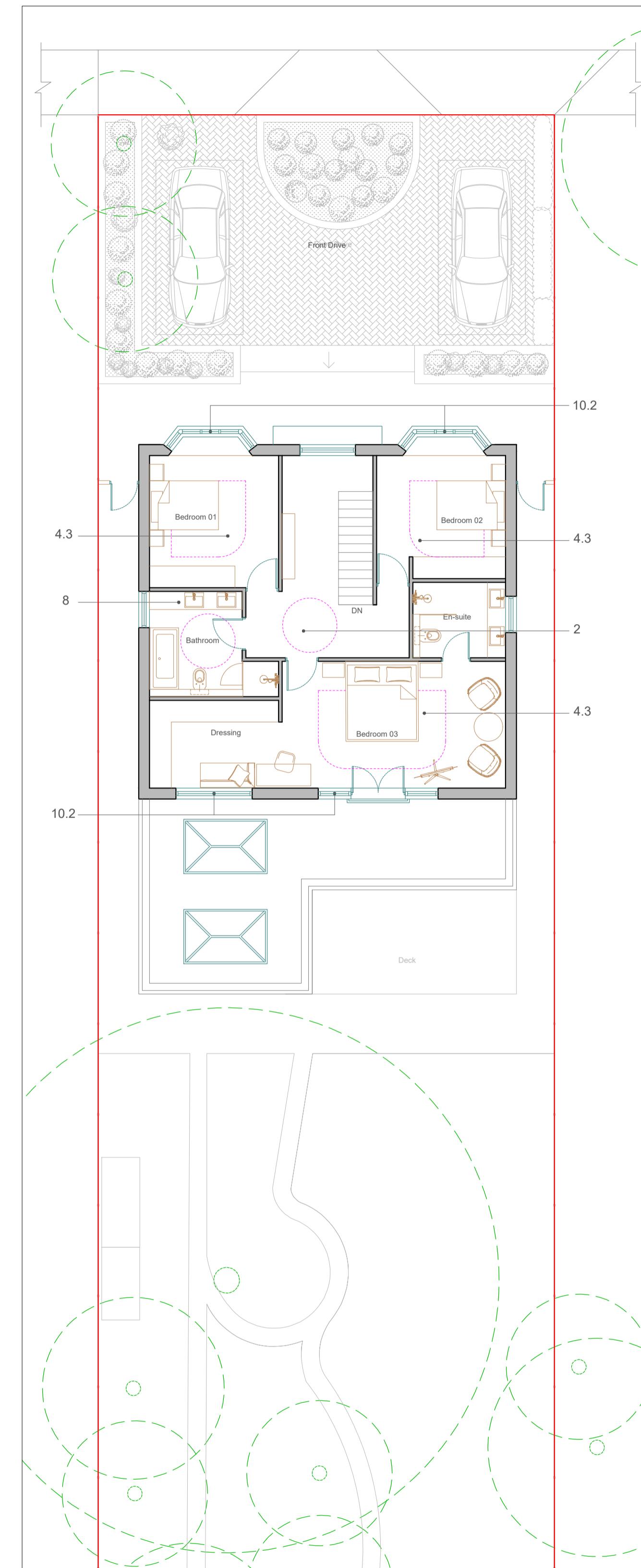


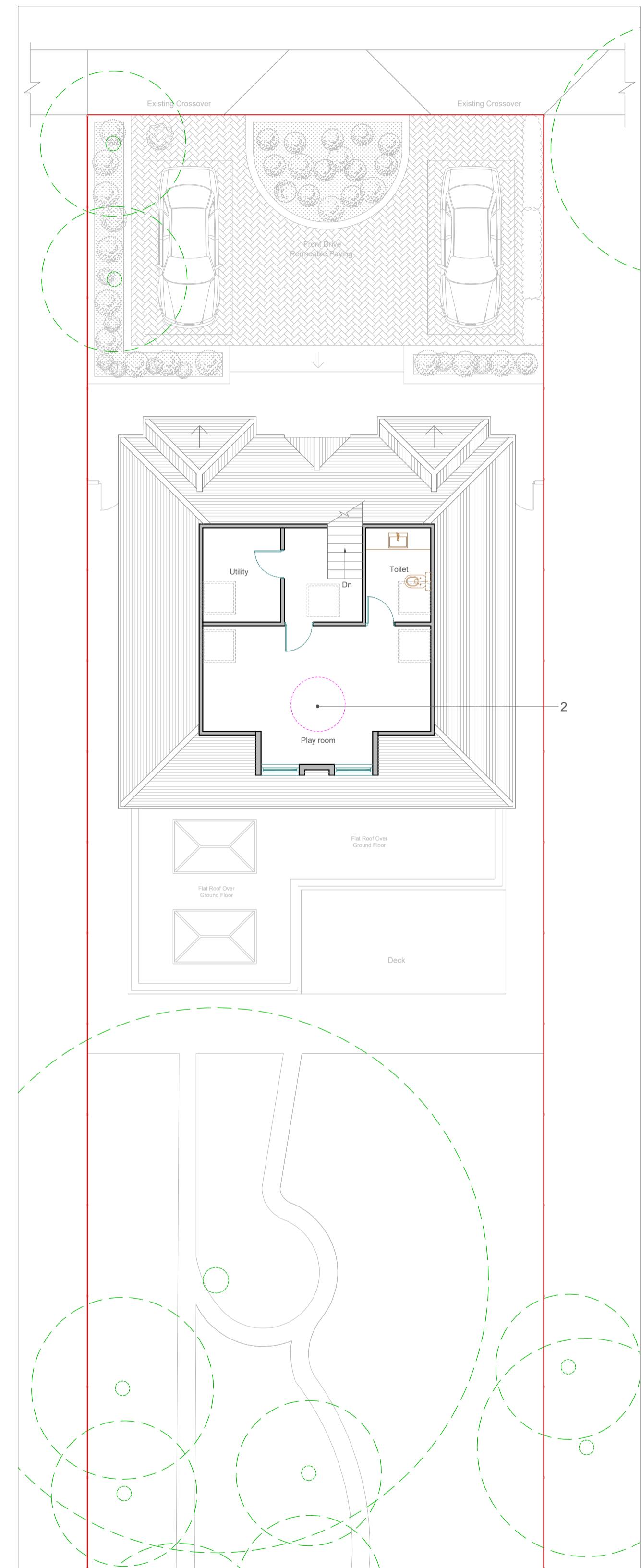
01 PROPOSED GROUND FLOOR PLAN
SCALE 1:100

- APPROVED PLANNING REF : 321/APP/2022/189



02 PROPOSED FIRST FLOOR PLAN
SCALE 1:100

- APPROVED PLANNING REF : 321/APP/2022/189



03 PROPOSED LOFT FLOOR PLAN
SCALE 1:100

GENERAL NOTES:

DO NOT SCALE DIMENSIONS OFF THIS DRAWING.

THE SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE PLANS/SECTION DETAILS, AND OTHER ASSOCIATED DETAILS AS MAY BE PROVIDED.

ALL WORK IS TO BE CARRIED OUT TO THE LOCAL AUTHORITY PLANNING AND BUILDING REGULATIONS APPROVAL, AND THE CODES OF PRACTICE AND BRITISH STANDARDS AS NECESSARY.

ALL DIMENSIONS, LEVELS, SIZES, POSITIONS AND LOCATIONS OF PARTICULARS AS INDICATED ON DRAWINGS ARE TO BE VERIFIED BY THE APPOINTED CONTRACTOR ON SITE PRIOR TO ENGAGING IN WORKS. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT/SURVEYOR/ENGINEER OR RESPONSIBLE PERSONS IMMEDIATELY.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CDM REGULATIONS, AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.

THE CLIENT/BUILDING OWNER MUST OBTAIN ANY NECESSARY PARTY WALL AGREEMENTS, PRIOR TO ENGAGING IN THE WORKS ON SITE.

FOR ANY STRUCTURAL STEELWORKS DETAILS PLEASE REFER TO STRUCTURAL ENGINEER'S DRAWINGS & CALCULATIONS.

DRAINAGE IS ONLY INDICATIVE & CONTRACTOR MUST FULLY INVESTIGATE THE EXISTING DRAINAGE RUNS ON SITE AT BEGINNING OF WORK, VERIFY AND REPORT IN CASE OF ANY ERROR.

FOR PLANNING USE ONLY

1. APPROACH TO ALL ENTRANCES

1. A step-free approach is designed in compliance with Approved Document Part M.
2. The main approach is level, or with a negligible slope.

2. ENTRANCES

1. The front doors are entered via an accessible threshold with a maximum 15mm up-stand and provide a 825mm minimum effective clear width and a 300mm nib.
2. Provision for a wheelchair turning circle of 1500mm diameter is accommodated at Entrance.

3. INTERNAL DOORS AND HALLWAYS

1. Hallways are a minimum of 900mm width
2. When approached head-on, all doors are a minimum of 750mm width
3. Where approach is at right-angles to a corridor, doors should have a minimum clear opening width of 900mm.

4. CIRCULATION AREA

1. Provision for a wheelchair turning circle of 1500mm diameter can be accommodated within the living and dining area.
2. Within kitchens a clear width of 1200mm between kitchen units and appliance fronts is proposed.
3. A clear space of 750mm to one side of the bed is proposed within bedroom. The master bedroom provides a clear space of 750mm to both sides.

5. ENTRANCE LEVEL LIVING SPACE

1. An entrance level living space is provided

6. ENTRANCE LEVEL BED SPACE

1. Study space could be used as temporary bedroom space

7. ENTRANCE LEVEL BATHROOM SPACE

1. Bathroom is provided at entrance level in compliance with criteria set out in Approved Document Part M, including WC and shower. Bathroom to provide 450mm from center line of WC to adjacent wall. Proposed floor drain is included within a 1000mm zone from the center of the WC. Sink provision and wet room is also provided.

8. WC AND BATHROOM WALLS

1. Suitable fixing and support for grab rails is available at any location on all walls, within height band of 300-1800mm from the floor. The main bathroom will be in accordance with the standard layout set out in Approved Document Part M.

9. STAIRS

1. A clear width of 900mm is provided on the staircases within the property.

10. GLAZING AND WINDOW HANDLE HEIGHTS

1. Windows from the principal living space are full height providing substantial glazing and allow people to see out when seated.
2. At least one opening light in each habitable room should be approachable and usable by a wide range of people

KEY:

- SITE BOUNDARY
- PART M COMPLIANCE

P01 AM 15.07.22 AB FIRST ISSUE
REV BY DATE CHK DESCRIPTION
STATUS

PLANNING

PROJECT
39 OAK AVENUE, ICKENHAM,
UXBRIDGE, LONDON, UB10 8LR

DRAWING TITLE

M4(2) COMPLIANCE

DATE CREATED	DATE AMENDED	SCALE
15.07.22		1 : 100 @A1
DRAWN BY	AMENDED BY	CHECKED
AM		AB
DRAWING NO & REVISION		
AA-FP-AV-A002-0013		
P01		

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