



Supporting Statement

Two Storey Side Extension, Roof Extensions
& Single Storey Front Extensions
AT

135A Long Lane,
Hillingdon UB10 0AT

Reference:
135LL-1514

Date:
12 January 2021

1. Introduction

- a. This Supporting Statement has been prepared by Just Planning on behalf of Mr and Mrs Thavanesan to support a full planning application for the erection of a two storey side extension, roof extensions including two dormer windows and single storey front extensions to 135A Long Lane, in Hillingdon.
- b. The following sections describe the application site, set out the planning history, provide an overview of the planning policies and outline the case for the proposal.

2. Site Description

- a. The application property comprises a two-storey, detached dwellinghouse located on the western side of Long Lane in Hillingdon. It is brick built, has a hipped roof, and has gardens to the front and rear. The property has previously been extended by way of a two-storey side extension, a single-storey side extension and a rear conservatory.
- b. The dwellinghouse occupies a corner plot at the junction of Long Lane and Court Drive and has a main frontage to Long Lane. It is set back from the road behind a front garden and driveway with space for cars to be parked on an existing paved forecourt. The property is enclosed by a high brick boundary wall to the front and side.
- c. The surrounding area is predominantly residential in character, with dwellinghouses located on Long Lane and Court Road in proximity to the site. The houses in the area are mostly detached and semi-detached. Many have front gable ends and have been extended. There is also a block of flats to the north east of the site on Long Lane.
- d. Along with residential uses, the surrounding area includes a school, a library, a dental surgery and a medical centre. Buildings in the area are mixed in terms of design and appearance and vary in terms of scale, siting and detailing. The application site forms part of a fairly consistent stretch of buildings insofar as they are set back from the road.
- e. Immediately to the south of the application site is a two storey detached dwellinghouse (135 Long Lane) with a garage next to the shared boundary. The house is set back from the shared boundary on the other side of its garage.
- f. Immediately to the north of the application site is a road (Court Drive) on the opposite side of which lies a detached two storey dwellinghouse (137 Long Lane). Due to the presence of the road, the dwellinghouse is set a generous distance away from the application site and the road provides a buffer between the two properties.
- g. Immediately to the west (rear) of the application site lies a two storey building on Court Drive containing a dental surgery. The building lies perpendicular to the application site and faces Court Drive.
- h. Immediately to the east (front) of the application site lies a road, Long Lane, which is a busy main road (A437) which includes local bus services. Beyond the road lies pairs of two storey semi-detached dwellinghouses opposite the application site.

- i. The application building is not listed and does not lie within a designated conservation area. A review of the Council's adopted Policies Map indicates that the site is not subject to any site designations. An 'Area of Special Local Character' lies to the west of the site and includes some properties on Court Drive, but the boundary of this designation excludes the application site and its immediate surroundings. In terms of flood risk, the site lies within Flood Zone 1 (low probability of flooding).

3. Relevant Planning History

- a. The application has the following planning history according to the Council's online planning register:

31162/APP/2018/2737 - Carport to front (Part retrospective). Appeal dismissed 12 February 2019.

31162/APP/2018/65 - Conversion of roof space to habitable use to include a rear dormer, 4 front rooflights and conversion of both sides of roof from hip to gable end. Refused 27 February 2018.

31162/APP/2017/3605 - Single storey front extension, two storey side extension and conversion of roof space to habitable use to include a rear dormer. Refused 8 December 2017.

31162/APP/2017/2748 - Extension to existing vehicular crossover to front. Dismissed 18 April 2018.

31162/APP/2005/1408 - Erection of a single storey timber structure (appeal against enforcement notice; application for planning permission deemed to have been made pursuant to section 174 of the Town And Country Planning Act 1990). Approved 16 December 2005.

31162/APP/2005/1409 - Erection of 2 metre high side and front boundary walls, including columns, fronting long lane and court drive respectively (appeal against enforcement notice; application for planning permission deemed to have been made pursuant to section 174 of the Town And Country Planning Act 1990). Approved 16 December 2005.

31162/APP/2002/2804 - Erection of a 2 metre high front and side brick boundary wall (retrospective application). Refused. 10 May 2004.

31162/APP/2002/758 - Erection of a two storey side extension, a single storey rear extension, a single storey side garage and a front porch. Approved 1 July 2002.

- b. The current application has been the subject of pre-application advice discussions with the Council via email correspondence dated 13 October 2020. In summary, the Council's pre-application advice response stated:

- 1. The architectural appearance of the resulting building is fine in terms of its design, massing and height but it is compromised by its location on a corner plot and the requirements of the Council's design requirements which are negative towards front projections and negative towards any*

proposals that breach the return building line. Extensions to corner plots should ensure that the openness of the area is maintained and the return building line is not exceeded.

- 2. The dormers appear to accord with the Council's design policy requirements, the "crown" roof has been designed out and there will be adequate remaining amenity space. It is considered that overlooking to properties will not be materially worse than the existing situation.*

4. Planning Policy

- a. Planning law states that decisions on planning applications must be taken in accordance with the statutory development plan unless material considerations indicate otherwise. The relevant parts of the development plan for the area are the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).
- b. Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One – Strategic Policies requires all new development to improve the quality of the built environment in order to create successful and sustainable neighbourhoods. Among other things, the policy states that development proposals should be sensitive to local identity, landscapes, townscapes and views, improve areas of poor environmental quality, improve the quality of the public realm, and not result in the inappropriate development of gardens and green spaces that erode the character of suburban areas.
- c. Policy DMHB 11 (Design of New Development) of the Development Management Policies requires that all new development exhibit a high quality of design. Development should harmonise with its surroundings in terms of its scale, size and detailed design. It should use high quality materials. It should not unacceptably harm the residential amenity of close neighbours.
- d. Policy DMHD 1 (Alterations and Extensions to Residential Dwellings) sets out criteria for extensions. It seeks to ensure that there is:

"no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area"

- e. It requires that extensions are subordinate to the host dwelling *"in their floor area, width, depth and height"*. It recommends the use of matching materials. It requires that adequate garden space and parking is retained.
- f. Policy DMHD 1 requires two storey side extensions to meet a number of criteria, such as two storey side extensions should not exceed half the width of the original property and on extensions to corner plots such as this, they should ensure that the openness of the area is maintained. Two storey side extensions should be set in a minimum of 1 metre from the side in order to maintain adequate visual separation and views between houses, and two storey side extensions to detached properties should be set back a minimum of 1 metre behind the main front elevation.
- g. With regard to roof extensions, Policy DMHD 1 states that they should be

located on the rear elevation only, be subservient to the scale of the existing roof and should not exceed more than two thirds the average width of the original roof. They should be located below the ridge tiles of the existing roof and retain a substantial element of the original roof slope above the eaves line.

- h. With regard to front extensions, Policy DMDH1 states that alterations and extensions to the front of a house should be minor and not alter the overall appearance of the house or dominate the character of the street.
- i. The National Planning Policy Framework (NPPF) sets out the government's planning policies for England and how they should be applied. It identifies a presumption in favour of sustainable development. Development is sustainable when it meets the economic, social and environmental needs of a community.
- j. Paragraph 11(c) requires that decision-makers approve *"development proposals that accord with an up-to-date development plan without delay"*. Where policies are absent or out of date, permission should be granted unless:

"any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole."

- k. According to paragraph 38:

"Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible."

- l. Paragraph 124 states that:

"Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."

- m. According to paragraph 130:

"...where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development."

5. Assessment

a. The proposal seeks planning permission for:

- *Demolition of the existing ground floor side extension and construction of a single-storey front extension incorporating roof lantern and a two storey side extension.*
- *Roof extensions and alterations involving raising the ridgeline of the main roof, construction of two dormer roof extensions on the rear roof slope and construction of five rooflights in the front and side roof slopes.*
- *Two ground floor front extensions located either side of the existing entrance hall.*
- *Extension of the existing dropped kerb to provide more convenient access to the existing off-street parking at the site.*

b. The proposal also involves fenestration changes and internal layout changes to the existing dwellinghouse.

Two-storey side extension

c. The proposed two storey side extension is acceptable in light of planning policy requirements set out in policy DMHD 1 for the following reasons:

- The extension will be set back from the main front wall of the dwellinghouse by at least one metre in accordance with policy requirements to provide definition between the original house and the extension. In addition, the extension will have a greater set back at first floor level than the previously refused two-storey side extension (application reference 31162/APP/2017/3605) on 8 December 2017, as indicated in the images in figures 1 & 2, below.



Figure 1: Previously-refused proposal – wider with lesser setback

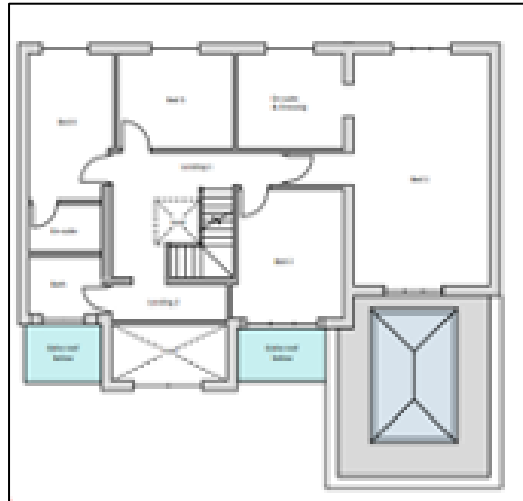


Figure 2: Current proposal with increased setback

- The extension will maintain the openness of the area and adequate visual separation between houses by retaining a gap between the building and the side boundary. The proposal will be set back more than 1m from the side boundary, in accordance with the council's requirements. Whilst the extension will increase the footprint of the dwellinghouse and bring it closer to the side boundary, this increase will not harm visual amenity because of this setback. Furthermore, with its height being lower than that of the host building and due to Court Drive (the road immediately north of the site) proving a buffer between the site and other buildings along Long Lane, a sense of openness around the building will be retained. In addition, as the site is not in a conservation area, visual gaps and views between buildings are not sensitive in heritage terms.
- Due to the considerable set back of the existing dwellinghouse from Long Lane together with the presence of the existing Willow tree in the front garden and the high brick boundary wall, the extension will be significantly screened from view and will not be visually dominant to the streetscene.
- The extension will reflect the architectural style and external materials of the main dwellinghouse and has therefore been designed to harmonise with the dwellinghouse.
- The roof the two-storey side extension will be set back from the front roof plane so that its ridge is lower than the main ridge thus ensuring that it reads as a subordinate element.
- The width of the two storey side extension will be less than half the width of the original dwellinghouse to avoid over-dominance of the

original house.

- The side extension has been designed to ensure that a generous amount of garden space at the property will remain, which is a further indication of its limited size. It will also not affect parking or trees at the property in accordance with policy requirements.
- The extension will not affect neighbouring amenity in terms of outlook, sense of enclosure, sunlight, daylight, noise and disturbance due to the absence of any neighbouring residential properties immediately adjacent to it because of the site's street corner location. Furthermore, the nearest building to the site on Court Drive is a dental surgery rather than a residential property. As such, the two storey side extension will not affect residential amenity.
- There are some similar two-storey side extensions constructed at dwellinghouses in proximity to the site. These include the examples below. The two storey side extension will therefore not be out of character with the site context.



Figure 3: Two storey side extension at 20 The Close, Uxbridge, UB10



Figure 4: Two storey side extension at 55 Court Drive, Uxbridge, UB10



Figure 5: Two storey side extension at The Close/Court Drive Street corner

Front extensions

- d. The proposed front extensions to the property are considered acceptable and to comply with the requirements of policy DMHD 1 for the following reasons:
 - The extensions will be single-storey and therefore limited in size and scale, and will not extend across the entire frontage of the building. The extensions will therefore be minor, not alter the overall appearance of the house and due to the generous set back of the dwellinghouse from Long Lane, they will not dominate the character of the street. The front extension containing the proposed kitchen (incorporating a roof lantern) will be particularly well hidden from public view due to it being largely screened by the existing high brick boundary wall.
 - The front extensions will result in excess of 25% of the front garden being retained, in accordance with policy DMHD 1.
 - The front extensions will not affect neighbouring amenity due to the absence of any neighbouring residential properties immediately adjacent to the proposed front kitchen extension because of the site's street corner location and also due to the modest size of the front extensions either side of the entrance hall.
 - The front extensions will respect the established front building line in the site's immediate context by not projecting further forward than the front building line of neighbouring properties, as indicated on the proposed site layout plan submitted with the planning application.

Roof alterations and extensions

- e. The proposed roof alterations and extensions are considered to comply with the requirements of policy DMHD 1 for the following reasons:
- The dormer extensions will be located on the rear elevation only and will cover less than a third of the main roof in accordance with policy requirements. The highest point of the dormers will be well within the rear roof slope, away from the ridge and eaves, and windows in the dormer extension will match the proportions, size and glazing pattern of the first floor windows.
 - The roof alterations and extensions will not be overly large, and even though the proposal involves increasing the height of the existing ridgeline, the height of the building will continue to harmonise with that of neighbouring properties and will not be higher than its neighbours.
 - The roof extension will be constructed using appropriate external materials and architectural details to match the existing dwelling.
 - The proposed rooflights will be flush with the roof slope and will therefore not result in any increase bulk to the roof.
 - As noted in the pre-application advice response, the dormers accord with the Council's design policy requirements and the 'crown' roof has been designed out, which is a design benefit.
 - The proposed roof alterations and extensions, due to their size, siting and design, will not harm residential amenity in terms of outlook, sense of enclosure, sunlight, daylight, noise and disturbance. As noted in the Council's pre-application advice response, overlooking to adjacent properties will not be materially worse than the existing situation.
 - The proposed dormer windows are significantly smaller than the dormer refused permission in application reference 31162/APP/2018/65 on 5 January 2018 and 31162/APP/2017/3605 on 8 December 2017 and unlike application 31162/APP/2018/65, the proposal does not involve a hip to gable roof extension. The proposal therefore does not increase the scale and bulk at roof level to an unacceptable degree and will harmonise with the architectural composition of the existing and adjoining dwellinghouses to safeguard the character and appearance of the area.

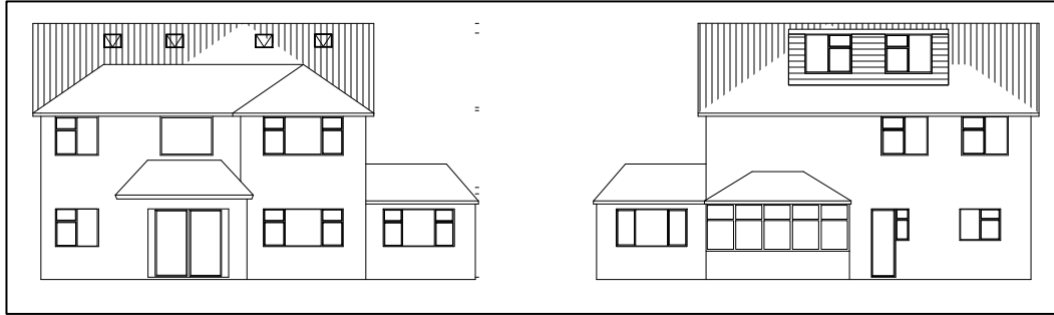


Figure 6: Refused application reference 31162/APP/2018/65 refused on 5 January 2018



Figure 7: Refused application reference 31162/APP/2017/3605 refused on 8 December 2017

6. Conclusions

- a. The proposal seeks planning permission for a two-storey side extension, single-storey front extensions, roof alterations and roof extensions involving dormer windows and rooflights.
- b. The proposed two-storey side extension will be lower in height than the main roof and will be recessed from both the principal building elevation and the side boundary to ensure that it reads a subordinate addition and does not harm residential amenity. The extension will not harm visual gaps or openness due to its appropriate size, siting and design and setbacks from the site boundary. In addition, because Court Drive provides a buffer between the site and other buildings along Long Lane, a sense of openness around the building will be retained.
- c. The proposed roof alterations and extensions have been designed to accord with the Council's policy requirements and as such, will ensure that the overall height of the building is acceptable in terms of its relationship to neighbouring properties. In addition, the dormer windows have been designed to appear as subordinate additions to the roofscape. The proposed roof alterations will not harm residential amenity and result in any increase in overlooking as confirmed in the pre-application advice response.
- d. The proposed front extensions will be acceptable in terms of design and appearance as they will be single-storey (and therefore small scale) and will not dominate the host building due to use of appropriate external materials. The extensions will not be highly visible from public views due to set back of the building from Long Lane and the presence of high boundary walls and have been designed not to harm residential amenity.
- e. For these reasons, the applicant contends that the proposal represents sustainable development and respectfully requests that planning permission be granted.



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