

**Proposed Extensions to
52 Gatehill Road
Northwood
HA6 3QP**



Design Statement

11th June 2024 – P3

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Proposed Extensions to 52 Gatehill Road, Northwood

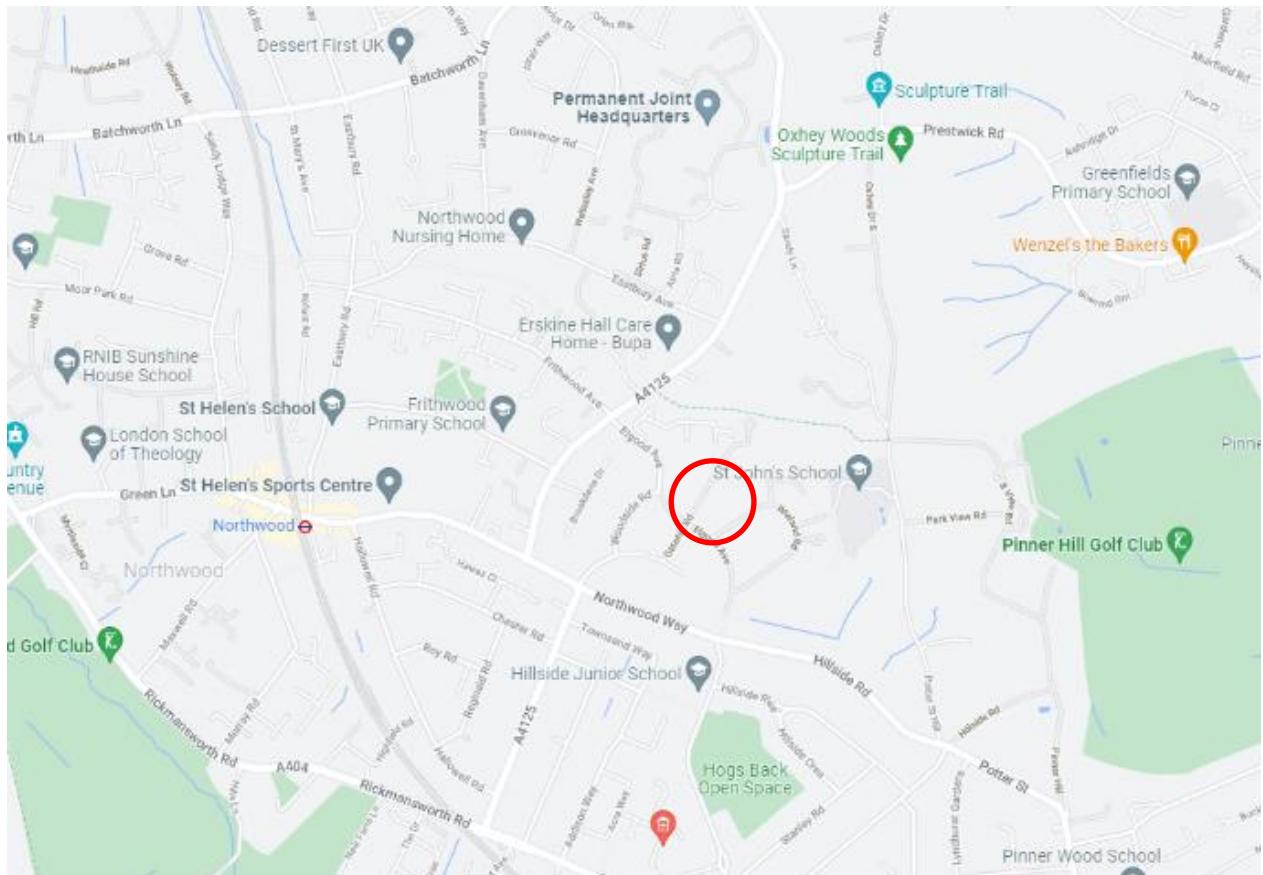
Design Statement

Introduction

This Design Statement accompanies a Householder Planning Application relating to proposals to carry out extensions to 52 Gatehill Road, Northwood HA6 3QP, and should be read in conjunction with drawings and other documents submitted herewith.

The approximately 0.16ha site is located on the east side of Gatehill Road, approximately 30m south of its junction with Willow End. It is occupied by a large, detached, two-storey dwelling with an existing two-storey and single storey side extension, an existing single-storey rear and side extension and a detached garage to the south. The dwelling has a tiled, hipped roof and is constructed in red brick and cream render, with hung tiles on the first floor.

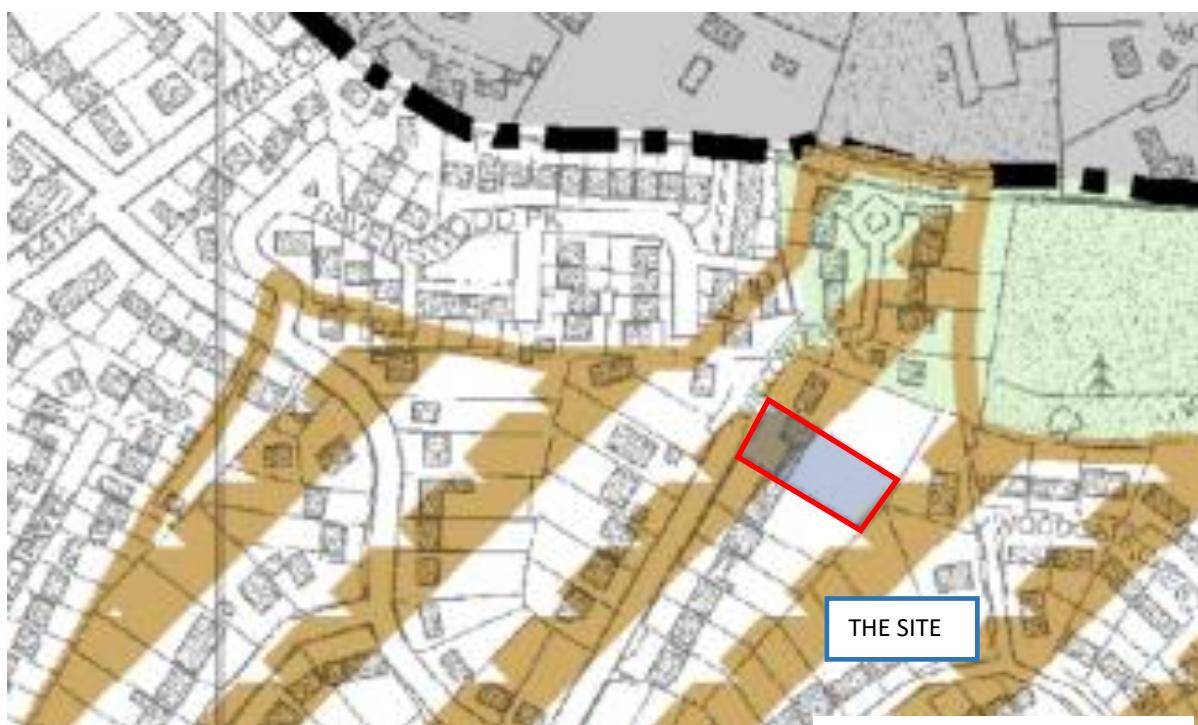
The site is located in the Gatehill Farm Estate Northwood Area of Special Local Character, lies within the area of Tree Preservation Orders 165 and 796, a Critical Drainage Area and has a Public Transport Accessibility Level (PTAL) of 1b (poor). The area is generally characterised by large, detached, two storey dwellings with large gardens.



Site location



Aerial view



Residential Area of Special Character

Relevant Planning Policies

1. Policy DMHB5 of the Hillingdon Local Plan: Part Two – Development Management Policies.
Alterations should respect the established scale, building lines, height, design and materials of the area.
Extensions to dwellings should be subservient to, and respect the architectural style of the original buildings.
2. Policy DMHB11 of the Hillingdon Local Plan: Part Two – Development Management Policies.
All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and incorporate principles of good design.
3. Policy DMHD1 of the Hillingdon Local Plan Part two – Development Management Policies.
Alterations and extensions to residential dwellings to ensure that:
 - There is no adverse cumulative impact of the proposal on the wider character, appearance or quality of the area.
 - A satisfactory relationship with adjacent dwellings is achieved.
 - New extensions appear subordinate to the main dwelling in their floor area, width, height and depth.
 - New extensions respect the design of the original house and be of matching materials.
 - There is no unacceptable loss of outlook to neighbouring occupiers.
 - Adequate garden space is retained.
 - Adequate off-street parking is retained.
 - Trees, hedges and other landscape features are retained.
 - All extensions are designed in keeping with the original house.

Rear extensions

- Single storey rear extensions to detached houses should not exceed 4.0 metres in depth.
- Pitched or sloping roofs on single storey extensions should not exceed 3.4 metres in height.
- Pitched roofs on extensions should be of similar pitch and materials to that of the original roof and subordinate to it in design.
- Full width two storey extensions are not considered acceptable.

Side extensions

- Should not exceed half the width of the original property.
- Two storey side extensions should be set back 1.5 metres behind the main front elevation.

Roof extensions

- Should be located on the rear elevations only, be subservient to the scale of the existing roof and should not exceed more than 2/3rds of the average width of the original roof.

Planning history

A proposal to extensively extend the property was submitted for pre-application advice by Seabrook Architects in March 2022, reference 32280/PRC/2022/55.

Under this pre-application, the erection of part 1 storey/part 2 storey rear and side extension, loft conversion and installation of 4 rooflights was objected to for a number of reasons including:

- *Because the existing dwelling has a two storey and single storey side extension and an existing single storey rear extension, the addition of the proposed single storey rear extension exceeds the Policy DMHD 1 guidance of 4m in depth for single storey rear extensions to detached houses. The proposed extensions are not considered to appear subordinate to the original dwelling, especially when considering the cumulative impact of the existing extensions.*
- *The proposed extensions would detract from the architecture of the original dwelling and would have an adverse impact on the character and appearance of the Gatehill Farm Estate Northwood Area of Special Local Character, the original dwelling, the street scene and the local area. They would be contrary to the requirements of Policies DMHB 5, DMHB 6, DMHB 11 and DMHD 1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020) and could not be supported by the Council.*
- *Cumulatively the width of the existing and proposed side extensions would exceed more than half the width of the original property, which would be contrary to the requirements of Policy DMHD 1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020) and could not be supported by the Council.*
- *The rear balcony to the proposed two storey side extension would overlook and cause a loss of privacy to the occupiers of no. 50 Gatehill Road. There are also concerns that the cumulative impact of the extensions would appear overbearing and result in a loss of outlook from the gardens of the neighbouring properties.*
- *Consideration also needs to be given to the differing ground levels between the properties in demonstrating the proposed impact on neighbouring amenity. As currently proposed that proposal would adversely impact on the amenity of adjacent properties contrary to the requirements of Policies DMHB 11 and DMHD 1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020) and could not be supported by the Council. Consideration needs to be given to these matters for any subsequent planning application.*
- *Any future application should include a landscape scheme with hard and soft landscaping proposals that are appropriate to the character of the area and support and enhance biodiversity and amenity. It should also include a tree report, including an accurate tree survey showing the location, height, spread and species of existing trees and an arboricultural impact assessment. Where the tree survey identifies trees of merit, tree root protection areas and an arboricultural method statement will be required to show how the trees will be protected.*

Following a subsequent meeting and related discussions between Seabrook and the planning officer, 2 applications were submitted for a Lawful Development Certificate for:

- Erection for a first floor extension to the rear under Permitted Development (App Ref. 32280/APP/2023/1443) – application REFUSED
- Erection of a single storey extension to side under Permitted Development (App Ref. 32280/APP/2023/1435) – application APPROVED

The reasons for refusal for 32280/APP/2023/1443 are given as:

- 1 *The proposed development does not constitute permitted development by virtue of the provisions of Schedule 2, Part 1, Class A, paragraphs (j)(i)(ii)(iii) and (ja) of the Town and Country Planning (General Permitted Development) (England) Order 2015 as the enlarged part of the dwellinghouse would exceed 4 metres in height and have more than a single storey.*
 - a) *Schedule 2, Part 1, Class A , paragraph A.1(c) as the height of the enlarged part of the dwellinghouse would exceed the height of the highest part of the roof of the existing dwellinghouse. As demonstrated in drawing 5797 PD020.*
 - b) *Schedule 2, Part 1, Class A , paragraph A.1(j)(i) as the enlarged part of the dwellinghouse would exceed 4 metres in height.*
 - c) *Schedule 2, Part 1, Class A , paragraph A.1(j)(ii) as the enlarged part of the dwellinghouse would have more than a single storey*
 - d) *Schedule 2, Part 1, Class A , paragraph A.1(j)(iii) as the total enlarged part of the dwellinghouse would have a width greater than half the width of the original dwellinghouse*
 - e) *Schedule 2, Part 1, Class A , paragraph A.3(b) as the proposed side facing master bedroom window is not annotated as non opening to 1.7m and/or obscured glazed*

This decision has regard to paragraph A.a(ja) of Class A of Part 1 which notes that any total enlargement (being the enlarged part together with any existing enlargement of the original dwellinghouse to which it will be joined) exceeds or would exceed the limits.

Pre-Application Advice

Following the planning and design history outlined above, the Client instructed Amber Architecture Limited to take the project forward. Amended design proposals were prepared and a further pre-application process followed.

Pre-Application Ref. 32280/PRC/2023/118

Outline proposals were submitted to the LPA in October 2023 for pre-application advice. An on-line meeting was held with planning officer Emilie Bateman in December 2023 and written advice received dated 18/12/23.

The new proposals sought to extend the property by way of part single, part two storey side and rear extensions, with conversion of the resulting enlarged loft space, providing enlarged ground floor accommodation, larger bedrooms at first floor all with ensuite accommodation, and an attic room including a rear dormer and rooflights.

The meeting and written response was considered positive, with the following areas requiring review and amendment:

- *The proposed ground floor front facing window to be reduced in scale to appear of a similar size to the other front elevation fenestrations.*
- *The first floor rear extension would only be marginally set off the original dwelling, giving the appearance of a full width rear extension. Any future submission should include a meaningful retention of the original first floor elevation.*

Following a design review, the proposals were amended and resubmitted in January 2024 for follow-up pre-application advice. The main areas of amendment included:

- The rear extension was reduced in width to give an off-set of 2.65 metres from the corner of the original rear wall.
- The amendments resulted in a change in roof form, creating a modest crown roof.

A further meeting with Emilie Bateman was held in March 2024, and written response received dated 28/03/24.

The follow-up response included the comment:

- *The first floor rear extension would be more meaningfully set in than previously proposed, however it is recommended that the rear extension is set in further, reducing the height and width of the extension.*

As a result of this useful exercise, the rear extension has now been reduced further, with an off-set of 3.53 metres from the corner of the original rear wall, with the extension main roof height being approximately 215mm lower than the earlier proposal, and the crown roof being substantially reduced. The pre-application process now concluded, the full application information has been prepared and is presented to the LPA for approval.

The Proposal

The property currently comprises kitchen, lounge, and dining room, study and utility room at ground floor, with 4 bedrooms, a shower room and bathroom at first floor level.

The application seeks to extend the property by way of part single, part two storey side and rear extensions, with conversion of the resulting enlarged loft space, providing enlarged ground floor accommodation, larger bedrooms at first floor all with ensuite accommodation, and an attic bedroom with ensuite and wardrobe area.

All comments and advice given in the previous pre-application enquiries and LDC applications have been reviewed and inform this proposal.

Front elevation - The front elevation of the original house would remain, with the only proposed changes being an enlarged window to the first floor bedroom, and a sloping rooflight serving the attic room.

Side extensions - The application would:

- retain the existing single storey side extension
- utilise the approved single storey side extension granted under Lawful Development Certificate (App ref. 32280/APP/2023/1435).
- seek planning approval for a link to the existing single storey and Permitted Development single storey elements (500mm gap resulting from PD application).
- seek planning approval for a 2 storey side extension, with a width of 1.85m ensuring that the cumulative width of side extensions does not exceed half the width of the original property. The side extension would be set back 1.5 metres behind the main front elevation, and appear subordinate to the main dwelling.

Rear extensions - A further extension of the existing single storey rear extension is proposed to a maximum of 4 metres depth from the original house. This extension is proposed to be taken up to 2 storeys, but set back from the side of the original house so as not to be full width. The proposed extension would 'wrap around' on the south side to align with the 1.85m side extension described above.

A small single storey rear extension is proposed to the existing side extension, not exceeding 4.0 metres in depth, and 3.4 metres in height.

Roof and loft conversion - The proposed roof of the existing dwelling would be retained. New roofs would be of similar pitch and finished with matching materials. The ridge height of the side extension would be lower than the main roof, and hipped, with a matching eaves height. A small crown roof would be utilised on the extended roof to simplify the roof geometry and to minimise the height of the building.

The depth of the new roof when viewed from the side would be broken up by a new chimney, of similar style and materials to the existing chimneys on the north side of the house. The existing central chimney would be removed.

It is proposed to utilise the enlarged roofspace created by the extension, and a modest dormer window would be proposed on the rear elevation. In addition, sloping rooflights would be proposed to provide natural light and ventilation – rooflights will be conservation style with limited protrusion from the roof slope..

Materials

Existing external materials are a mix of brickwork, cream render and tile hanging to the walls, with plain clay tiles to the roof. The proposed material palette will comprise facing brickwork and tile hanging to match the existing. Windows and doors will also match the style of the existing.

Floor areas

Existing area (GEA)	ground floor	167.4 m2	
PD approved	ground floor	27.9 m2	
	first floor	100.1 m2	total = 295.4 m2 GEA
Proposed area (GEA)	ground floor	14.7 m2	(rear extension)
		2.3 m2	(link extension)
	First floor	42.1m2	
	Loft	52.5 m2	total = 111.6 m2 GEA

Design approach

Initial design work looking at the potential to extend the property was carried out by Seabrook Architects. The applicants Mr & Mrs Cheema had worked with Seabrook with a view to improving and enlarging their property over a period of nearly 2 years. Following the refusal of the Lawful Development Certificate for a rear extension the applicants sought alternative advice from Amber Architecture Limited to take a fresh look at the property and to produce a design that both meets the requirements of the applicants and addresses the concerns and issues that have arisen from the previous designs.

In considering the previous pre-application advice given to Seabrook and the applicants, and the development policies relevant to the property, the current proposals have evolved, and it is considered that working with the planning officer has resulted in a proposal that both meets planning policies and the aspirations of the Clients to extend their home.

It is our view that the submitted proposal addresses the policies, specifically:

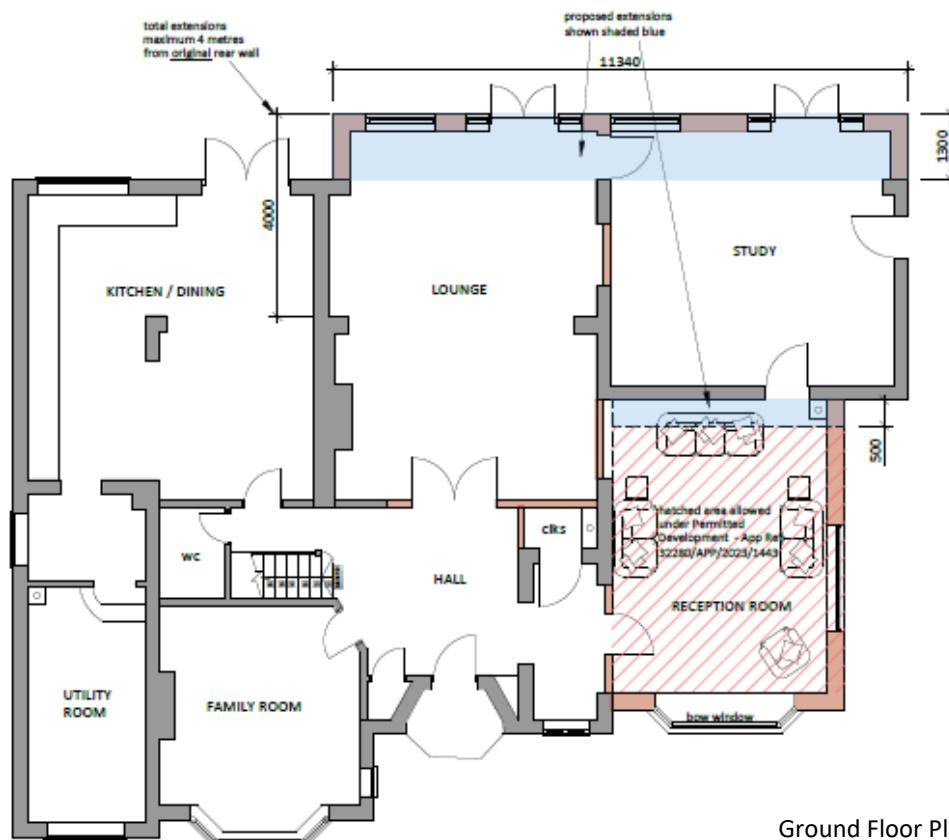
- Reflects the character of the area, respecting established scale, building lines, height, design and materials.
- The side extensions are subservient to and respect the architectural style of the original buildings.
- Side extension is set back 1.5 metres from the main front elevation.
- Side extensions cumulatively do not exceed more than half the width of the house.
- No loss of outlook to neighbouring dwellings and relationship to adjacent dwellings is retained.
- Adequate garden space is retained.
- Adequate off-street parking is retained.
- Trees, hedges and landscape features are retained.
- All extensions are in keeping with the original house.
- Single storey rear extensions do not exceed 4.0 metres depth or 3.4 metres height.
- Two storey rear extension is not full width and retains a meaningful extent of the original dwelling visible.
- Pitched roofs are of a similar pitch and materials to that of the original roof, and are subordinate in design.
- The proposed dormer window is rear facing and is appropriately sized.

Design summary

The design seeks to increase the gross internal floor area of the property from 3,180ft² to circa of 4,380ft², to provide a 4-bedroom 4 bathroom property.

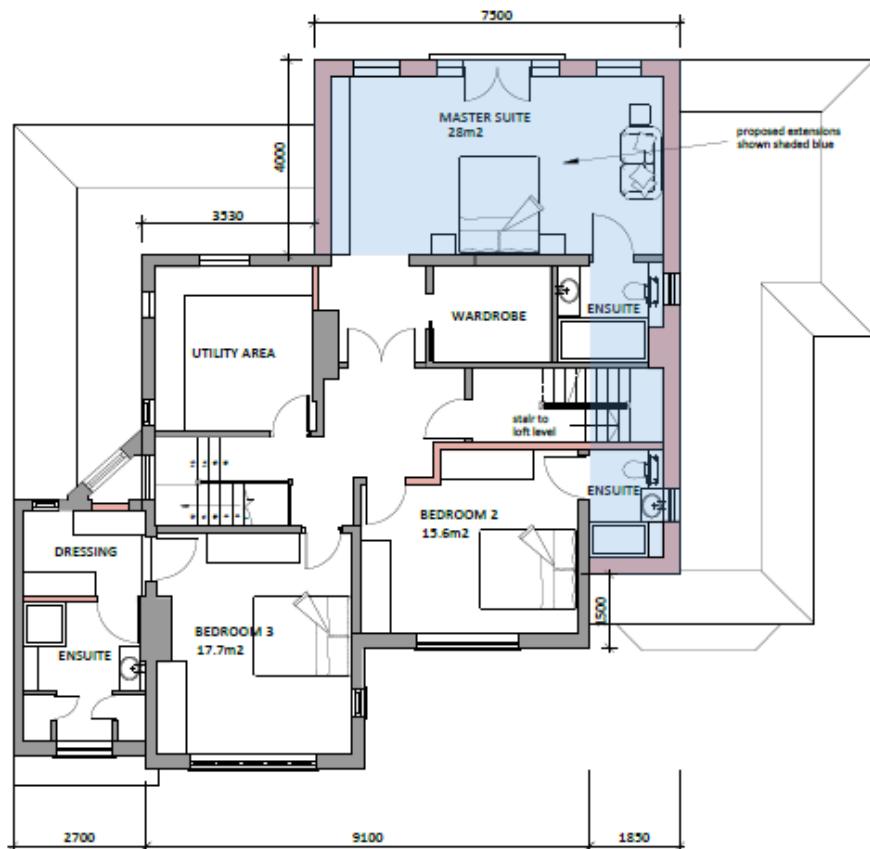
Ground floor accommodation proposed includes a new reception room plus enlarged lounge and study.

The footprint of the building is proposed to increase from 195.3m² (GEA) to 207.8m². It is considered that this is appropriate in a plot of 0.16 acres, is in line with other properties within Gatehill Road and is appropriate for the area.

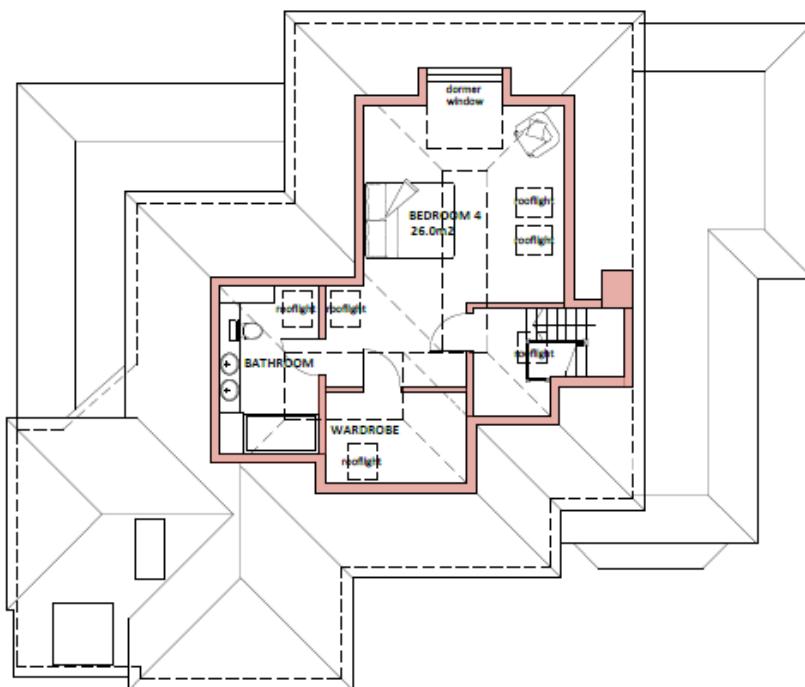


Ground Floor Plan –
proposed extension areas
shaded blue

Proposed first floor accommodation predominately comprises a rear extension for a new master bedroom with ensuite accommodation, internal remodelling with a new stair to the loft level, and a new ensuite over the new side addition serving the front bedroom.

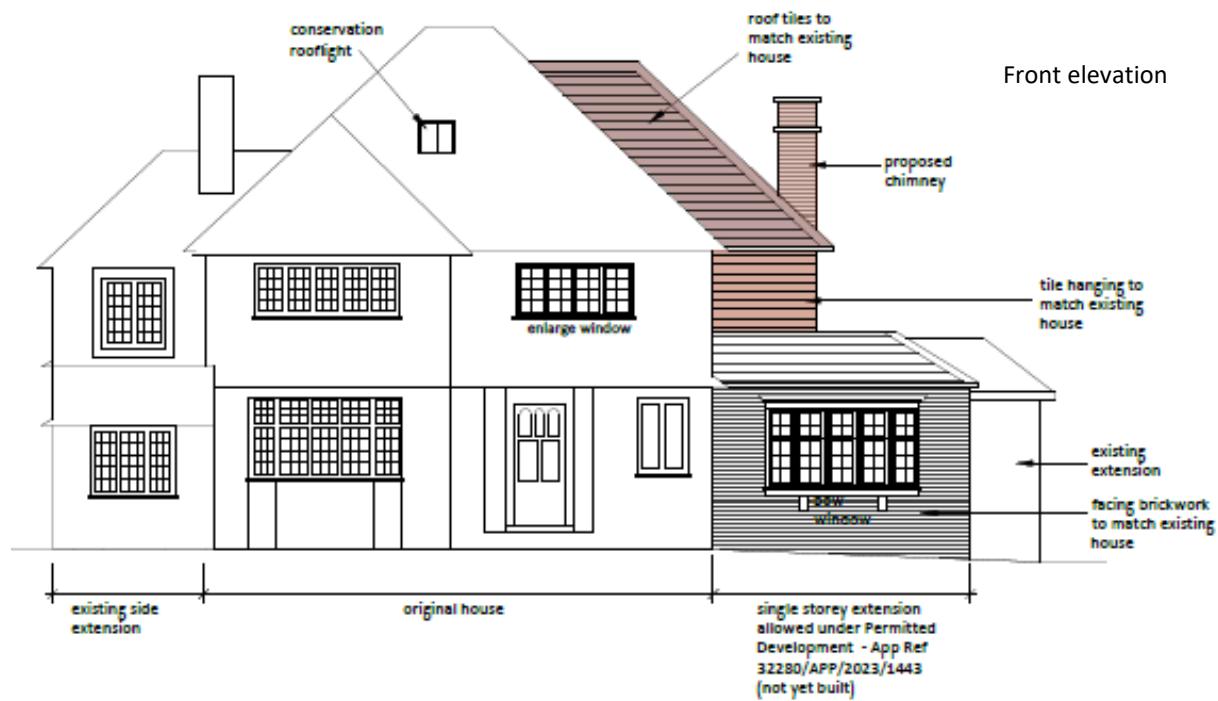


First Floor Plan – proposed extension area shaded blue



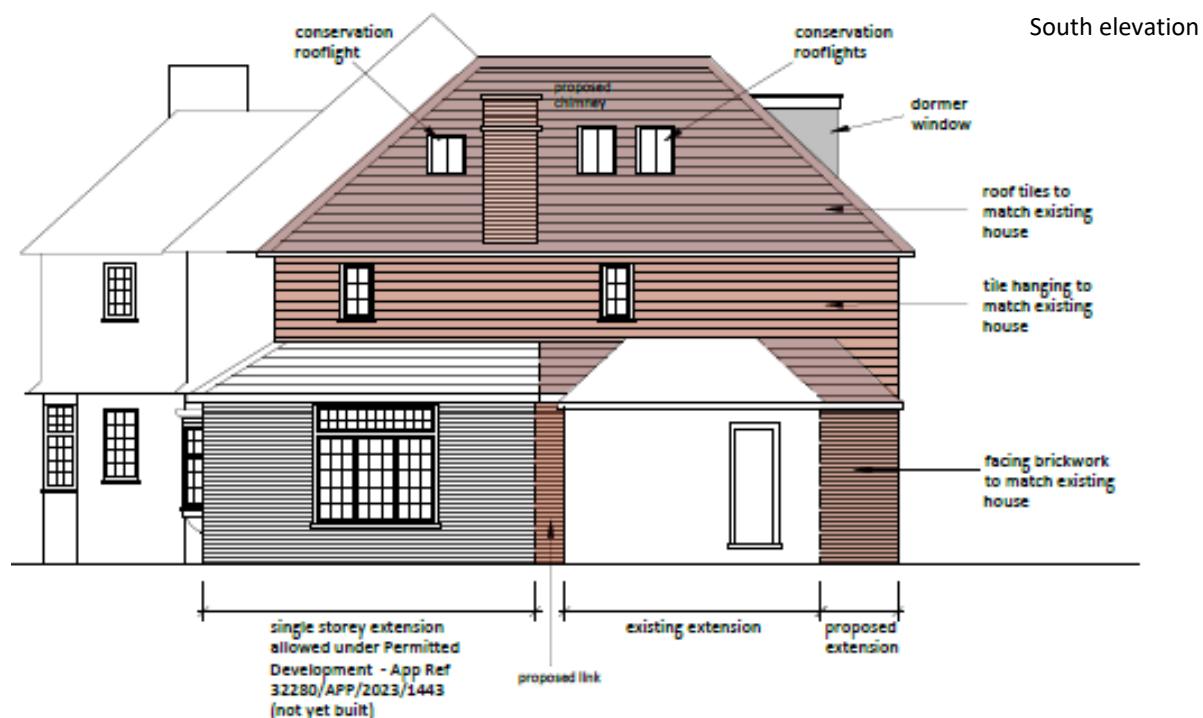
Second floor / loft plan – new bedroom accommodation with ensuite and wardrobe

The front elevation remains predominately unaltered. The single storey side extension allowed under Permitted Development sits on the south side of the house. The new 2 storey extension when combined with the existing 2 storey extension on the north side does not exceed more than half the width of the original house. The new extension appears subordinate to the original house.

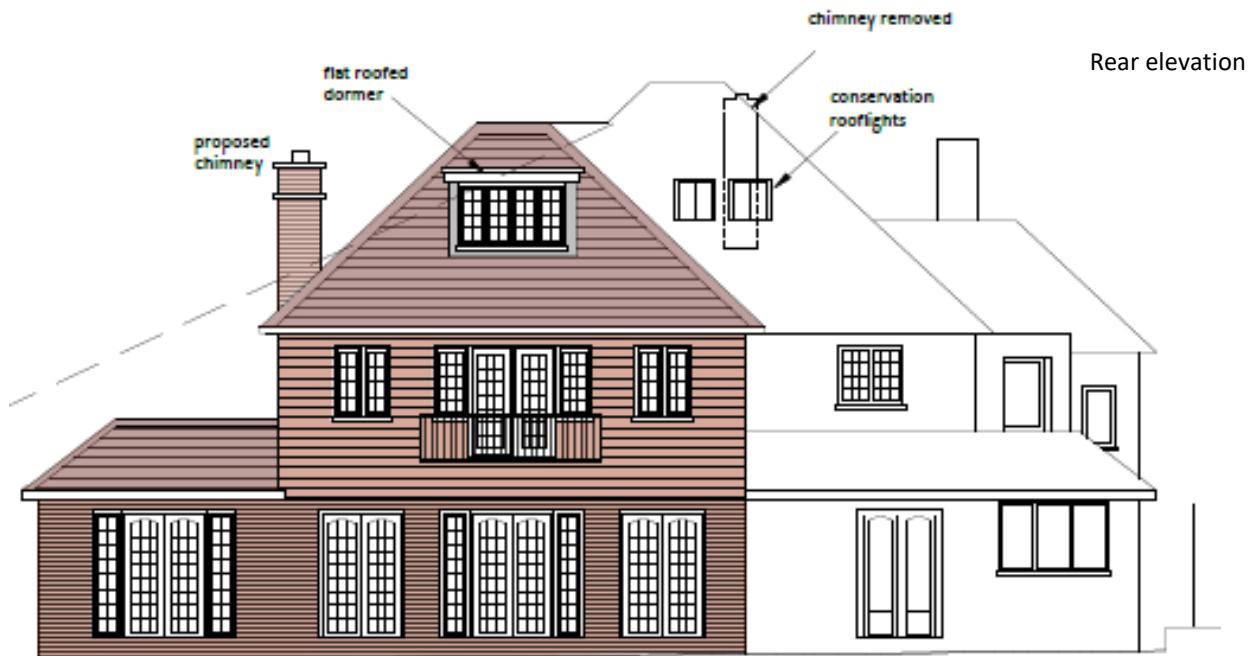


The 2 storey extensions are concentrated to the side (south – 1.85m) and rear (east – 4.0m).

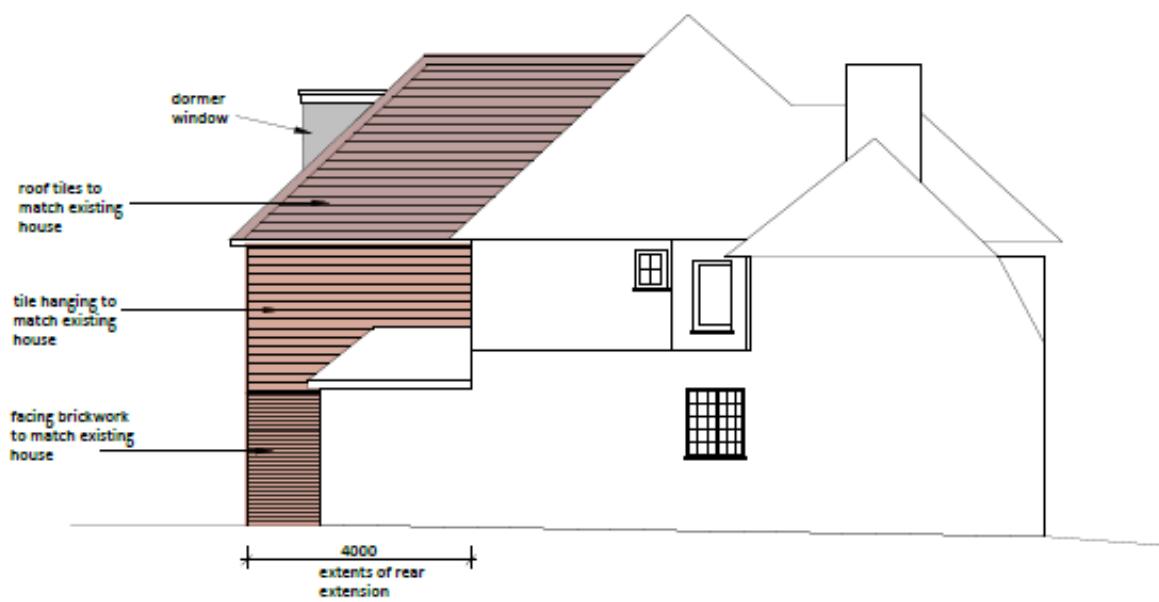
The south side extension is subservient to the original building being set back, with a lower ridge height and is less visible from the frontage. The roof form is set back from the existing house, with a similar pitched roof and matching materials.



The rear extensions do not extend the full width of the original house and a meaningful part of the original dwelling remains visible. The roof geometry is simplified by the use of a small crown roof on the extended area, which also minimises the roof height. Door and window styles will match existing. A new rear facing dormer window and conservation rooflights form part of the proposal.



The view from the north of the property is largely of the existing dwelling, with the flank side of the new extension beyond.



Other specialist reports

An Arboricultural Impact Assessment has been procured which gives detailed information about the existing trees on the site and the impact the proposed development would have on the trees and site character.

A heritage statement has also been obtained which assesses the heritage significance of the property and advises on the impact that the proposal would have in heritage terms.

A sustainable drainage proposal has been prepared to demonstrate how surface water will be managed.

The above reports will be submitted with a full planning application.

Conclusion

The proposed extensions to 52 Gatehill Road have been carefully considered to provide a design solution that:

- Retains the style and character of the existing building
- The plot is within the Area of Special Local Character, the design is considerate to the character of the nearby built context
- Is of a style, scale and aesthetic which is sympathetic to the area
- Uses materials that are appropriate to the area
- Is of a scale which, when assessed alongside other properties in Gatehill Road, is comparable with and sits comfortably within the built context
- Modernises and improves a property which has accommodation which is outdated, but has undoubted quality and character, and protects the property for many years to come
- Provides all the requirements of a modern family home
- Will upgrade an existing property in terms of energy efficiency to current standards, giving it a much lower carbon footprint.
- Will introduce sustainable energy solutions wherever practicable such as rainwater retention and grey water systems, low energy electrical fittings, low water use appliances