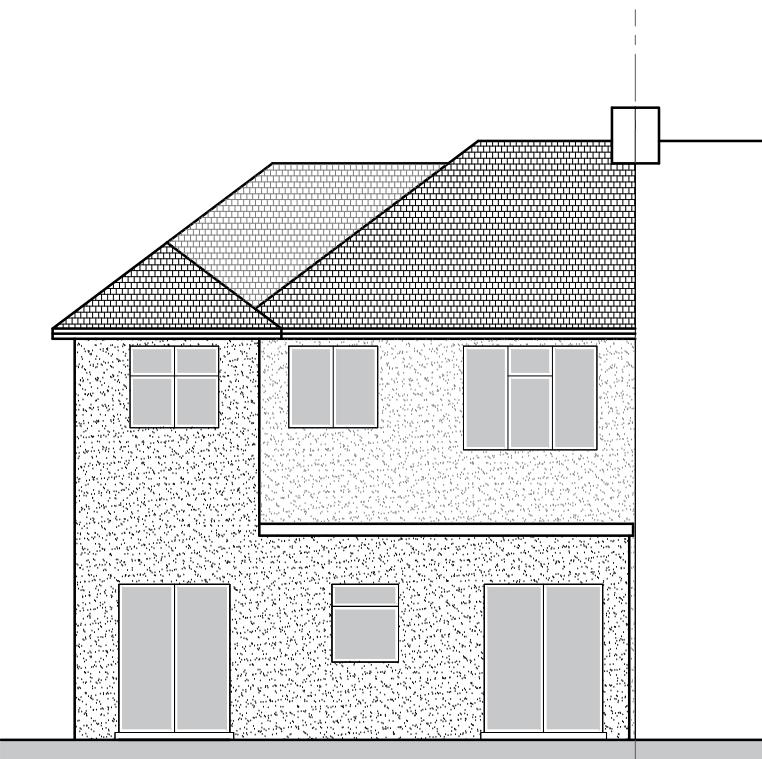
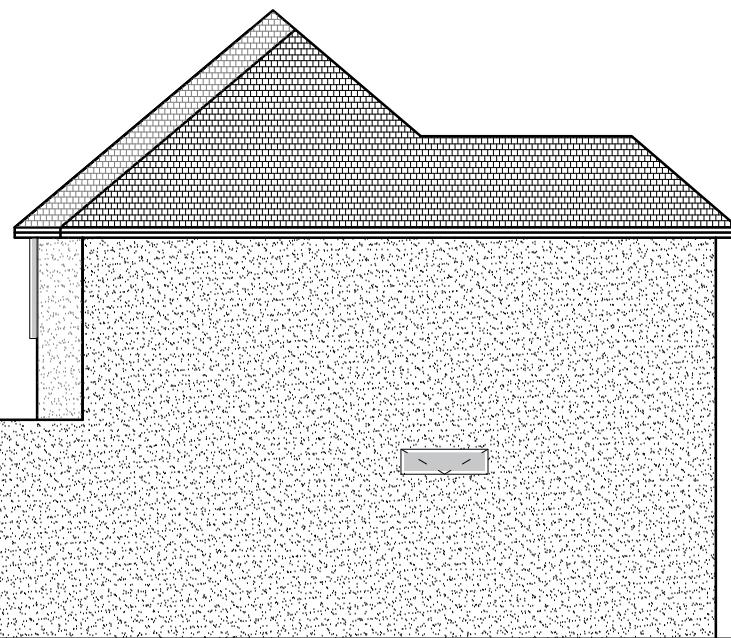


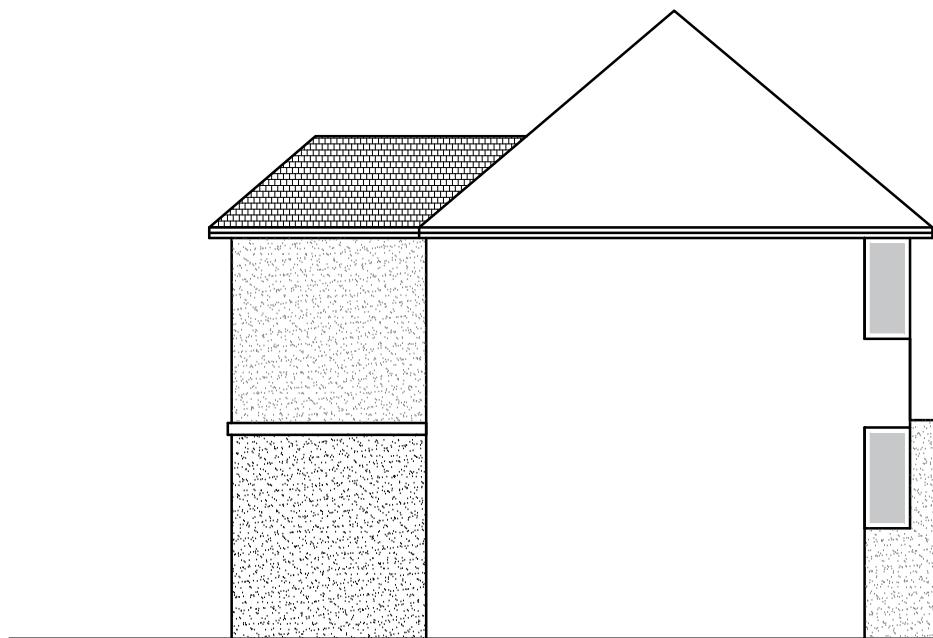
EXISTING SOUTH ELEVATION 1:100



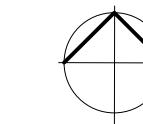
EXISTING NORTH ELEVATION 1:100



EXISTING EAST ELEVATION 1:100



EXISTING WEST ELEVATION 1:100



NORTH

NOTES:	
All dimensions are in metric. It is advised not to scale off the drawing but to seek the Consultant's advice.	
MATERIALS	
Walls -	New cavity wall to be constructed using multi facing red brick and thermal light weight concrete block on the inner side to give the required U-value 0.18W/m ² k. External walls finish to match existing pebble dash render.
Internal Walls -	Internal walls in the new kitchen extension formally external walls to be stripped, resurface and screed for wall paper preparation, tiles or paint finish.
Windows -	New windows are to be double glazed UPVC to match existing. Obscure glass to be used where there are issues of privacy.
	VELUX Fixed Flat Roof Base 600mm x 900mm Travis Perkins or similar.
Doors -	UPVC Patio double glazed double doors with glass panels on the side facing the garden.
Flat Roof -	Glass Reinforced Polyester fibreglass flat roof construction. Roofing system to achieve the required U-Value 0.18 W/m ² K Part L of the building regulations 2010.
Flooring -	New kitchen floor level to finish at 100mm from existing ground level using tiles or wood flooring or similar to achieve a required U-value of 0.13 W/m ² K.
This drawing to be read in conjunction with drawing nos. A3 MB P 00 - A3 MB P 01 & A3 MB P 03 - A3 MB P 04 inc	
Email: Lincoln.arch.consultant@gmail.com Tel: +447789267221	
Project	
48 BOURNE AVENUE HAYES UB3 1QN PROPOSED 3.0m x 7.49m SINGLE STOREY REAR EXTENSION	
Title	
EXISTING ELEVATIONS	
Client	
MAHEN BEEHOOK	
Drawn By	Date
	04.08.2022
Architectural Consultant	Scale
	1:100
Drawing Size & No	Revision
A3 MB P 02	