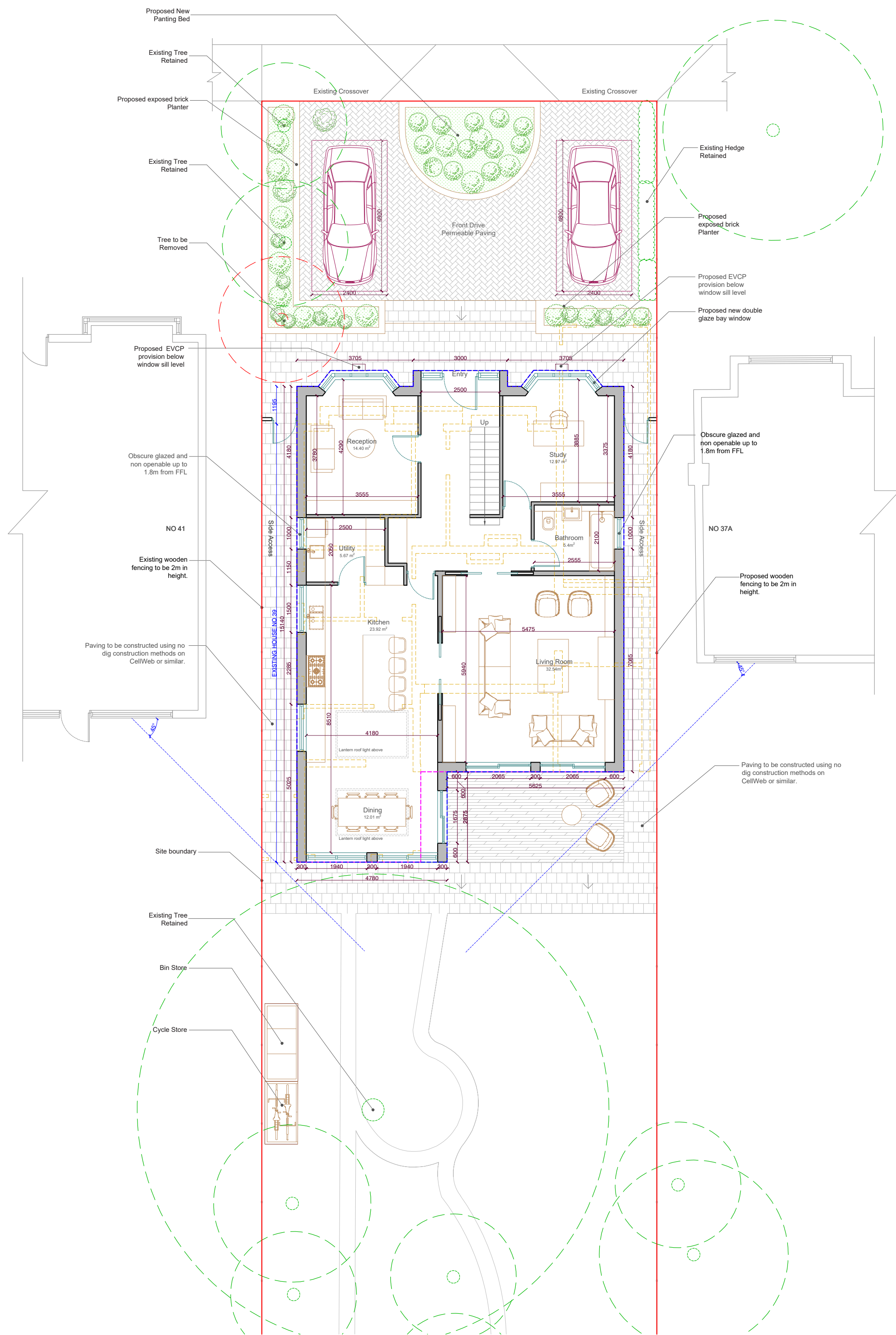
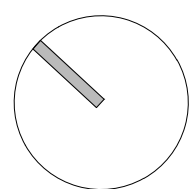
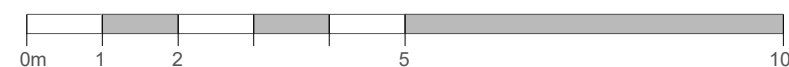


01 EXISTING GROUND FLOOR PLAN (GIA = 134.27 SQM)
Scale 1:100



02 PROPOSED GROUND FLOOR PLAN (GIA=129.63 SQM)
Scale 1:100

- INTERNAL ALTERATION
- DOUBLE HEIGHT ENTRANCE SPACE REMOVED
- SLIDING DOOR PROPOSED INSTEAD FRENCH DOOR-WINDOW ON GROUND FLOOR SIDE/REAR
- APPROVED PLANNING REF : 321/APP/2021/4094
- APPROVED PLANNING REF : 321/APP/2022/46



GENERAL NOTES:

DO NOT SCALE DIMENSIONS OFF THIS DRAWING.

THE SPECIFICATION IS TO BE READ IN CONJUNCTION WITH THE PLANS/SECTION DETAILS, AND OTHER ASSOCIATED DETAILS AS MAY BE PROVIDED.

ALL WORK IS TO BE CARRIED OUT TO THE LOCAL AUTHORITY PLANNING AND BUILDING REGULATIONS APPROVAL, AND THE CODES OF PRACTICE AND BRITISH STANDARDS AS NECESSARY.

ALL DIMENSIONS, LEVELS, SIZES, POSITIONS AND LOCATIONS OF PARTICULARS AS INDICATED ON DRAWINGS ARE TO BE VERIFIED BY THE APPOINTED CONTRACTOR ON SITE PRIOR TO ENGAGING IN WORKS. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT/SURVEYOR/ENGINEER OR RESPONSIBLE PERSON/S IMMEDIATELY.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CDM REGULATIONS, AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.

THE CLIENT/BUILDING OWNER MUST OBTAIN ANY NECESSARY PARTY WALL AGREEMENTS, PRIOR TO ENGAGING IN THE WORKS ON SITE.

FOR ANY STRUCTURAL STEELWORKS DETAILS PLEASE REFER TO STRUCTURAL ENGINEER'S DRAWINGS & CALCULATIONS.

DRAINAGE IS ONLY INDICATIVE & CONTRACTOR MUST FULLY INVESTIGATE THE EXISTING DRAINAGE RUNS ON SITE AT BEGINNING OF WORK, VERIFY AND REPORT IN CASE OF ANY ERROR.

FOR PLANNING USE ONLY

KEY:

- SITE BOUNDARY
- DEMOLITION
- APPROVED PLAN OUTLINE APPLICATION REF: 321/APP/2021/4094
- APPROVED PLAN OUTLINE APPLICATION REF: 321/APP/2022/46
- PROPOSED
- EXISTING
- TREE TO BE RETAINED
- TREE TO BE REMOVED

| | | | | |
|--------|------|----------|-------------|-------------|
| P01 | AM | 15.07.22 | AB | FIRST ISSUE |
| REV BY | DATE | CHK | DESCRIPTION | |

STATUS

PLANNING

PROJECT
39 OAK AVENUE, ICKENHAM,
UXBRIDGE, LONDON, UB10 8LR

DRAWING TITLE

GROUND FLOOR PLAN

| | | |
|--------------|--------------|-------------|
| DATE CREATED | DATE AMENDED | SCALE |
| 15.07.22 | | 1 : 100 @A1 |
| DRAWN BY | AMENDED BY | CHECKED |
| AM | | AB |

DRAWING NO & REVISION

AA-FP-AV-A002-0003

P01