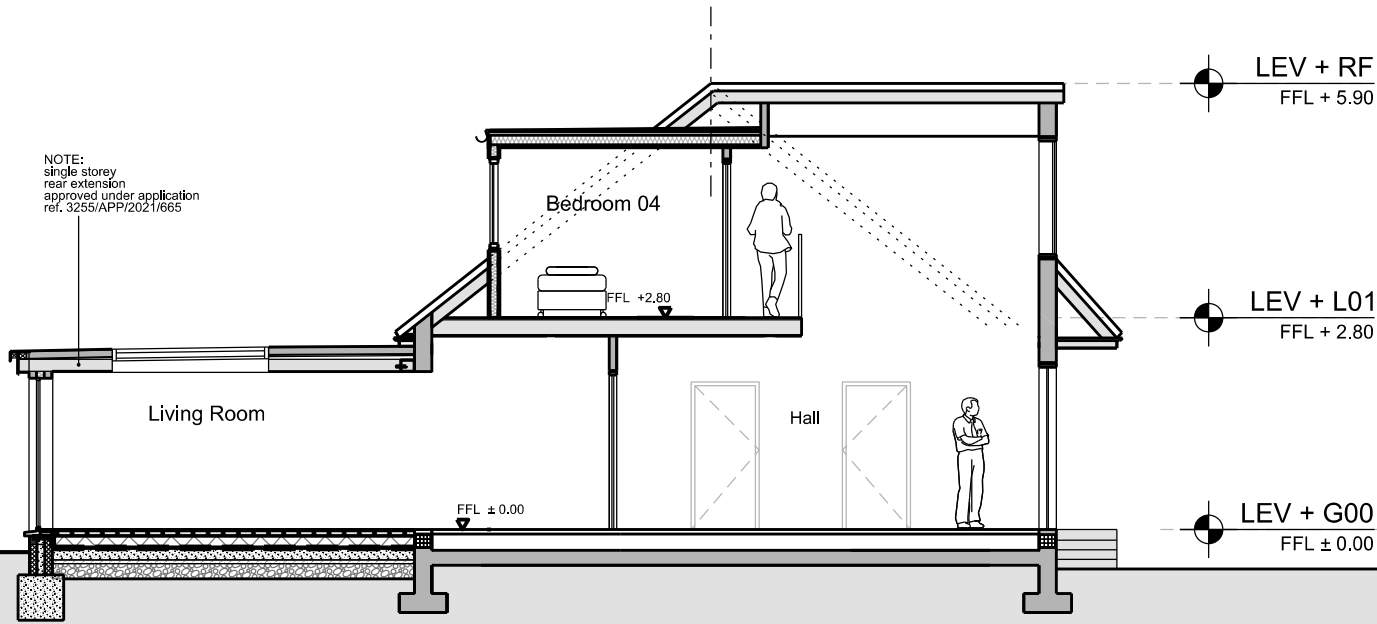
Rev'	Notes	Date	Dwn'	Iss'	Author
00	Planning Submission	28.02.2023	MG	MG	<b>Maria Golasowska</b> M Eng, Dip Arch, BA (Hons) ARB no. 077808G Director, MGDC Ltd. M: 077 3138 7952
Client: <b>Mr Sam &amp; Mrs Rachel Blake</b> 18 St Edmunds Avenue Ruislip Hillingdon Middlesex HA4 7XW					 [ Architecture ] [ Interior Design ] 246 Watson Heights Chalfont St Giles United Kingdom T: +44 (0) 20 3715 7751 E: office@mgdc.info
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Project: <b>Private Detached Residential Dwelling</b> 18 St Edmunds Avenue, Ruislip Hillingdon, Middlesex HA4 7XW		
Drawing Title: <b>SURVEY AS EXISTING</b> Roof Plan		
Drawn By: <b>MG</b>	Issued By: <b>MG</b>	Date of First Issue: <b>28.02.2023</b>
Project No: <b>EX-HA-A-018D</b>	Scale @ A4: <b>1:100</b>	
Drawing No: <b>A-HA-018D-PL-112</b>	Revision: <b>00</b>	

Scale 1:100

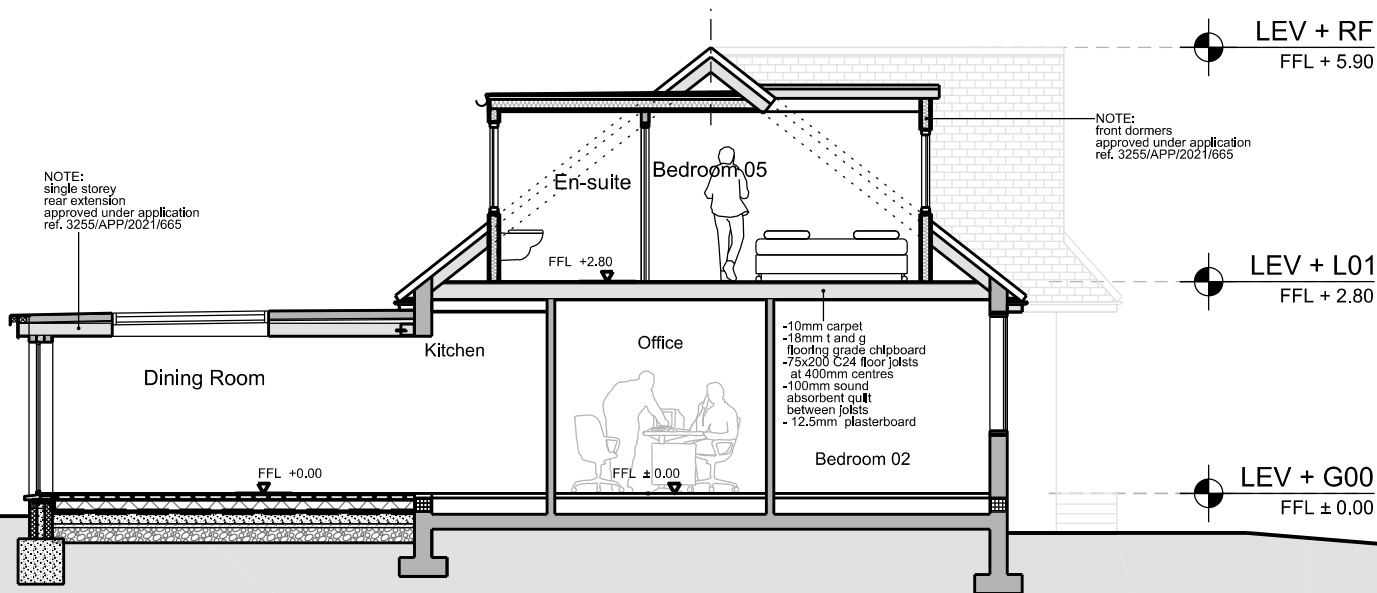


2 m 0 2 4 m



### 03 SECTION A-A

1:100



### 04 SECTION B-B

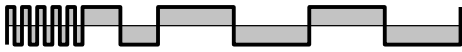
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<p>Rev: '00</p> <p>Notes: Planning Submission</p> <p>Date: 28.02.2023</p> <p>Dwn: MG</p> <p>Iss: MG</p>	<p>Author:</p> <p><b>Maria Golasowska</b> M Eng, Dip Arch, BA (Hons) ARB no. 077808G Director, MGDC Ltd. M: 077 3138 7952</p>
<p>Client:</p> <p><b>Mr Sam &amp; Mrs Rachel Blake</b> 18 St Edmunds Avenue Ruislip Hillingdon Middlesex HA4 7XW</p>	<p><b>MG LTD</b></p> <p>[ Architecture ] [ Interior Design ]</p> <p>246 Watson Heights Chalfont St Giles United Kingdom T: +44 (0) 20 3715 7751 E: office@mgdc.info</p> <p><b>Maria Golasowska</b> Design Consultancy <b>MGDC LTD</b></p>

Project: Private Detached Residential Dwelling 18 St Edmunds Avenue, Ruislip Hillingdon, Middlesex HA4 7XW		
Drawing Title:  SURVEY AS EXISTING Sections A-A & B-B		
Drawn By:  MG	Issued By:  MG	Date of First Issue:  28.02.2023
Project No:  EX-HA-A-018D	Scale @ A4:  1:100	
Drawing No:  A-HA-018D-S-210		Revision:  00

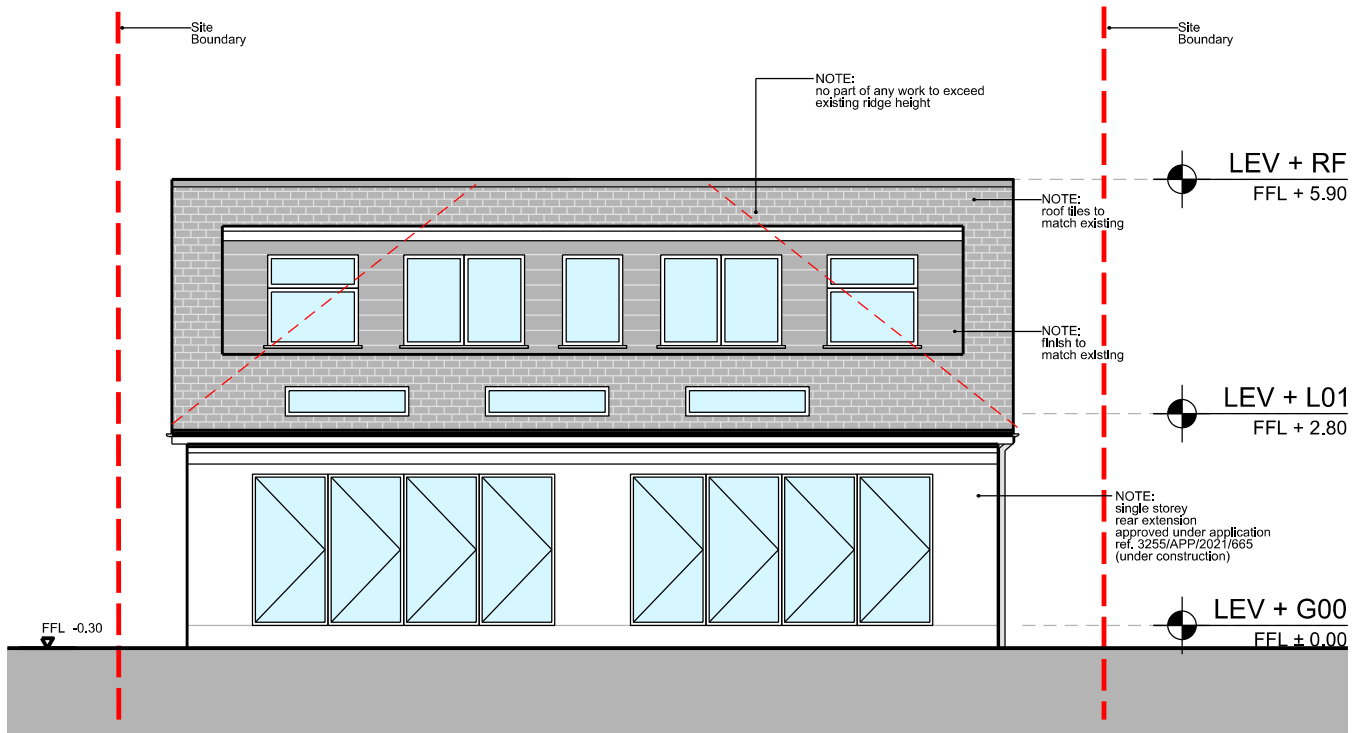
Scale 1:100



2 m 0 2 4 m



05 FRONT ELEVATION  
1:100



06 REAR ELEVATION  
1:100

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<p><b>KEY:</b></p> <p>SITE BOUNDARY —</p>

<p>Rev: '00</p> <p>Notes: Planning Submission</p> <p>Date: 28.02.2023</p> <p>Dwn: MG</p> <p>Iss: MG</p>	<p>Author:</p> <p><b>Maria Golasowska</b></p> <p>M Eng, Dip Arch, BA (Hons)</p> <p>ARB no. 077808G</p> <p>Director, MGDC Ltd.</p> <p>M: 077 3138 7952</p>	<p>Client:</p> <p><b>Mr Sam &amp; Mrs Rachel Blake</b></p> <p>18 St Edmunds Avenue</p> <p>Ruislip</p> <p>Hillingdon</p> <p>Middlesex</p> <p>HA4 7XW</p>	<p><b>MG LTD</b></p> <p>[ Architecture ] [ Interior Design ]</p> <p>246 Watson Heights</p> <p>Chelmsford CM1 1AP</p> <p>United Kingdom</p> <p>T: +44 (0) 20 3715 7751 E: office@mgdc.info</p>	<p><b>Maria Golasowska</b></p> <p>Design Consultancy</p> <p><b>MGDC LTD</b></p>
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<p>Project:</p> <p><b>Private Detached Residential Dwelling</b></p> <p>18 St Edmunds Avenue, Ruislip</p> <p>Hillingdon, Middlesex HA4 7XW</p>	<p>Drawing Title:</p> <p><b>SURVEY AS EXISTING</b></p> <p>Front and Rear Elevations</p>	<p>Drawn By:</p> <p>MG</p>	<p>Issued By:</p> <p>MG</p>	<p>Date of First Issue:</p> <p>28.02.2023</p>
<p>Project No:</p> <p>EX-HA-A-018D</p>	<p>Scale @ A4:</p> <p>1:100</p>	<p>Drawing No:</p> <p>A-HA-018D-EL-310</p>	<p>Revision:</p> <p>00</p>	

**NOTE:**  
no part of any work  
to exceed  
existing ridge height

NOTE:  
new window  
with obscure  
glass and opening  
1.70m above  
floor level

**NOTE:**  
hip to gable end roof conversion,  
smooth white render

NOTE: \_\_\_\_\_  
proposed rear dormer  
with tile hung cheeks  
to match main roof

—NOTE:  
front dormers  
approved under application  
ref. 3255/APP/2021/665

NOTE: \_\_\_\_\_  
single storey  
rear extension  
approved under application  
ref. 3255/APP/2021/665

$$\frac{\text{LEV} + \text{RF}}{\text{FFL} + 5.90}$$
$$\frac{\text{LEV} + \text{L01}}{\text{FFL} + 2.80}$$
$$\frac{\text{LEV} + \text{G00}}{\text{FFL} + 0.00}$$

07 SIDE ELEVATION 01  
1:100

$$\frac{0.1}{1.100}$$
$$\frac{\text{LEV} + \text{RF}}{\text{FFL} + 5.90}$$

NOTE: front dormers approved under application ref 3255/APP/2021/665

NOTE:  
— proposed rear dormer  
with tile hung cheeks  
to match main roof

NOTE:  
Minimum of 0.2m from eaves  
to edge of the enlargement  
to be measured along the roof slope  
from the edge of the enlargement  
to the outer edge of the eaves  
The enlargement will not overhang  
the outer face of the wall  
of the original house

$$\frac{\text{LEV} + \text{L01}}{\text{FFL} + 2.80}$$

Garden

NOTE:  
single storey  
rear extension  
approved under application  
ref. 3255/APP/2021/665

$$\frac{\text{LEV} + \text{G00}}{\text{FFL} \pm 0.00}$$

## 08 SIDE ELEVATION 02

1:100

KEY:

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Drawing No:	Revision:
A-HA-018D-EL-311	100