



47 THE RIDGEWAY

DESIGN AND ACCESS STATEMENT

OCTOBER 2022

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0 | Summary

This document provides further detail of the proposals to extend the dwelling at 47 The Ridgeway. The following headings follow the recommendations of CABE and are expanded to further describe the proposal.

The application site comprises a two storey detached property located on The Ridgeway occupying a corner plot with Hawtrey Road to the south. The street scene is residential in character and appearance comprising two-storey detached houses in spacious plots. There are a number of properties that have been extended with two storey and first floor side extensions as well as rear extensions. The site is not located in a Conservation Area.

The Proposals comprise of 4 main elements;

Two Storey Side Extension to the south side elevation, which includes a larger ground floor to align with the existing rear (single storey ground floor) extension.

Single Storey First Floor Extension to the north side elevation.

Non-habitable Garage Extension to the rear of the existing garage to increase storage space for the clients business.

Refurbishment of the full roof and re-cladding in a replacement tile to knit both old and new together as well as addressing defects in the existing roof.



SKETCH | INITIAL FRONT ELEVATION CONCEPT SKETCH

1 | Use

The proposal is to extend the existing dwelling to provide further living space for a growing family as well as additional storage space.

The use of the dwelling as a family home is unchanged in these proposals and there is minimal impact on the amenity space of the dwelling.

2 | Amount

The proposal comprises a two storey side extension to the south side elevation and single storey first floor extension to the north side - sitting over the existing ground floor.

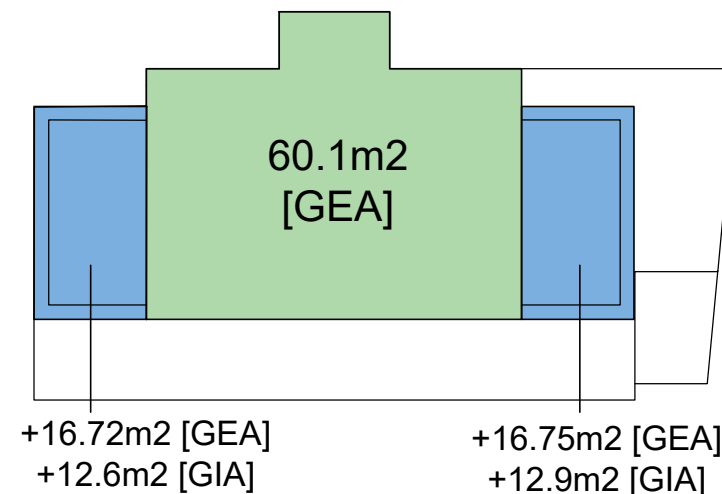
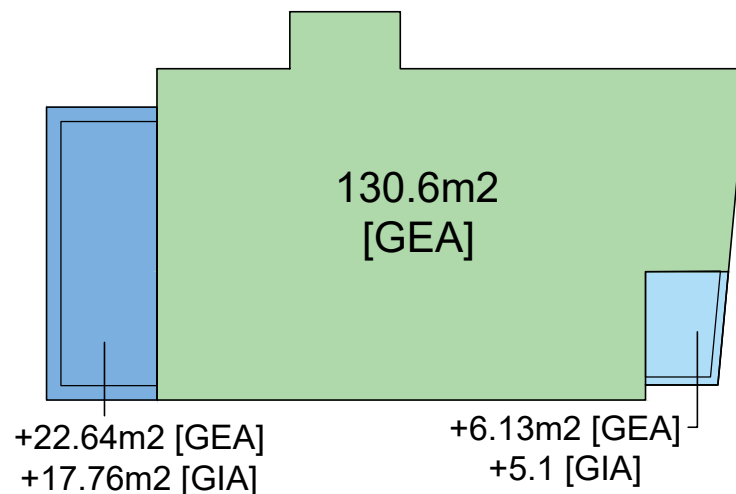
In addition a garage extension to the rear provides additional non-habitable storage space.

The overall increase in floor area is 43.26 m² of habitable space [Gross Internal Area] and a further 5.1 m² of Garage storage space [GIA]

Detailed dimensions of the proposal are discussed in the 'Scale and Form' Section of this document including reference to local planning policy.

The amount of front hard landscaping and parking provision is unaffected by the proposals. The rear & southerly amenity space is reduced by the footprint of the south extension [GEA of 22.64 m²] and rear garage extension [GEA 6.13 m²]

The rear amenity space totals 403 m² as proposed which sits comfortably over requirements set in the boroughs Local Plan [Policy DMHB 18].



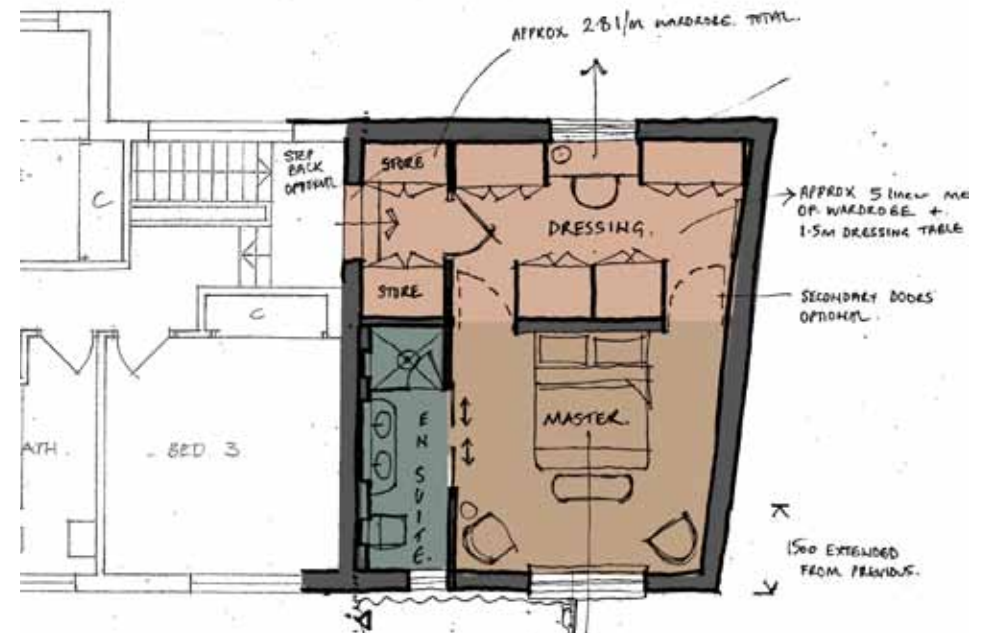
PROPOSED AREAS GROUND & FIRST FLOORS | GREEN = EXISTING Gross External , PROPOSAL = BLUE INDICATION Gross External and Gross Internal Areas

3 | Design Process

Various options were reviewed in order to provide the necessary floor area to satisfy the clients brief for an additional bedroom, bathroom and storage space. A larger, single storey extension - extending over the full extent of the garage and existing playroom - was dismissed owing to its unsymmetrical bulk and the resulting close proximity with the immediate neighbour (no 45).

Early sketch designs saw benefit in creating a symmetrical approach with two distinct 'wings' each extending to both side elevations of the existing detached property. Each wing is well under half the width of the original house as advised in Hillingdon Local Plan [Policy DMHD 1 c:i]. The result was a more proportionate response that aims to keep the symmetrical design of the original house and avoid encroaching too close to the immediate neighbouring property. This approach also allows the size of the southern extension to be kept to a minimum, maintaining a separation from the corner/southern site boundary as well as ensuring the extension does not encroach on the return building line along Hawtrey Road.

The aim has been to keep a consistency of form, detailing and materials to add the required area in a design both in keeping yet still subservient to the existing dwelling. The use of set backs in the facade and height changes to the roof follow advice in the councils Local Plan [DMHD 1] in order to achieve this.



SKETCH | ELEVATION AND PLAN SKETCH OF SIDE PROPOSAL

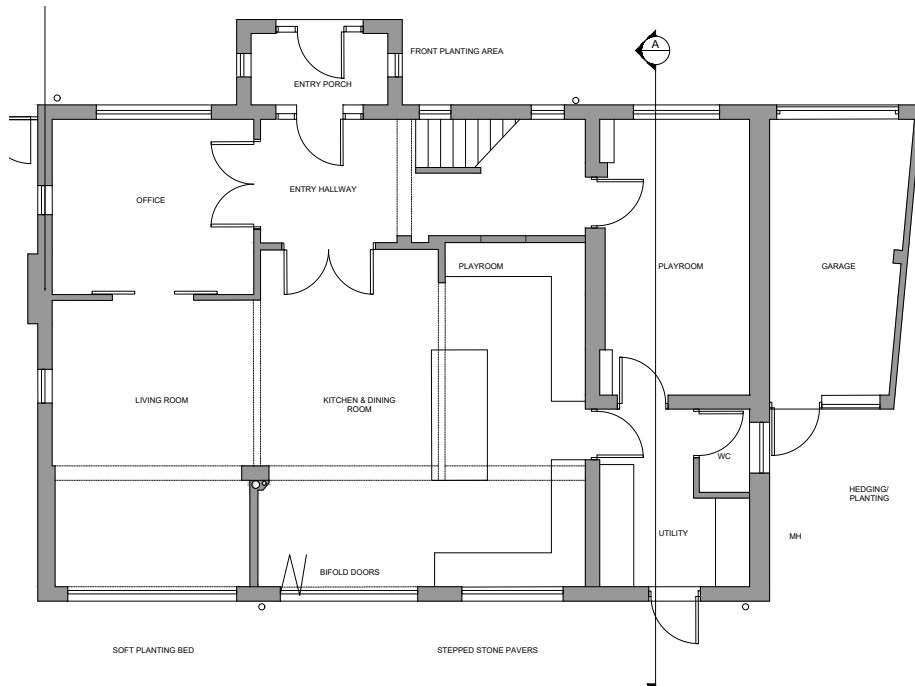
4 | Layout

The layout of the main house remains almost exactly as existing with the new additions forming two side 'wings' to the property.

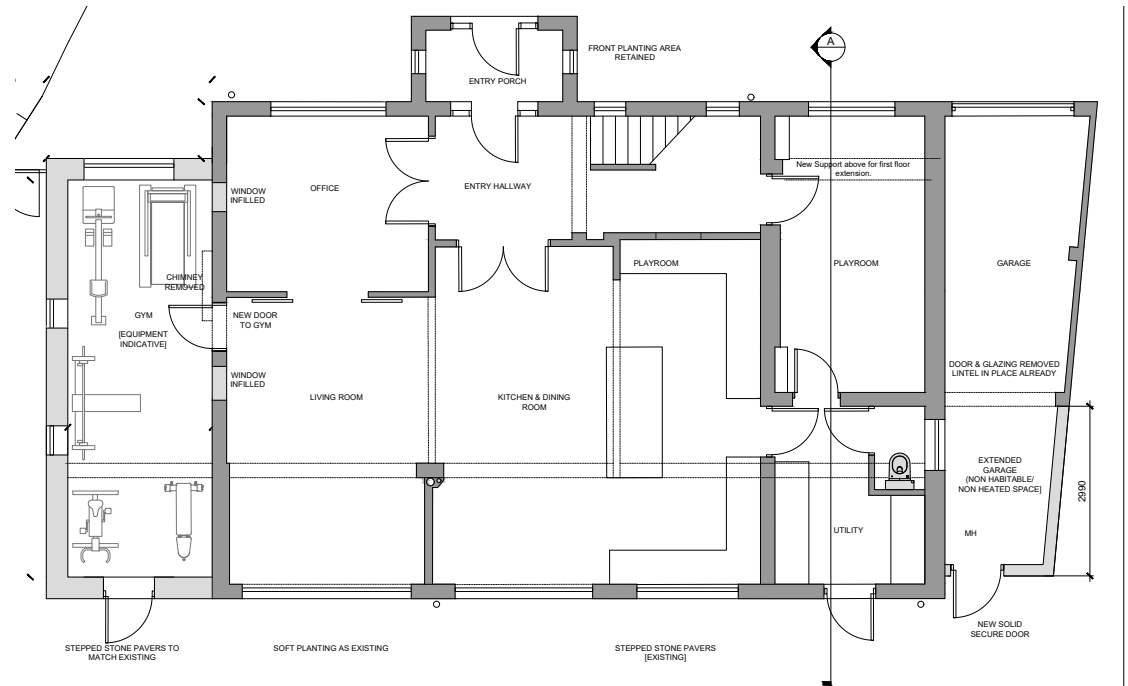
The southern (side) elevation two-storey addition provides additional family living space on the ground floor and on the first floor allows for the creation of an enlarged master bedroom - providing additional storage and an en suite

bathroom. There is currently only one bathroom for the four bed house.

In the single storey first floor extension (over the current playroom/ North side elevation) a new double bedroom and en suite shower room is created. This is accessed via the main stair/hallway of the existing house which is reconfigured to rationalise the landing and allow a new opening to the extension (through the current side elevation).

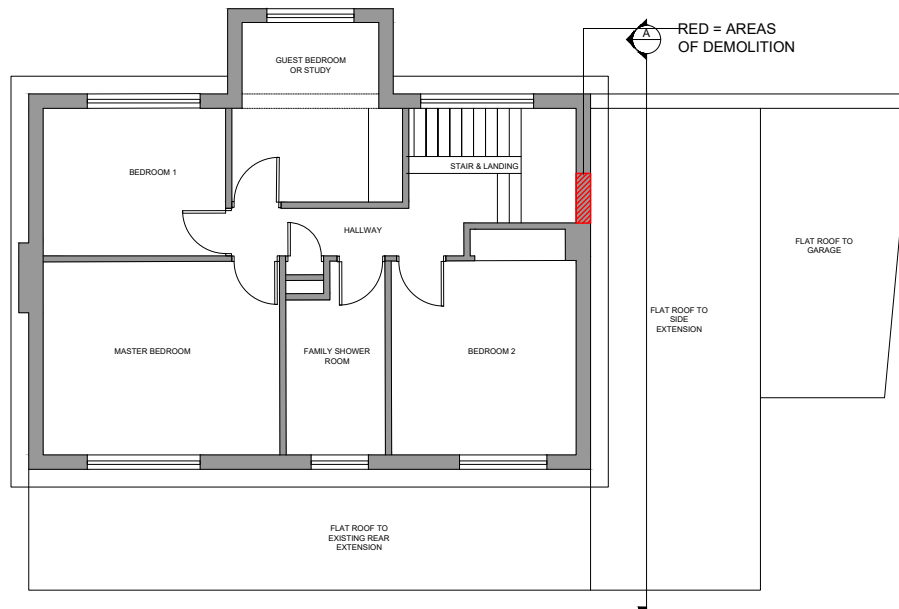


LAYOUT | EXISTING GROUND FLOOR

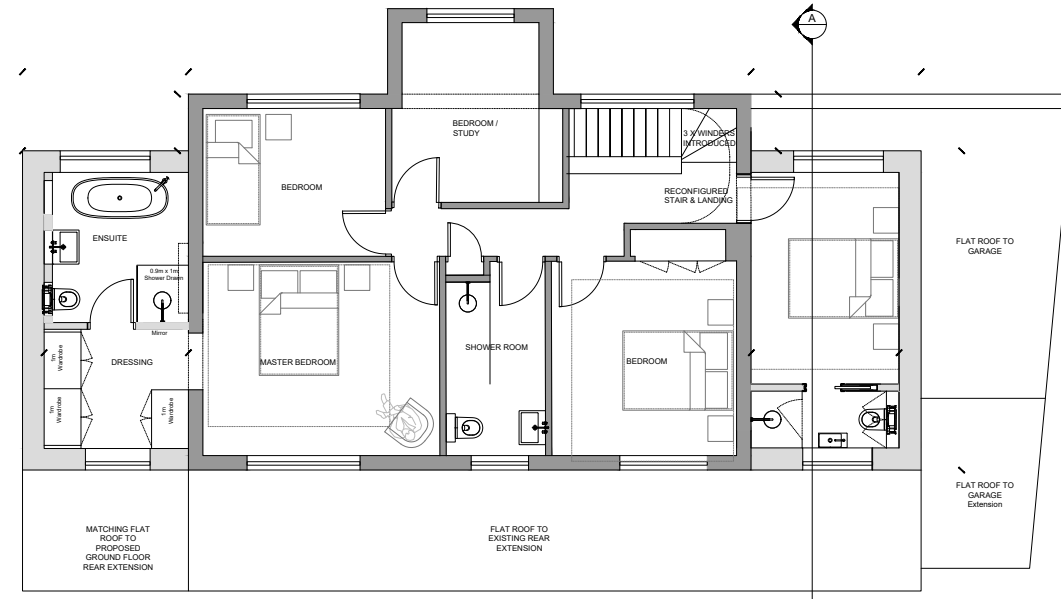


LAYOUT | PROPOSED GROUND FLOOR

The rear garage extension provides more storage space for the clients business as well as providing more secure rear access. This area is currently hard landscaped with some overgrown planting.



LAYOUT | EXISTING FIRST FLOOR



LAYOUT | PROPOSED FIRST FLOOR

5 | Scale & Form

As noted the proposed works are in two main elements or 'wings' added to the existing dwelling;

Each 'wing' is set back from the principle elevation by 1 metre to provide a step in the facade and create a rhythm to the building. This also ensures each new element reads as subservient to the existing house. The 1 metre set back is clearly articulated within the Councils Local Plan [Policy DMHD1 - C(v)]

Alongside this policy DMHD1 also suggests a drop of 0.5m in the roof pitch to further articulate the new subservient elements. This drop works with the existing roof pitches and 1m setback - meaning the new roof profiles match the existing roof pitch - further aligning with Policy [DMHD1 - C(viii)]

Two Storey Side Extension Southern (side) elevation

The Side Extension sits 1m from the south site boundary along Hawtrey Road - as required by guidance in the local plan. This sits the side elevation back from the edge of the plot and allows us to retain rear garden access from the front hard landscaping via a repositioned gate in the timber fence.

The setback means the side extension is designed to not appear prominent along the street scene nor have a detrimental impact on the character of the area. All materials and surface treatments follow on from the main house to create a fully cohesive design.

At the clients request, the ground floor footprint extends further at the rear to tie in with the existing ground floor extension avoiding an odd step in the rear facade.



a | EXISTING MASS & FORM - Northerly Approach



b | EXISTING MASS & FORM - Northerly Approach

There are two re-used windows to the South Elevation at ground level which will be largely obscured by the existing boundary fence. There are no first floor windows to the side elevation to maintain privacy to neighbours. Front and rear windows follow a similar size and design as the existing.

The southern side extension sits well back from the return building line along Hawtrey Road and maintains a sufficient distance from the side elevation of number 57 The Ridgeway which sits opposite.

Single Storey First Floor Extension - Northern side elevation

To create a more symmetrical look to the house and a consistency of roof detailing across the two wings - the first floor extension also sits back from the main facade by 1m as outlined in the aforementioned Planning Policy. This sits over an existing lower level that sits flush with the front facade.

Using two smaller side extensions as opposed to one larger extension to the north side elevation was seen as a far more sensitive approach than an unbalanced proposal that would create an overly bulky side extension.

We therefore believe these extensions to have minimal impact on the neighbouring properties & the overall street scene character. Whilst adding the functional area the client has requested they do not overly develop the detached dwelling in relation to the overall plot size. This is demonstrated in the Proposed Site Block Plan.



c | PROPOSED MASS & FORM - Southerly Approach



d | Proposed Mass & Form - Southerly Approach

The Rear Garage Extension

This is a modest non habitable addition to provide much needed storage for the clients business and family. It occupies an area of current hard landscaping and overgrown planting along the northern site boundary. The addition is stepped from the rear facade as to ensure it still reads as an ancillary garage space.



EXISTING Rear Garage Area

6 | Appearance

The proposal can be broken down into several elements

- New Side Extensions - to match existing in their entirety
- Rear Garage extension - to fully match existing with solid replacement door.
- New Roof to Existing & proposed - matching in form to existing but varying in material colour and texture.
- Alteration to the ground floor porch windows to match rest of the house.

Side Extensions including Garage Extension

The proposal continues the same materials and detailing as the existing house with the following:

- Majority red brick walls in stretcher bond with an upper projecting soldier course feature band. Similar brick detailing is also included above the ground floor windows throughout.
- Rendered and white painted upper band to match the original house with matching drip detail.
- Black aluminium framed contemporary double glazed windows and rear doors to match the existing.
- Black rainwater goods to match in with the existing as well as matching fascias to the new eaves.
- Flat roofing and fascias to the rear will match the existing.

Replacement Roof

Unusually for the wider estate - the existing roof is a green glazed ile with matching ridge profiles. It has proven difficult to obtain a matching tile for the new side extensions.

The need for various repairs as well as the desire to seamlessly knit together the new roof-scape have informed the decision to replace the full extent of the roof finish for a grey sand-faced clay tile. The aim is to create an overall more holistic design as well as allow remedial works to the roof and improved levels of insulation.

Chimneys are retained and re-pointed and penetrate the roof of each side extension to maintain the character of the house.

The Front porch windows are currently a single glazed Gothic style window and these proposals look to update the windows to match the rest of the property as well as improve their thermal performance. Please refer to Proposed Elevations.



APPEARANCE | PROPOSED ROOF TILE TYPE TO KNIT FULL ROOF TOGETHER WITHOUT ADVERSE IMPACT TO THE CHARACTER OF THE STREET SCENE.



APPEARANCE | EXISTING FRONT ELEVATION



APPEARANCE | EXISTING REAR AND SOUTH SIDE ELEVATION

7 | Landscaping

There are no major landscape changes to the scheme as a result of this design. Some soft landscaping (lawn) is lost through the footprint of the two-storey side extension [22.64 m² GEA]. The rear garage extension [6.13 m² GEA] loses some hard landscaping and planting to the north boundary.

There is still ample rear soft landscaping and the amenity space remaining is well over the amount set by planning policy DMHB 18 [100 m² required for a 4 bed + house]

8 | Access & Parking

The proposals do not involve any alteration to the current parking provision to the front of the property, maintaining space for 2 cars.

The main entrance to the dwelling is also unchanged.

The proposals maintain external access to the rear garden from the front landscape area via a side gate. The rear elevation benefits from a simplified and more secure rear access to the garage as well as additional garden access provided in the new south side extension.

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