



## 47 THE RIDGEWAY

DESIGN AND ACCESS STATEMENT  
Rev A

March 2023

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## 0 | Summary

This document provides further detail of the proposals to extend the dwelling at 47 The Ridgeway. The following headings follow the recommendations of CABE and are expanded to further describe the proposal.

This application is an alternative proposal for refused application Ref: **31216/APP/2022/3087 [5th December 2022]** and responds to comments in the Planning Officers report as well as further consultation with the client.

The site comprises a two storey detached property located on The Ridgeway occupying a corner plot with Hawtrey Road to the south. The street scene is residential in character and appearance comprising two-storey detached houses in spacious plots. There are a number of properties that have been extended with two storey and first floor side extensions as well as rear extensions. The site is not located in a Conservation Area.

The revised proposals comprise of;

First Floor Side Extension to the north side elevation.

Revised Ground Floor footprint below to allow for simplicity of construction, structure, better insulation and enlarged interior spaces.

Extension to the rear of the existing garage

Refurbishment of the full roof including re-cladding in a replacement tile. This knits both old and new together as well as addressing defects in the existing roof and allowing for increased thermal performance



SKETCH | INITIAL FRONT ELEVATION CONCEPT SKETCH

There was no correspondence or attempted negotiation from planning during the initial application **31216/APP/2022/3087**. A number of clarifications and reductions in the proposed footprint could have been accommodated within the original application. Please can Hillingdon contact the agent if any adjustments can be made to this application to avoid the time and expense of further planning applications.

## 1 | Use

The proposal is to extend the existing dwelling to provide further living space for a growing family as well as additional storage space.

The use of the dwelling as a family home is unchanged in these proposals and there is minimal impact on the amenity space of the dwelling.

## 2 | Amount

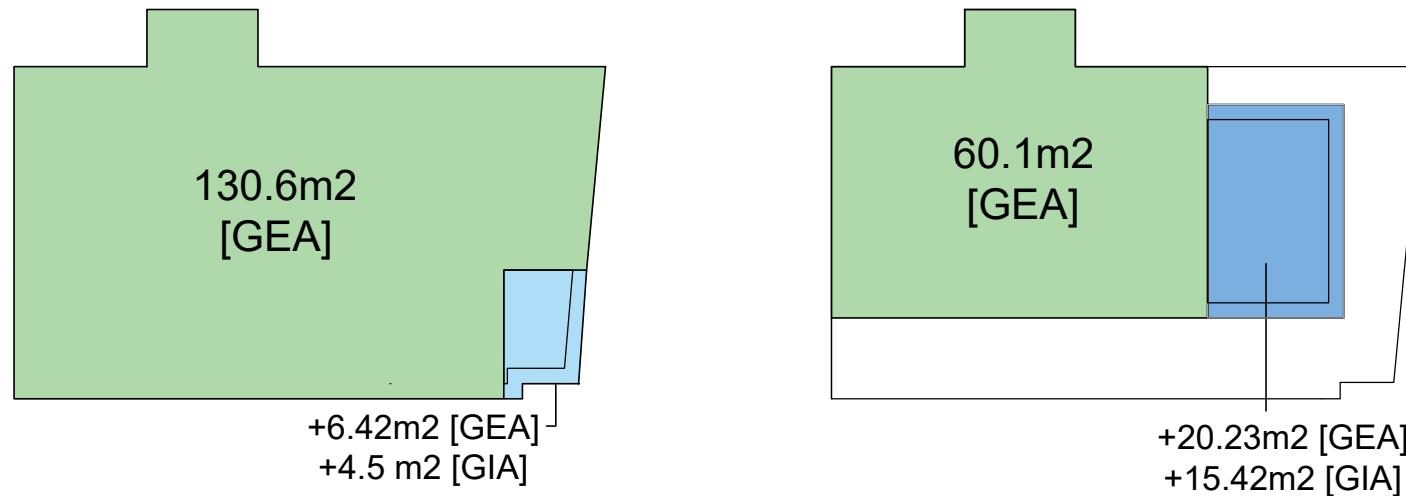
The proposal comprises a single storey first floor extension to the north side elevation. This sits over a slightly enlarged ground floor footprint to allow for ease of construction and provide additional storage.

The overall increase in floor area is 19.92 m<sup>2</sup> [Gross Internal Area].

Detailed dimensions of the proposal are discussed in the 'Scale and Form' Section of this document including reference to local planning policy.

The amount of front hard landscaping and parking provision is unaffected by the proposals. The rear & southerly amenity space is only reduced by the footprint of rear garage/storage extension and shift in the side elevation [approx 6.42m<sup>2</sup> reduction in amenity]

The rear amenity space totals 427 m<sup>2</sup> [as proposed] which sits comfortably over requirements set in the boroughs Local Plan [ Policy DMHB 18].



PROPOSED AREAS GROUND & FIRST FLOORS | GREEN = EXISTING Gross External , BLUE = PROPOSED ADDITION Gross External and Gross Internal

### 3 | Previous Design, Planners Comments and further Design Process

The Planning Officers report has been reviewed in detail to understand the basis for refusal alongside a further discussion with the client. Contact has also been made with the planning officer post refusal.

The Previous application was refused on the following points (summarised):

- a. **Size & Scale** - The proposed development would be overly dominant, engulf the original property and close an important gap [to the south corner] to the detriment of the character, appearance and visual amenities of The Ridgeway and Hawtrey Drive.
- b. **Internal Layout** - The new double bedroom in the first floor side extension would have a floor area of 9.7sq.metres which is considered to be substandard The proposal is therefore contrary to Policy D6 of the London Plan (2021).

In addition the following comments from the Planning Officers report are of note:

- c. The single storey rear extension behind the rear garage is of a limited height however it is noted the **guttering is shown to overhang outside the application site** and this would be considered to be unneighbourly. Any revised scheme would need to address this matter.

Item c above was a simple drawing error and therefore revised in this application.



PREVIOUS PROPOSAL | REFUSED FRONT ELEVATION



CURRENT PROPOSAL | ELEVATION

To respond to these comments we have significantly reduced the proposed scheme - removing **any addition to the southern side elevation/ open corner plot**. This responds directly to refusal point A aforementioned.

In order to counter this the north side extension (first floor extension) has been increased slightly in width. The width is well below half the width of the original house as per the planning officers comments and local policy.

This increase in first floor footprint addresses refusal point B - ensuring the internal Bedroom Dimension is 11.56 m<sup>2</sup> - [requirement of min 11.5sq.m in Policy D6 of the London Plan (2021)]. Note :this measurement does not include the en suite.

For buildability and both structural and thermal performance, the increased first floor extension requires changes to the ground floor beneath- facilitating larger habitable internal spaces with no outward visual impact from the street. Additional ground floor internal space is increased by 4.5 m<sup>2</sup> (or 6.42 m<sup>2</sup> GEA) with a small rear extension to the existing garage area. The garage is also to be re-insulated as dry storage space.

As opposed to the previous application - which provided a larger first floor footprint. The new smaller proposal necessitates further layout changes to the existing first floor layout to create a master suite toward the southern side of the plan. [See next Layout Section & Proposed Plans]

These changes respect existing fenestration and will have no impact externally in this area. As with the previous scheme: The aim has been to keep a consistency of form, detailing and materials in a design both in keeping yet still 'subservient' to the existing dwelling.



PREVIOUS PROPOSAL | REFUSED REAR ELEVATION



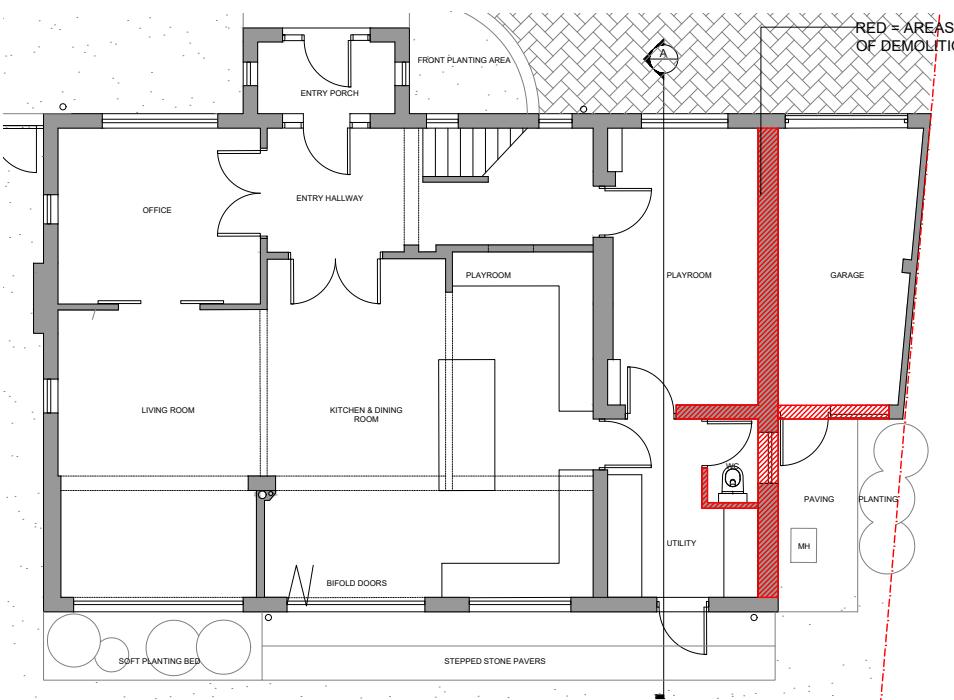
CURRENT PROPOSAL | REAR ELEVATION

## 4 | Layout

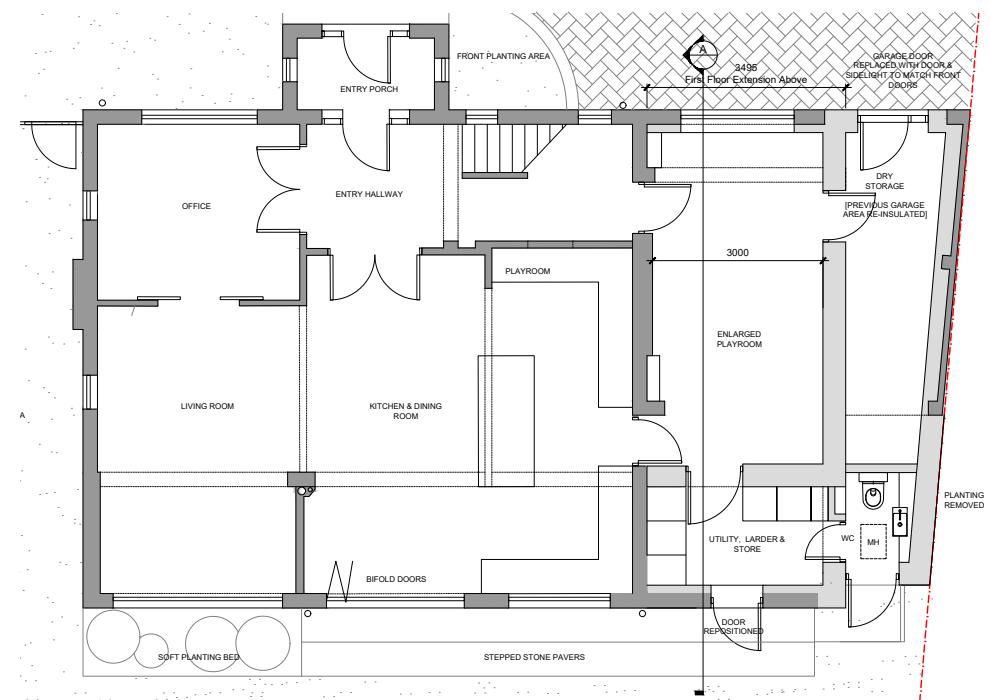
The layout of the ground floor remains similar to the existing however benefits from enlarged spaces to the northern side elevation - increasing the

playroom and utility spaces.

The rear garage area extension facilitates providing more storage space for the clients business and improved ancillary spaces for the house. This area



LAYOUT | EXISTING GROUND FLOOR



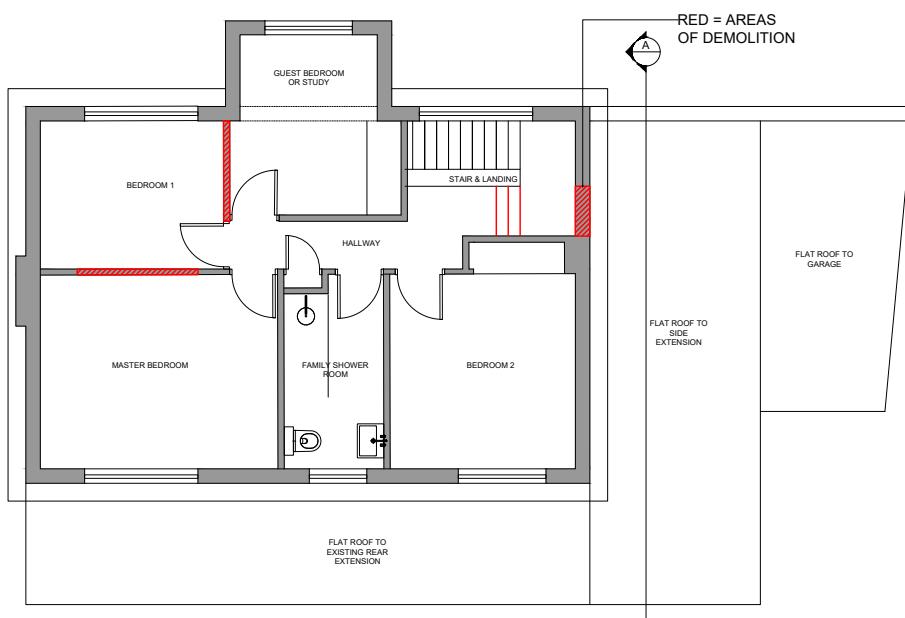
LAYOUT | PROPOSED GROUND FLOOR

is currently hard landscaped with some overgrown planting.

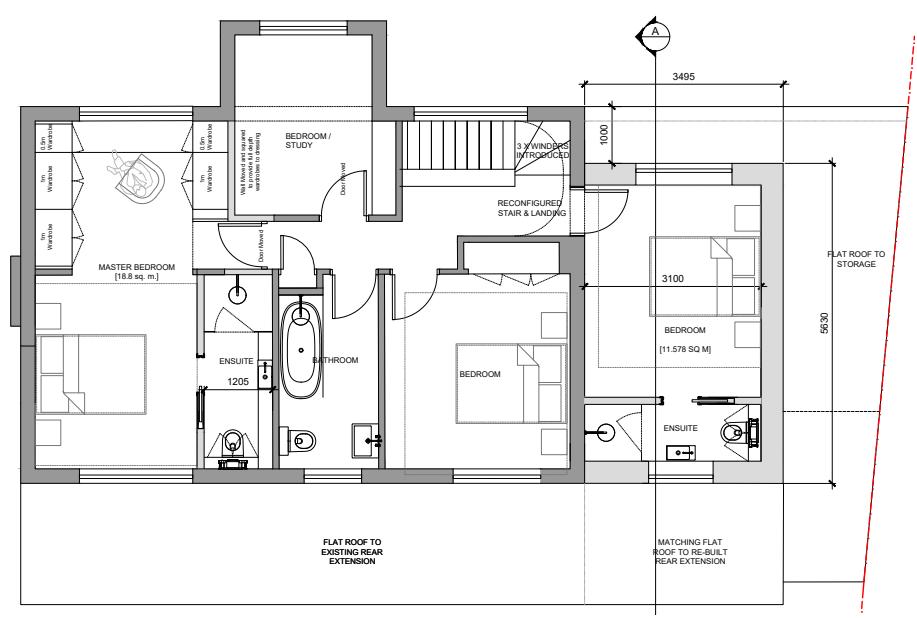
On the first floor the extension provides a double bedroom and en-suite

shower room, set back 1m from the front facade.

A master suite is created at the other side of the house through loss of one bedroom and re configuration of this area into a dressing space. An en suite shower room is added to this area of the house.



LAYOUT | EXISTING FIRST FLOOR



LAYOUT | PROPOSED FIRST FLOOR

## 5 | Scale & Form

The proposed works are now concentrated to the north side of the detached dwelling which receives a first floor extension.

The extension at first floor level is set back from the principle elevation by 1 metre to provide a step in the facade and create a subservient form to the extension. This 1 metre set back is clearly articulated within the Councils Local Plan [Policy DMHD1 - C(v)]. This sits over a lower level that already sits flush with the front facade and this is maintained in the proposed.

Policy DMHD1 also suggests a drop of 0.5m in the roof pitch to further articulate the new subservient elements. This drop works with the existing roof pitches and 1m setback - meaning the new roof profiles match the existing roof pitch - further aligning with Policy [ DMHD1 - C(viii)]

Internal alterations at ground floor level facilitate the structure required to support the above but will not have an outward impact on the scale or form of the building other than some changes to window and door openings at ground floor level.

We believe this extension to have minimal impact on the neighbouring properties & the overall street scene character. A significant gap is maintained between No 47 and its immediate neighbour No 45.

No works are proposed to the south side elevation and therefore there is no impact on the corner plot or its 'openness'. Furthermore a single sided extension no longer 'engulfs' the original property and the added width is well below half that of the original dwelling.



a | EXISTING MASS & FORM - Northerly Approach



b | EXISTING MASS & FORM - Northerly Approach

#### The Rear Garage area Extension

This is a modest addition to increase ancillary spaces and storage within the old garage area. It occupies an area of current hard landscaping and overgrown planting along the northern site boundary. The addition is stepped from the rear facade as to ensure it still reads as an ancillary storage /element.

Re-building the older rear extension so it aligns with the more contemporary rear extension simplifies the rear form and allows for consistency of detailing, thermal envelope and waterproofing. There is minimal impact on the scale of the building alongside a simpler roof form.



c | PROPOSED MASS & FORM - Southerly Approach



d | Proposed Mass & Form - Southerly Approach

## 6 | Appearance

There are no material changes from the initial application in which the officer noted there were no issues with the proposed appearance and all materials were satisfactory.



EXISTING Rear Garage Area

The proposal can still be broken down into several elements

- New First Floor Extensions - to match existing in its entirety
- Rear Garage extension - to fully match existing with solid replacement door.
- New Roof to Existing & proposed - matching in form to existing but varying in material colour and texture.
- Alteration to the ground floor porch windows to match rest of the house.

### Side Extension including Garage Extension

The proposals continue the same materials and detailing as the existing house with the following:

- Majority red brick walls in stretcher bond with an upper projecting soldier course feature band. Similar brick detailing is also included above the ground floor windows throughout.
- Rendered and white painted upper band to match the original house with matching drip detail.
- Black aluminium framed contemporary double glazed windows and rear doors to match the existing.
- Black rainwater goods to match in with the existing as well as matching fascias to the new eaves.
- Flat roofing and fascias to the rear will match the existing.

### Replacement Roof

Unusually for the wider estate - the existing roof is a green glazed pan-tile with matching ridge profiles. It has proven difficult to obtain a matching tile for the new side extension.

The need for various repairs as well as the desire to seamlessly knit together the new roof-scape have informed the decision to replace the full extent of the roof finish for a grey sand-faced clay tile. The aim is to create an overall more holistic design as well as allow remedial works to the roof and improved levels of insulation.

Chimneys are retained and re-pointed and penetrate the roof of the new side extension to maintain the character of the house.

The Front porch windows are currently a single glazed Gothic style window and these proposals look to update the windows to match the rest of the property as well as improve their thermal performance. Please refer to Proposed Elevations.



APPEARANCE | PROPOSED ROOF TILE TYPE TO KNIT FULL ROOF TOGETHER WITHOUT ADVERSE IMPACT TO THE CHARACTER OF THE STREET SCENE.



APPEARANCE | EXISTING FRONT ELEVATION



APPEARANCE | EXISTING REAR AND SOUTH SIDE ELEVATION

## 7 | Landscaping

There are no major landscape changes to the scheme as a result of this design. Some hard landscaping is lost through the footprint of the rear garage area extension which is minimal given the overall plot size.

There is still ample rear soft landscaping and the amenity space remaining is well over the amount set by planning policy DMHB 18 [100 m<sup>2</sup> required for a 4 bed + house]

## 8 | Access & Parking

The proposals do not involve any alteration to the current parking provision to the front of the property, maintaining space for 2 cars.

The main entrance to the dwelling is also unchanged. A secondary access to the clients storage area is added in lieu of the previous garage door.

The proposals maintain external access to the rear garden from the front landscape area via a side gate.

The rear elevation benefits from a simplified and more secure rear access to the garage ancillary areas (WC & Utility)