

Ground Floor Plan

MICHAEL OAKES ARCHITECTS LTD.

Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

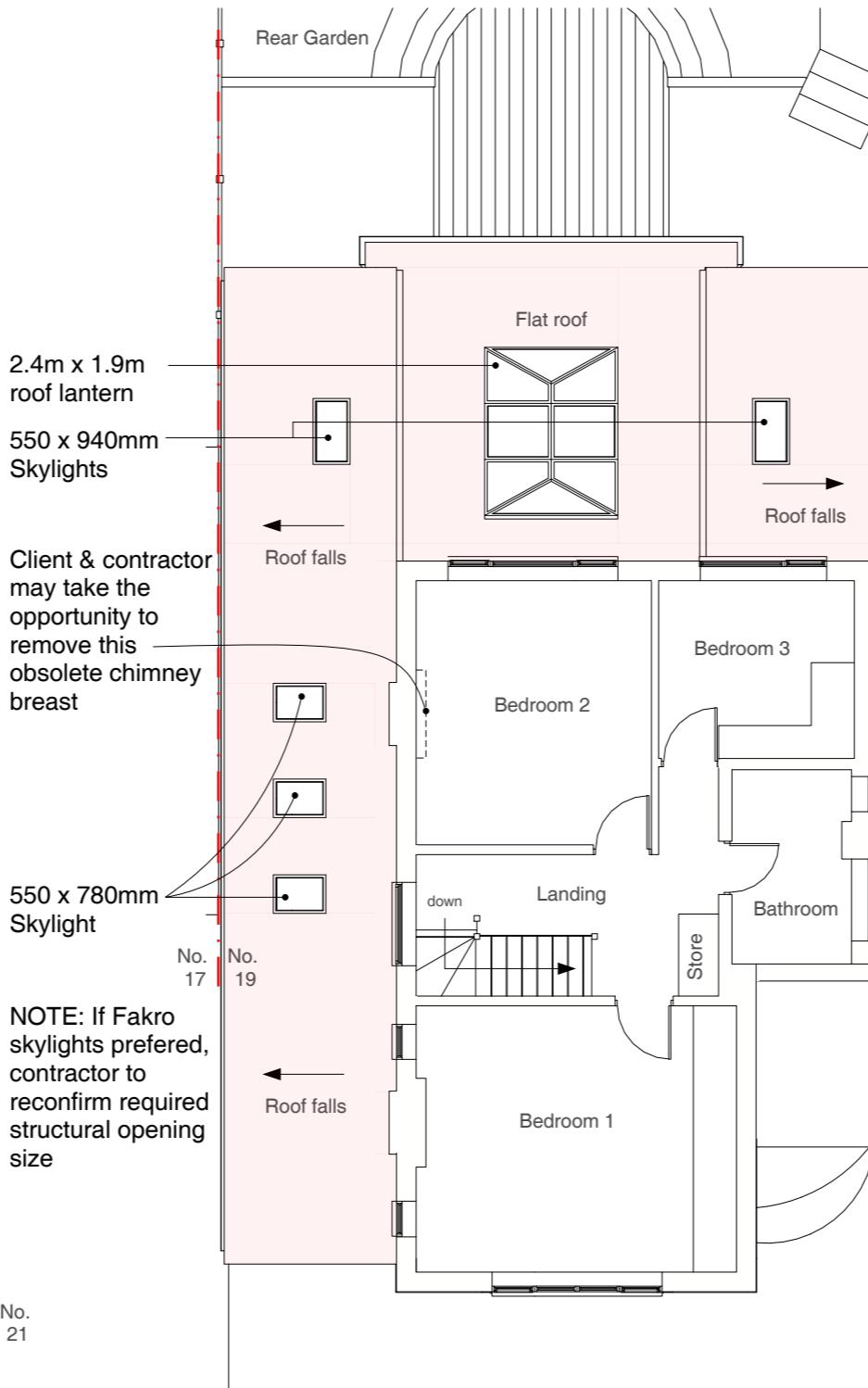
REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

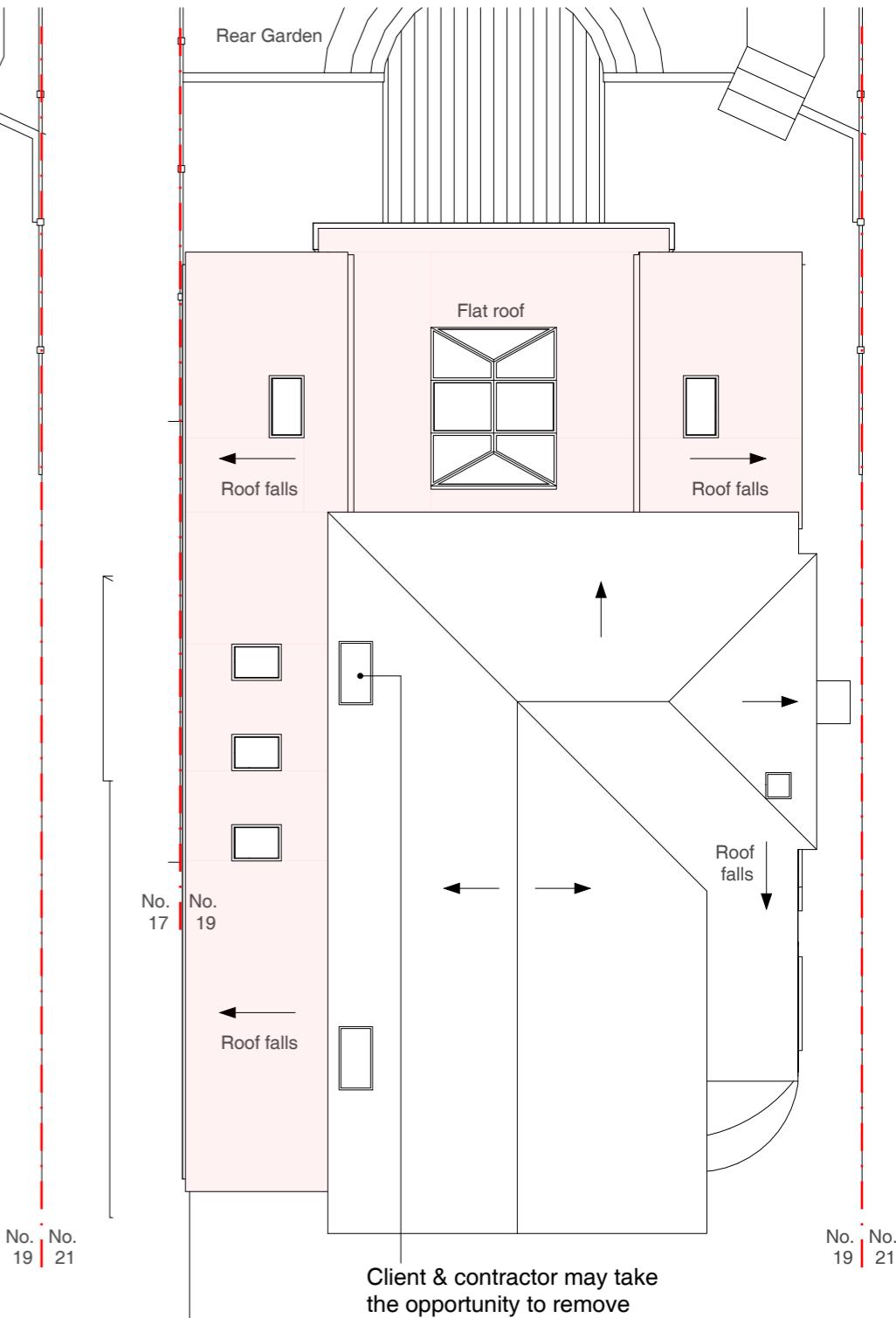
KEY

■ = Proposed structure

■ = Existing structure to be removed



First Floor Plan



Roof Plan

Address

19 St Margaret's Road,
Ruislip, HA4 7NX

Client

Mrs Chetna Murphy

Date

April 2022



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed
Floor Plans

Project no. / Stage /

0384- PLA-

Drawing no. / Revision

80_A

Revision notes:

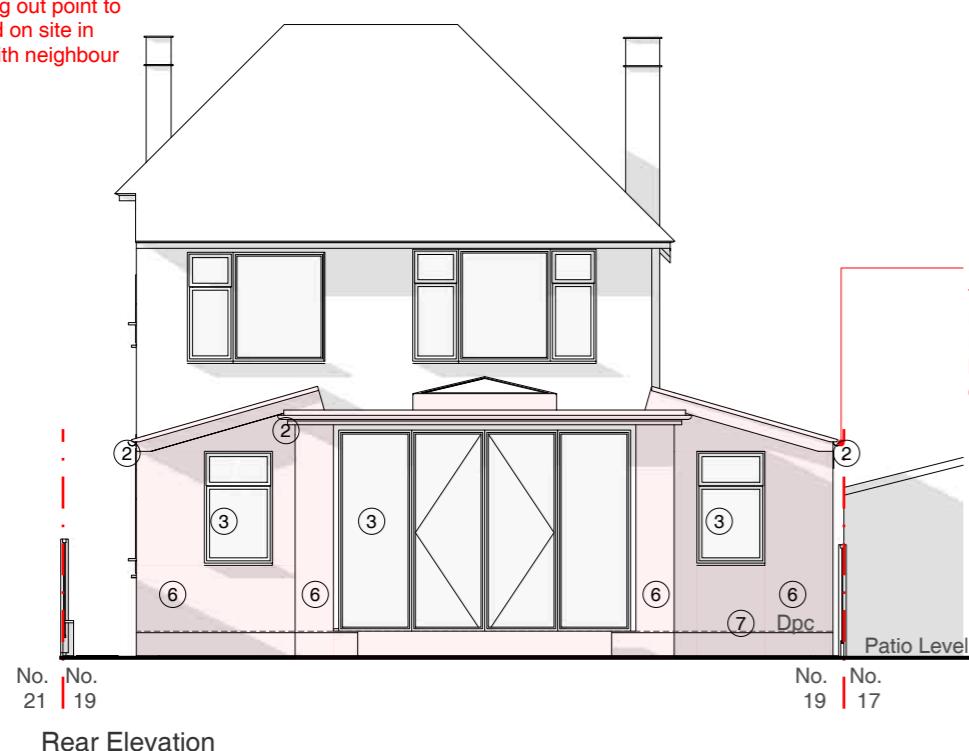
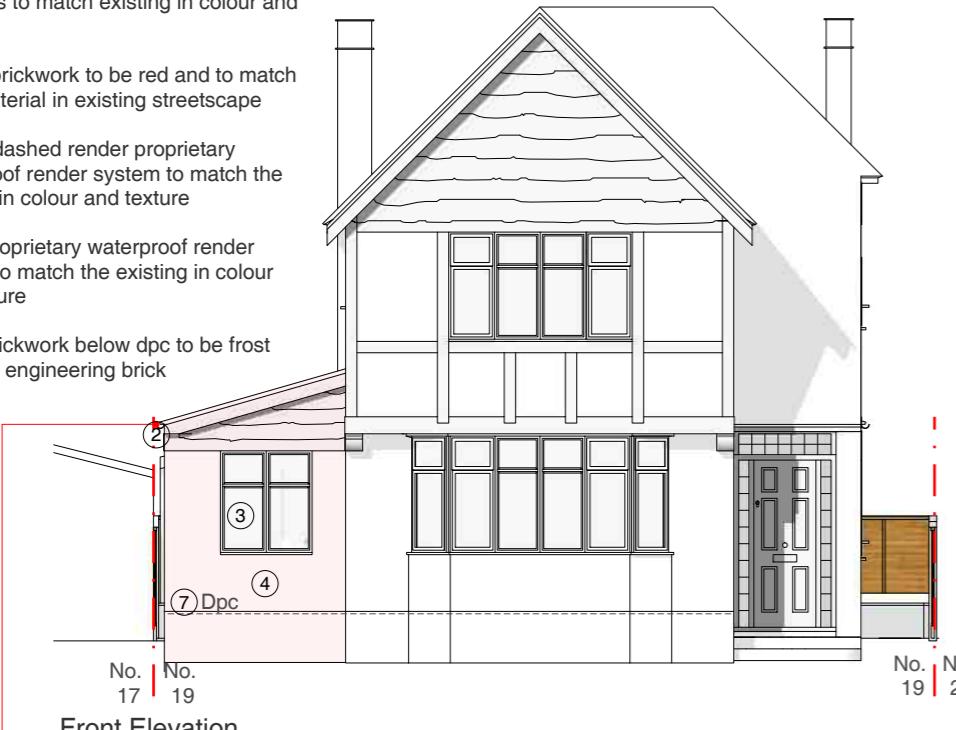
A - First Issue

MATERIALS KEY:

① Tiles to match existing in material, colour and texture
16° roof pitch

NOTE:
If pitch is min. 15° use Sandtoft 20/20 interlocking tiles to match existing in colour and texture

- ② Soffit and fascia to match existing
- ③ Windows to match existing in colour and material
- ④ Facing brickwork to be red and to match brick material in existing streetscape
- ⑤ Pebble dashed render proprietary waterproof render system to match the existing in colour and texture
- ⑥ White proprietary waterproof render system to match the existing in colour and texture
- ⑦ Dpc - Brickwork below dpc to be frost resisting engineering brick



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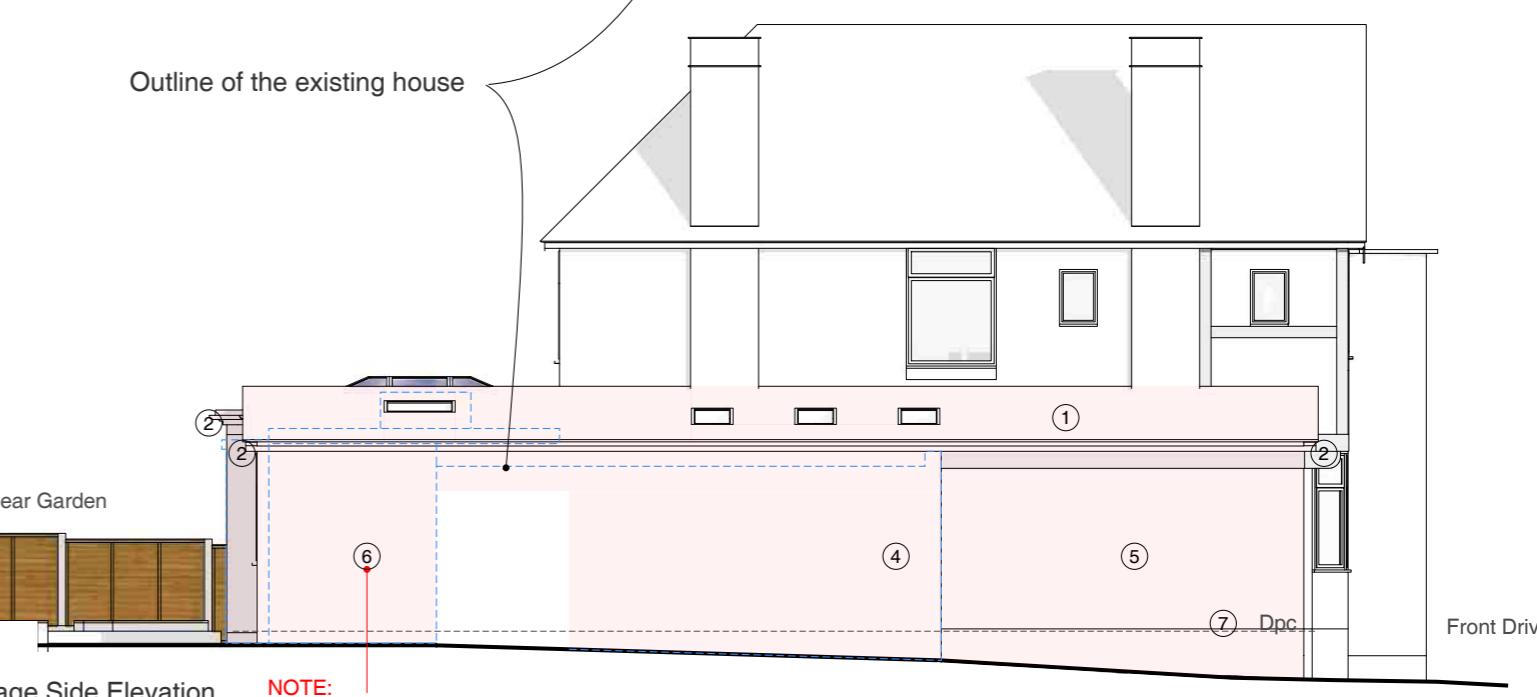
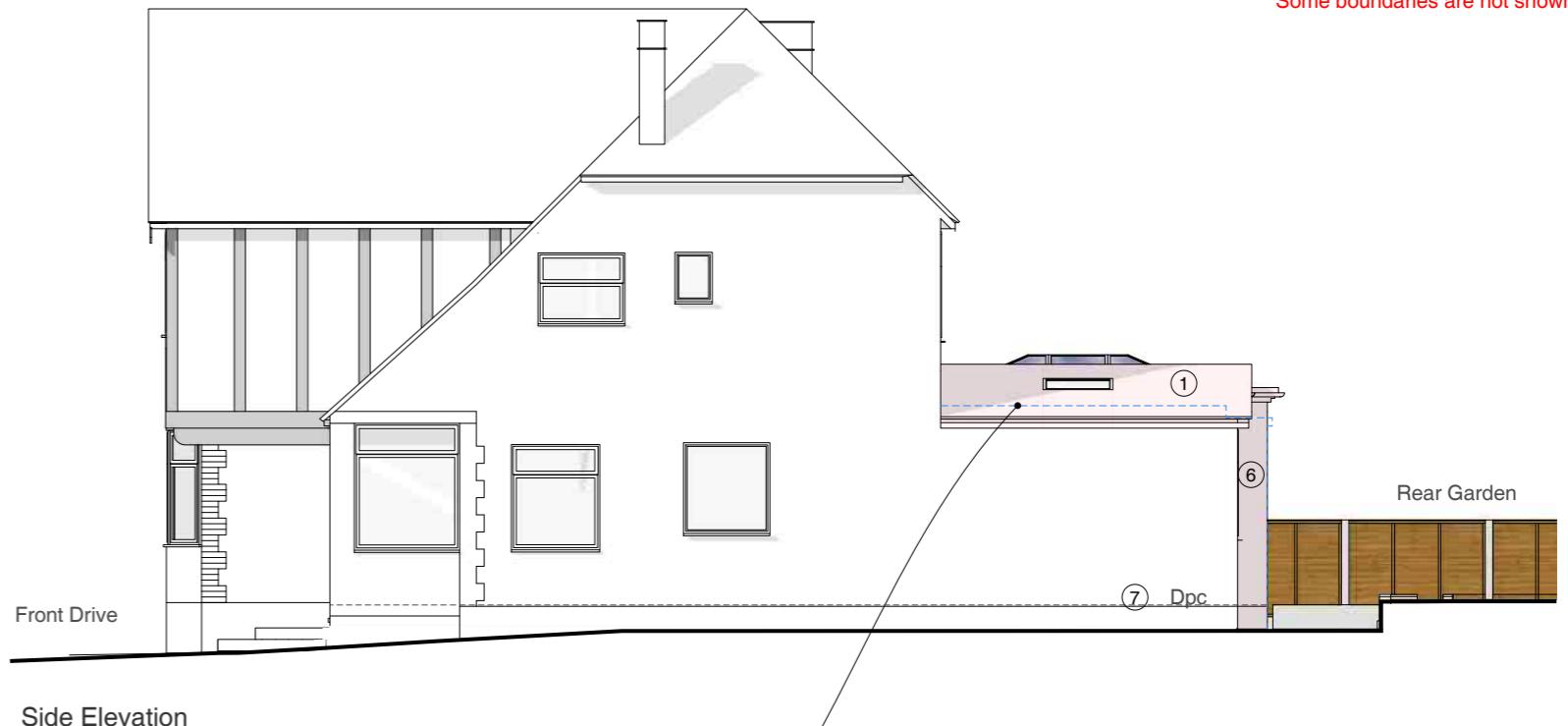
KEY

= Obscured glazing to windows (minimum scale for the Pilkington scale)

= Proposed structure

= Existing structure to be removed

NOTE:
Some boundaries are not shown for clarity



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed
Elevations

Project no. / Stage /

0384- PLA-

81_A

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A - First Issue

Drawn by: IR

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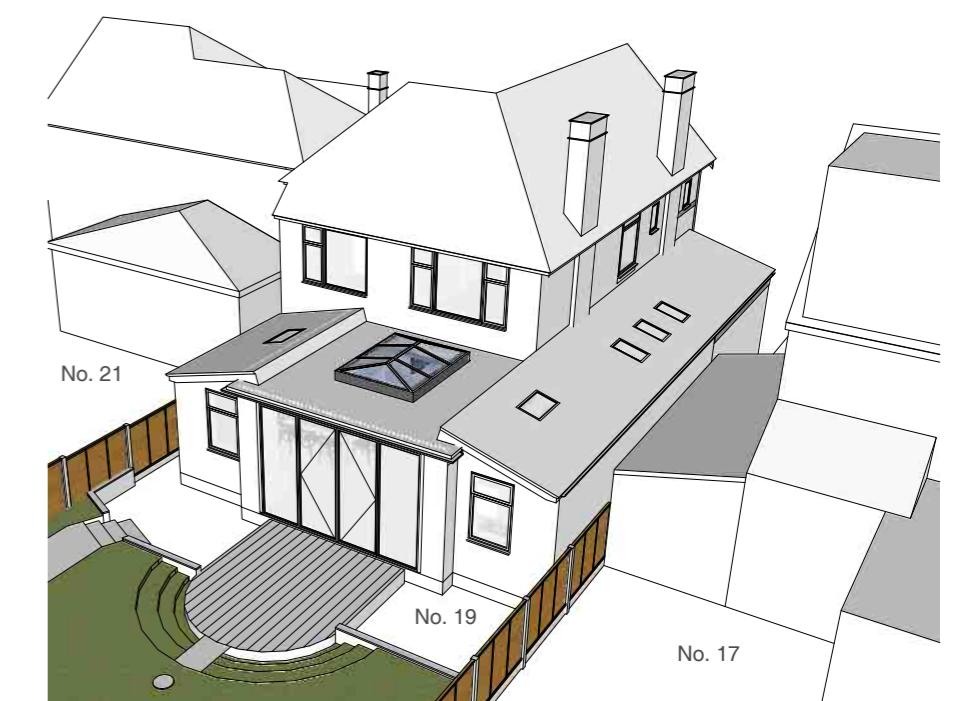


3D View from St Margaret Road

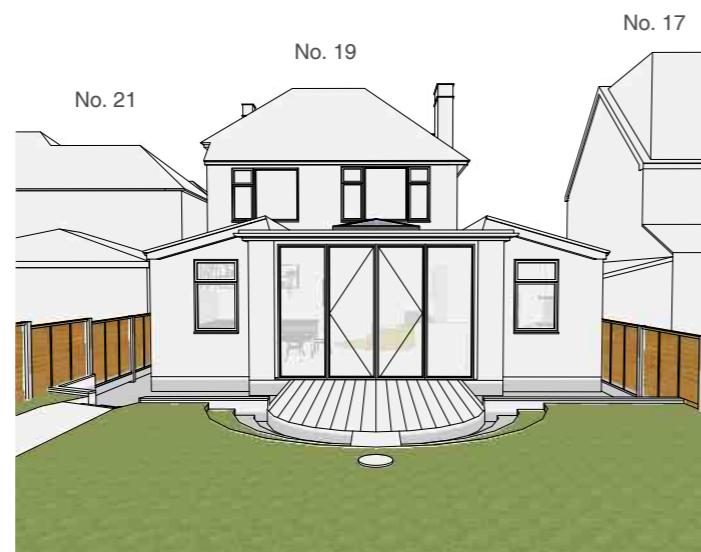
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3D View from St Margaret Road



Aerial View of the rear patio



View from the rear fence



View from the proposed rear decking

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3D Views

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Drawing no. / Revision

82_A

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Interior views of the proposed open space



Interior view from the proposed kitchen looking towards the dining space



Interior views from the hallway looking towards the proposed side extension



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83_A

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