

Design & Access Statement

34 Hillside Gardens
Northwood HA6 1RL



Design & Access Statement

London: 85 Tottenham Court Road
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1.0 Introduction:

This Design and Access Statement provides information to support the extension and alteration of the existing bungalow comprising a roof extension to create first floor accommodation, single storey rear and front extension to garage including front extension to main dwelling together with new porch, roof lights, solar panels and associated external works.

2.0 Location Plan:



3.0 Site and surrounding

The application site comprises of a single storey detached bungalow located on the north east side of Hillside Gardens, Northwood. The property is set-back from the highway by an area of soft landscaping and hard standing driveway. The dwelling is set on a hill with acute angled plot width to the rear. The ground levels differs from neighbouring properties considerably No 32 and 36 Hillside gardens are located east and west of the site, respectively. The application site is not within designated conservation area and does not contain any listed buildings.



1.0 Introduction

2.0 Location

3.0 Site Surrounding

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4.0 Existing Surrounding Architecture:

The surrounding area comprises 1930s/40s semi-detached and detached bungalows most of which have been extended and altered considerably over time creating a varied character. The street scene therefore includes, but is not confined to, original brick properties, render (some with brick details) and plain tiled roof either hipped or gabled as well as front extensions and front and side dormer extensions. As shown below some of the more recent additions and changes to the foot prints of the existing dwelling have evolved considerably in styles, roof form and fenestration with no consistent reference.



30 Hillside Gardens



61 Stanley Road



4 Hillside Crescent



59 Hillside Gardens

4.0 Existing Surrounding Architecture

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5.0 Surrounding Scale:

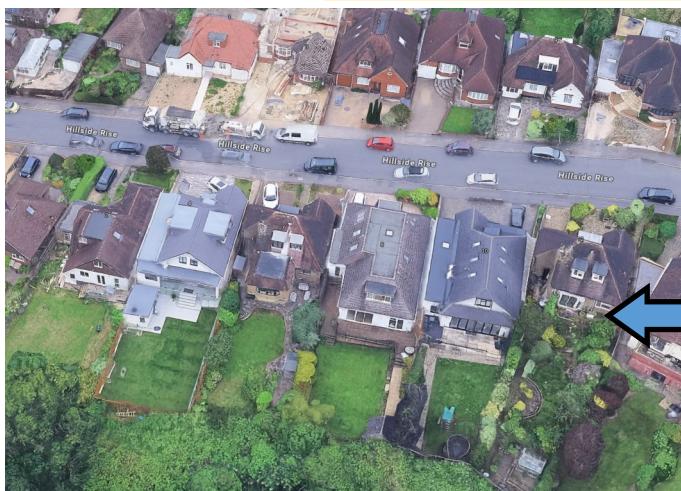


Hillside Crescent

There are a number of properties particularly to the rear of the application site which have increased in scale and include roof alterations such as crown roof, dormers and full width first floor extensions



'Hillside Gardens 23 and 24
opposite application site



Hillside Rise No.4,8 and 10

5.0 Existing Surrounding Scale

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6.0 Planning History:

32217/APP/2006/2108 - Erection of Single storey rear extension. Decision:

Granted 22-09-2006

32217/APP/2024/2588—Erection of outbuilding to rear garden

Decision: Granted 19-11-2024

32217/APP/2024/3009—Conversion of roof space with dormer, Hip to Gable and single storey rear extension

Decision: Granted 07-01-2025

7.0 Proposal

The current dwelling is in need of major enhancement and reconfiguration of internal spaces for young family. The client is very keen to have super energy efficient dwelling for long term adaptive living space. The application site already benefits with planning permission for single storey rear extension and loft conversion with rear dormer within new roof form (Hip to Gable). This proposal is to ensure long term plans for the clients adaptive living style.

The proposal for the ground floor layout with rear extension is similar to planning already granted. The current garage space is unusable due to access set back from the driveway and angular plot. The proposal is to provide modest extension to the rear extension in line with garage boundary wall. The front has been extended in line with new extension and porch to dwelling. The siting of existing dwelling with new extension will not harm the adjoining properties and frontage. The high quality ensures the frontage appearance in terms of scale remains as close to the original form.

The new proposal also include 2 storey rear extension over the main dwelling and part over the garage within new roof form. The roof form in more contemporary style, designed to ensure no harm to adjoining properties in terms of scale, overlooking and mass.

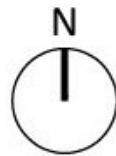
The proposed increase in ridge height by 300mm mainly due to incorporation of warm roof system to provide energy efficient dwelling together with solar panels. The client is also keen to incorporate Air Source Heat Pump (ASHP).

Overall, the proposed design is of very high standards compared to number of recent planning granted in area. The proposal also incorporates new front boundary treatment with brick piers and metal railings and gates.

6.0 Planning History

7.0 Proposal

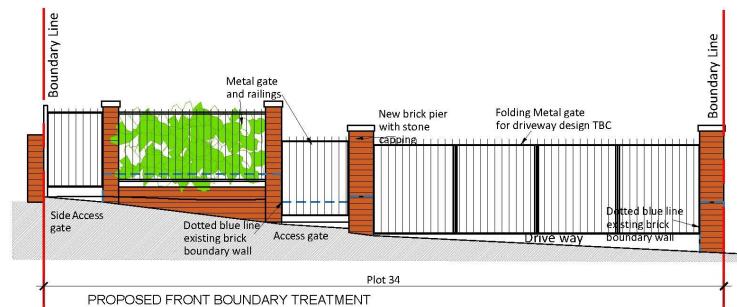
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Site Area
580.50m²
(0.0580ha)

8.0 Drawings
Location Plan

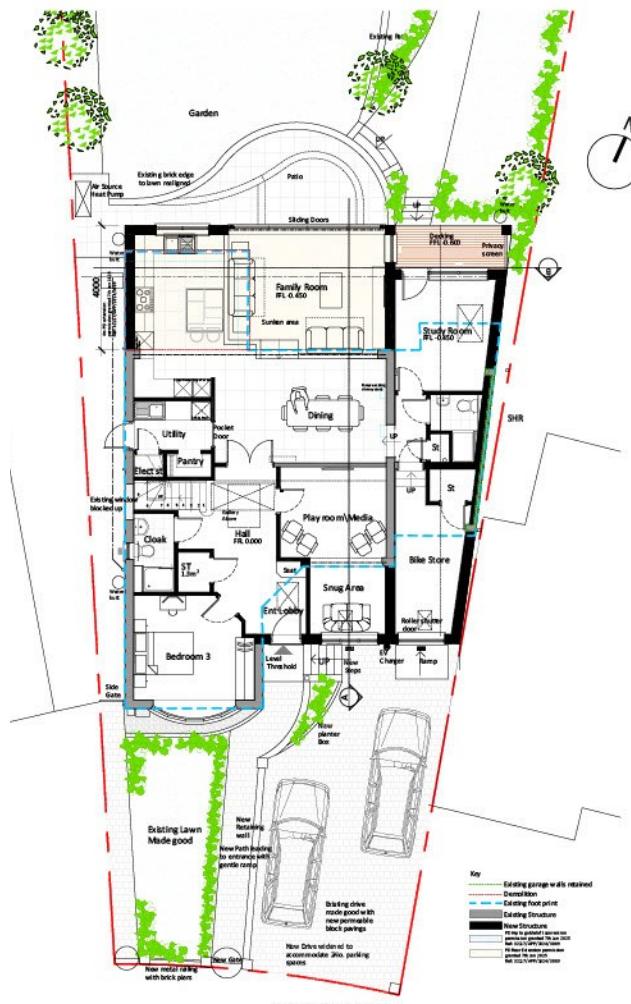
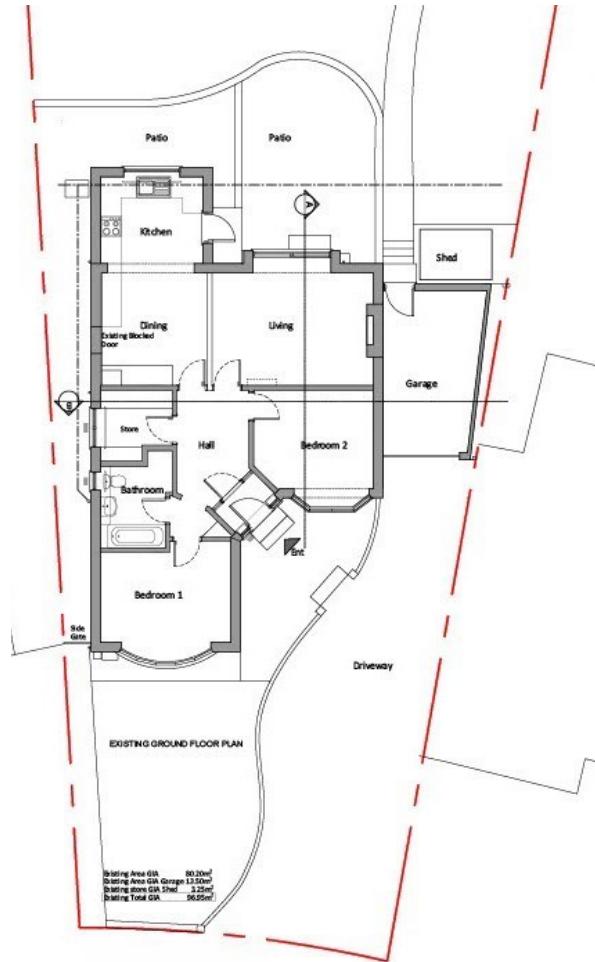
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8.0 Drawings

Proposed Block Plan and Site Images and Front Boundary Treatment

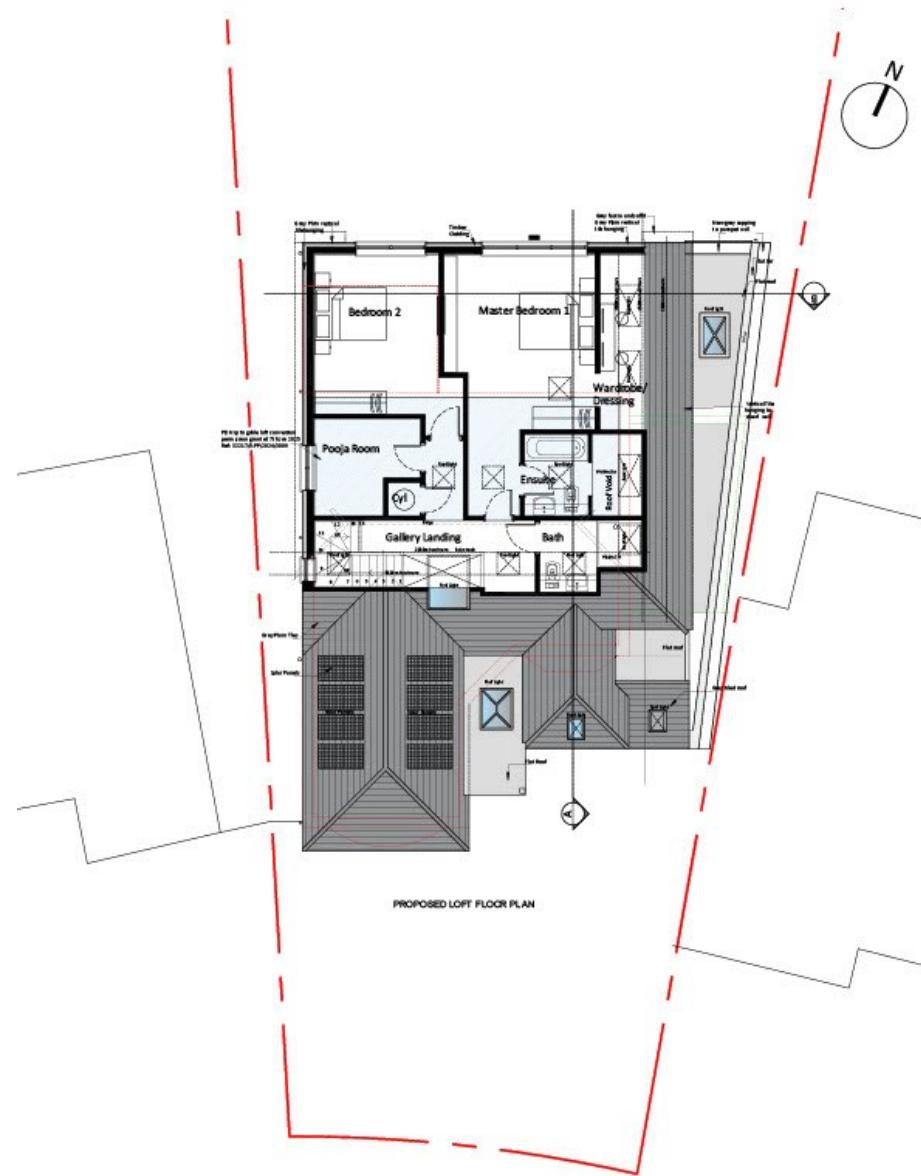
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8.0 Drawings

Existing & Proposed Ground Floor Plan

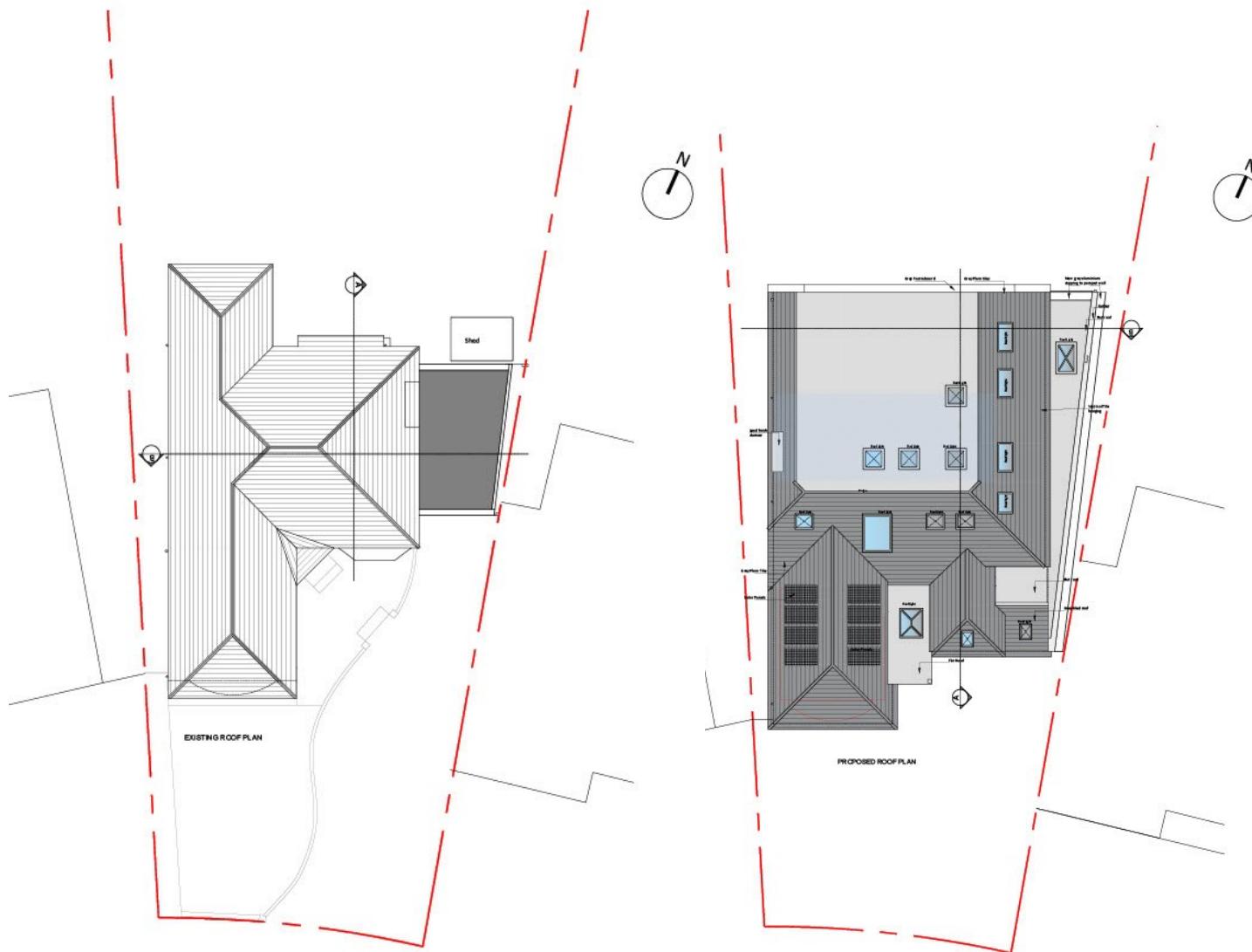
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8.0 Drawings

Proposed Loft Floor Plan

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**8.0 Drawings:
Existing & Proposed
Roof Plan**

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8.0 Drawings

Existing & Proposed Front Elevations

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8.0 Drawings

Existing & Proposed Rear Elevations

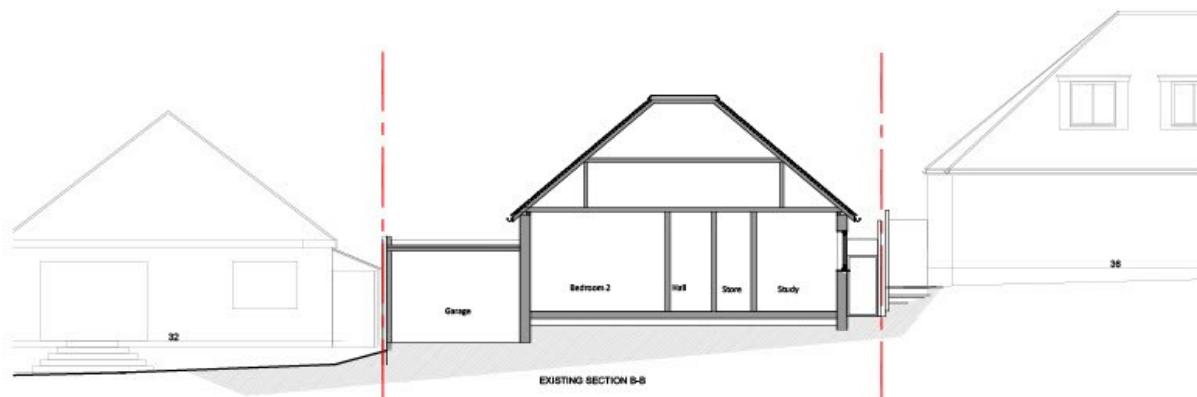
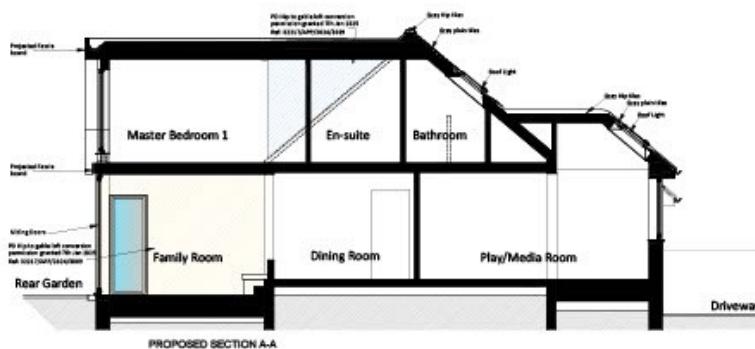
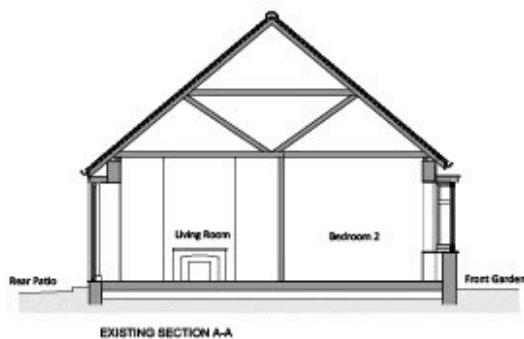
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8.0 Drawings

Existing & Proposed Side Elevations

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8.0 Drawings

Existing & Proposed Sections

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9.0 Access:

Application site is well served by Public transport and local facilities such as schools, leisure, shopping and public amenities. The new proposal will provide 2no. Off street parking and also creating a new path with gentle ramp from front boundary wall to the entrance with level access. The proposal does not interfere with the access route to adjoining properties.

10.0 Impact:

There will be no impact to the street scene and increase in ridge height will have no harm with the current typography of street scene. The extension will not harm the light of the neighbouring properties due to plot configuration and siting of existing dwelling. Our proposal will be in keeping with the character of the street and material impact would be minimum.

11.0 Materials

The proposed material are of traditional nature with contemporary Fascia, guttering and window frames . The design as indicated provides high standards of insulation as required by the current Building Regulations, and in addition installation of Air Source Heat Pump, Solar panels and double glazed windows and doors making the dwelling very energy efficient. Client is also looking at providing enhanced glazing to north faced rear elevation, cost dependent. The rear new build elements will be rendered with front red brick finish. The proposed enhancement will have new front boundary treatment with brick piers, metal railings, pedestrian gates and folding metal driveway gates.

12.0 Conclusion:

The proposal is of reasonable development of this type in scale and location. The extension and enhancement has been designed to maintain the architectural character of the existing property and high quality architectural design compared to number of surrounding properties.

We see this application to be suitable, sustainable type of development within the area.

9.0 Access

10.0 Impact

11.0 Materials

12.00 Conclusion

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