

Ground Floor Plan

MICHAEL OAKES ARCHITECTS LTD.

Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

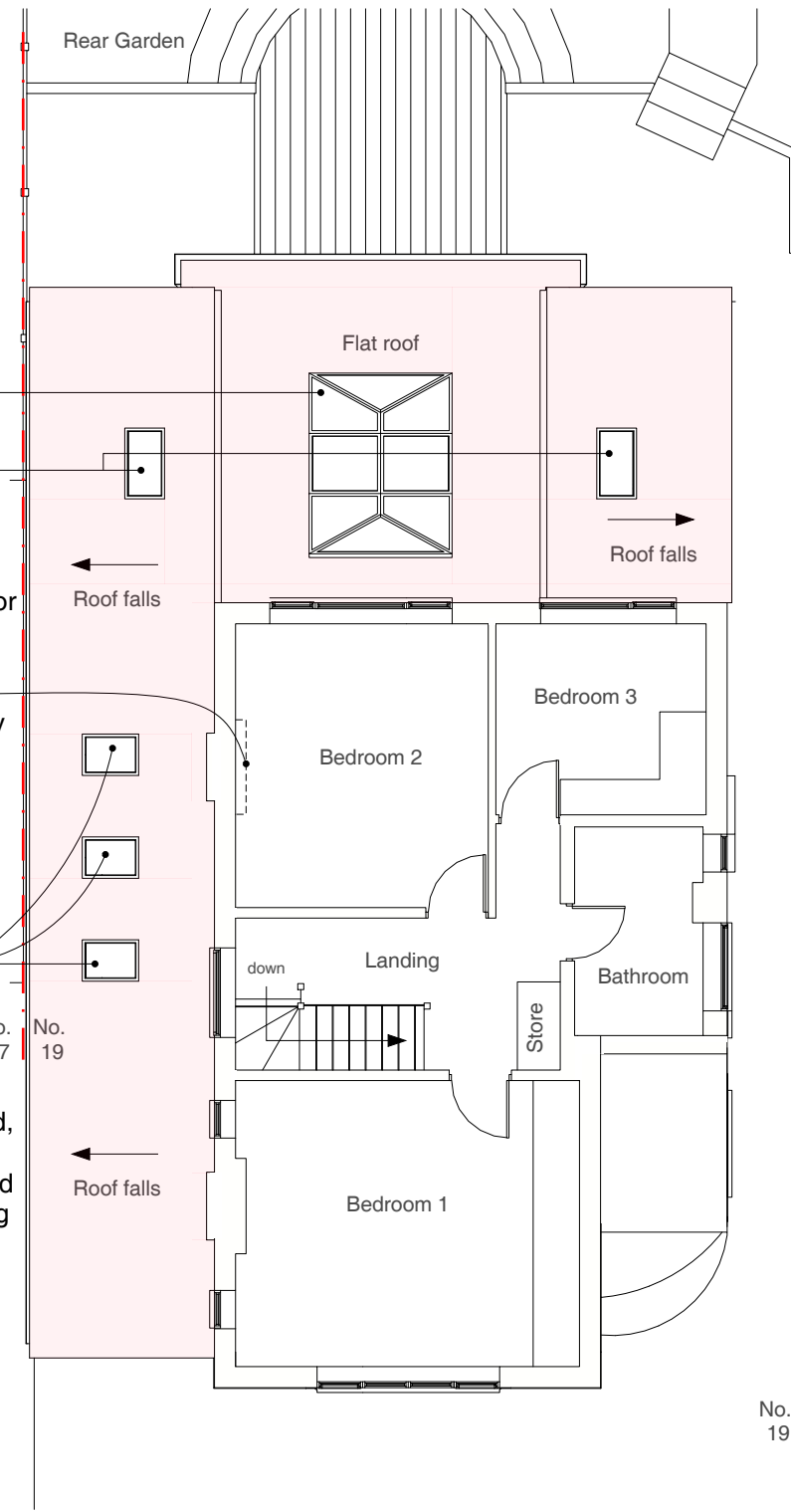
Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

2.4m x 1.9m
roof lantern
550 x 940mm
Skylights

Client & contractor
may take the
opportunity to
remove this
obsolete chimney
breast

550 x 780mm
Skylight

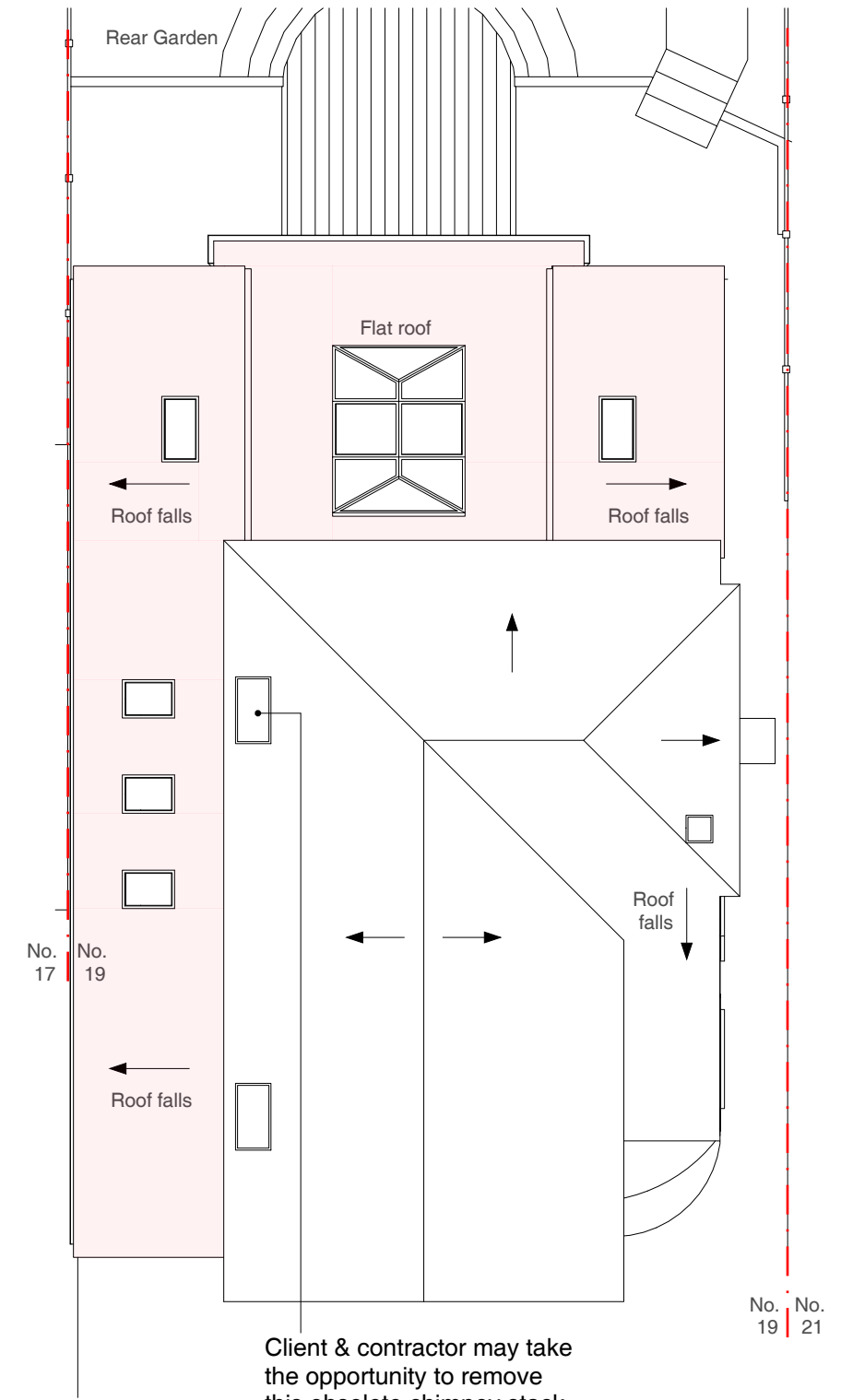
NOTE: If Fakro
skylights preferred,
contractor to
reconfirm required
structural opening
size



First Floor Plan

KEY

- = Proposed structure
- = Existing structure to be removed



Roof Plan

Address 19 St Margaret's Road,
Ruislip, HA4 7NX

Client Mrs Chetna Murphy

Date April 2022



1:100 @ A3



Drawing Title

As Proposed
Floor Plans

Project no. / Stage /

0384- PLA-

Revision notes:

A - First Issue

Drawing no. / Revision

80_A

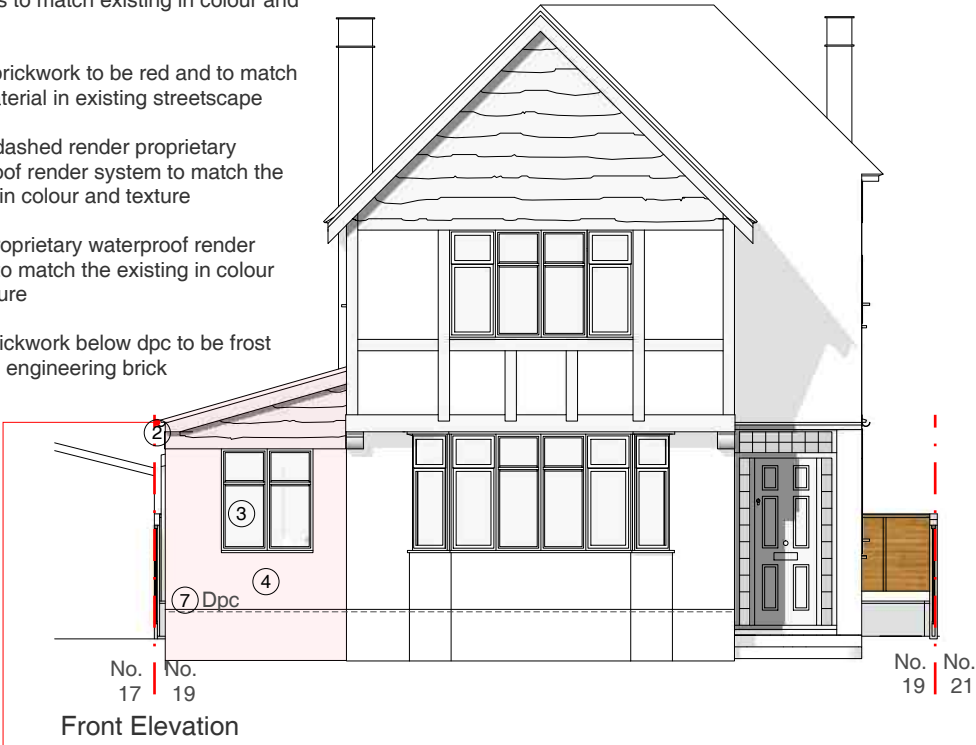
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MATERIALS KEY:

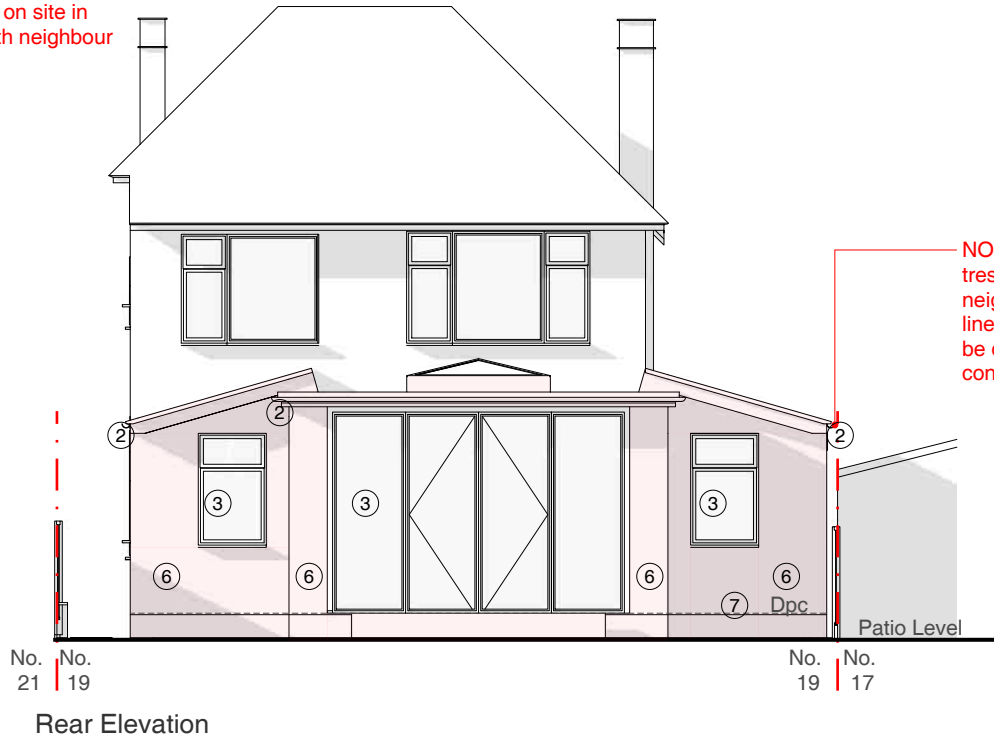
- ① Tiles to match existing in material, colour and texture
16° roof pitch

NOTE:
If pitch is min. 15° use Sandtoft 20/20 interlocking tiles to match existing in colour and texture

- ② Soffit and fascia to match existing
- ③ Windows to match existing in colour and material
- ④ Facing brickwork to be red and to match brick material in existing streetscape
- ⑤ Pebble dashed render proprietary waterproof render system to match the existing in colour and texture
- ⑥ White proprietary waterproof render system to match the existing in colour and texture
- ⑦ Dpc - Brickwork below dpc to be frost resisting engineering brick



NOTE: Extension not to trespass onto neighbouring land, fence line and setting out point to be determined on site in conjunction with neighbour



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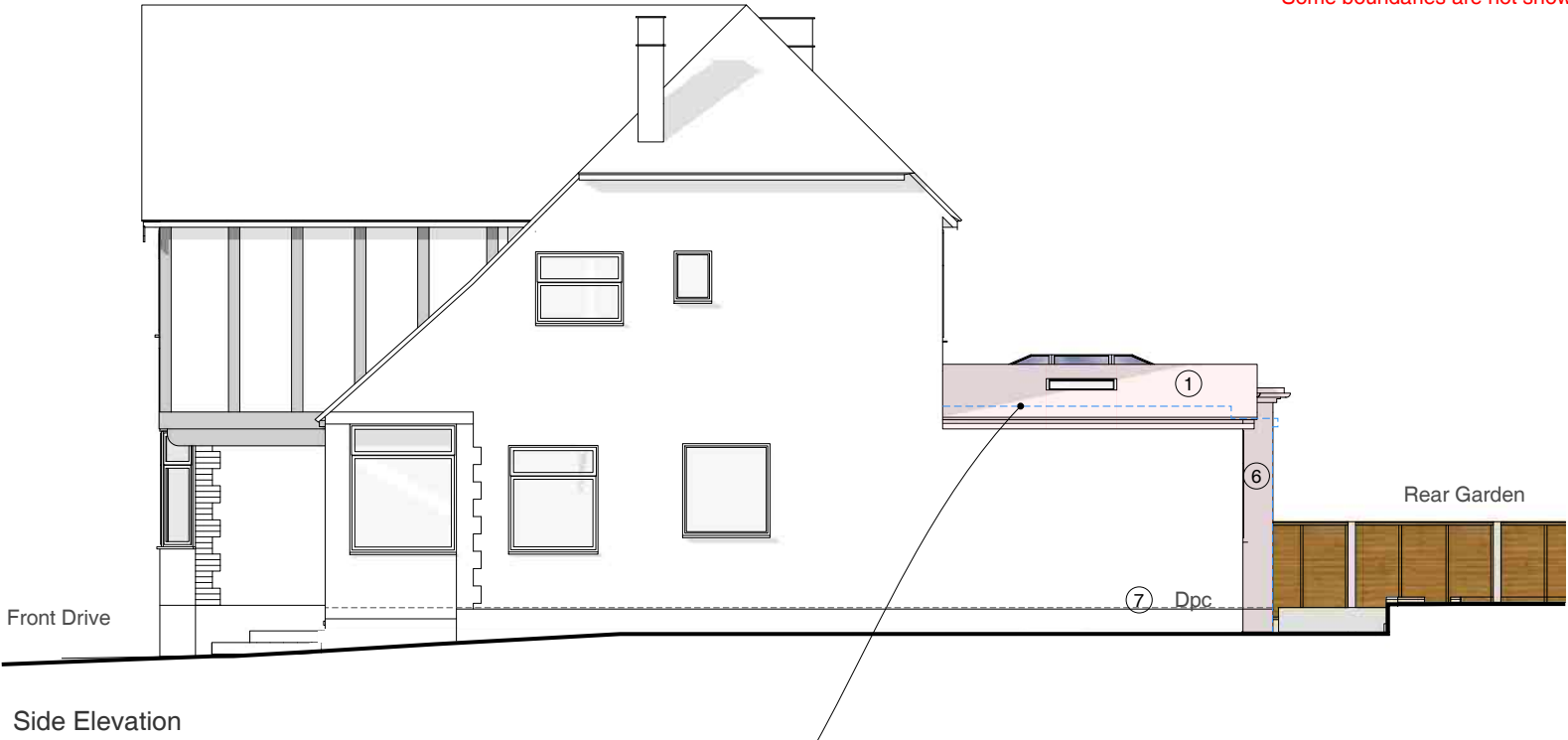
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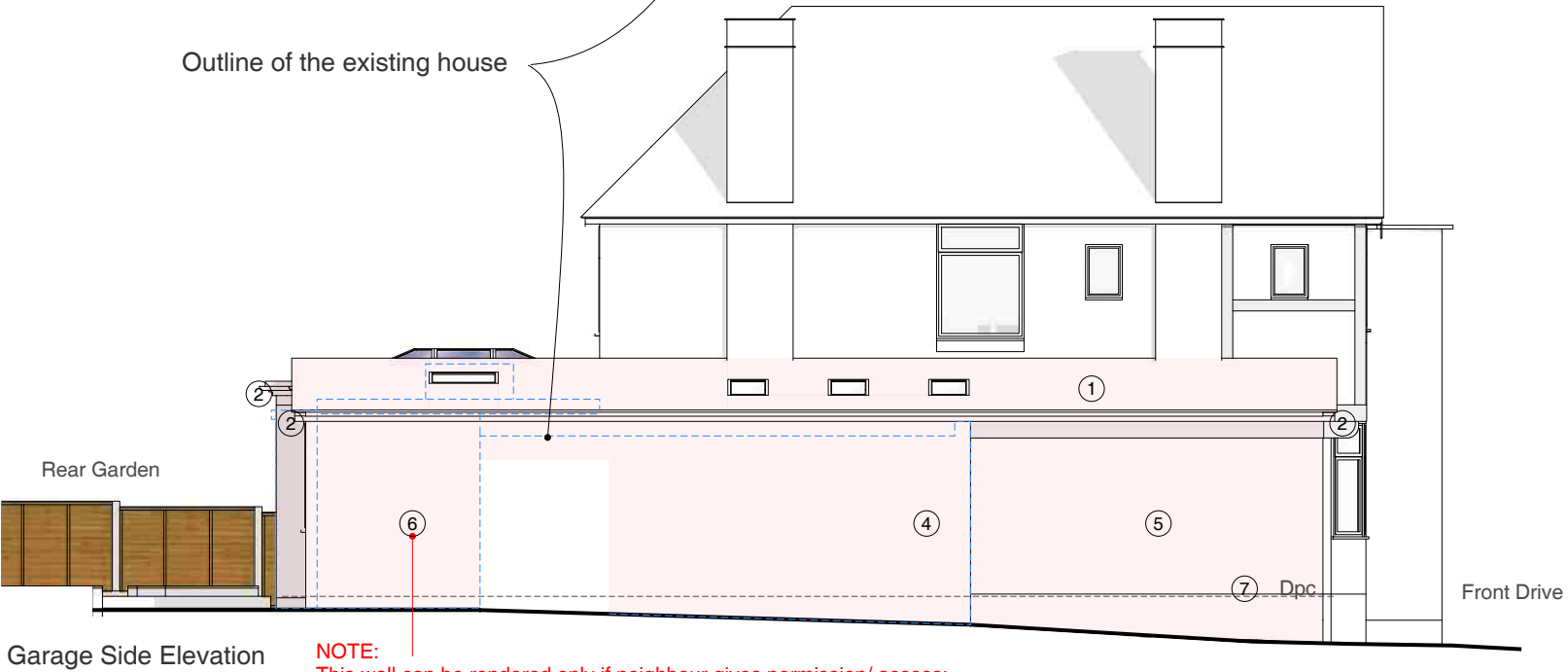
KEY

-  = Obscured glazing to windows (minimum scale for the Pilkington scale)
-  = Proposed structure
-  = Existing structure to be removed

NOTE:
Some boundaries are not shown for clarity



Outline of the existing house



NOTE:
This wall can be rendered only if neighbour gives permission/ access;
Otherwise, brick finish to match the existing brickwork on the house

Address Client Date
19 St Margaret's Road, Mrs Chetna Murphy April 2022
Ruislip, HA4 7NX

1:100 @ A3
0 1 2 3 4 5 10m

Drawing Title
As Proposed Elevations

Project no. / Stage / Drawing no. / Revision
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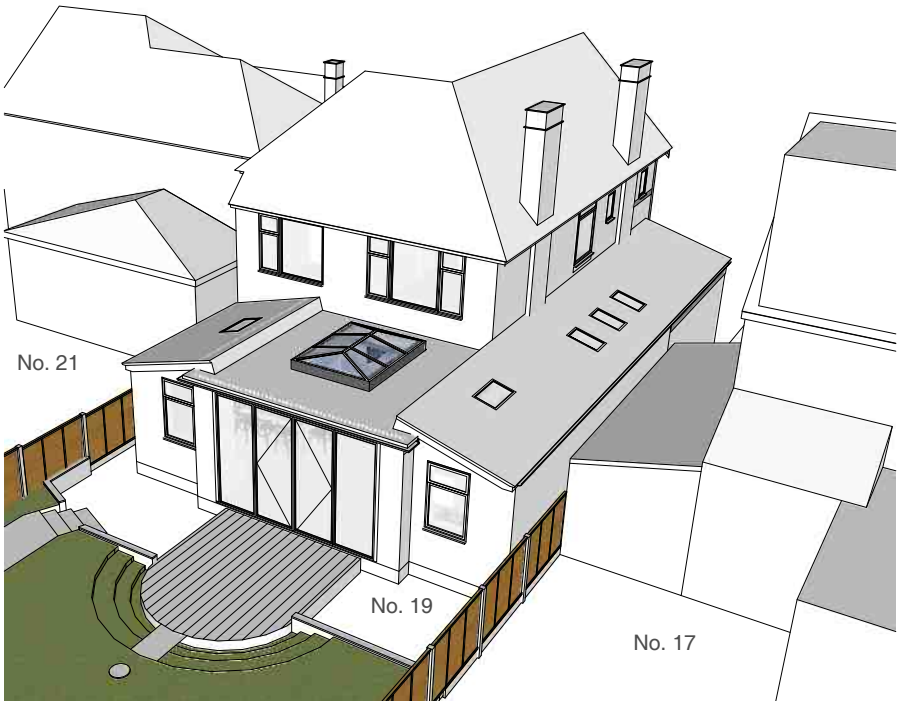
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3D View from St Margaret Road

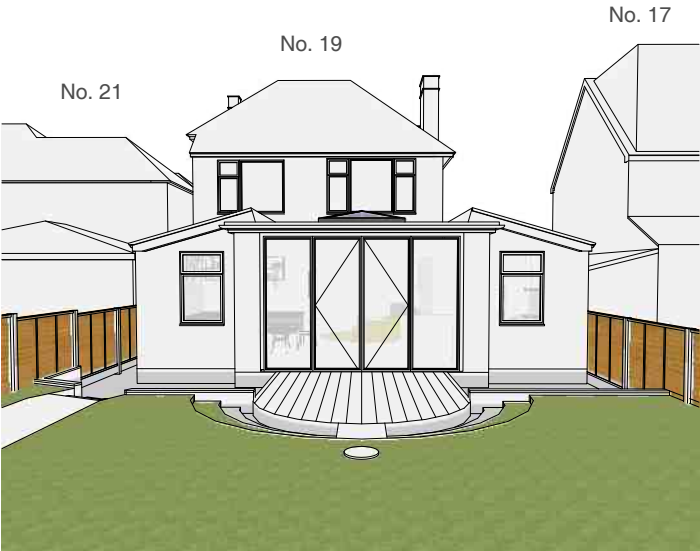


3D View from St Margaret Road



Aerial View of the rear patio

NOTE:
Some boundaries are not shown for clarity



View from the rear fence



View from the proposed rear decking

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Drawing Title
As Proposed 3D Views

Project no. / Stage /	Drawing no. / Revision
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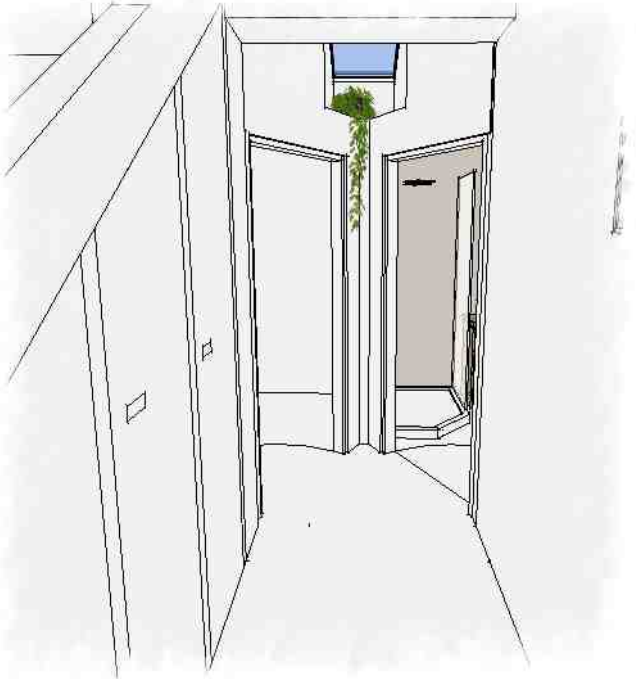
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Interior views of the proposed open space



Interior view from the proposed kitchen looking towards the dining space



Interior views from the hallway looking towards the proposed side extension

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