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Parking Survey Report

84 East Road, West Drayton, UB7 9HA

Prepared for Redwoods Projects

By YES Engineering Group Limited

26/09/2023



Revision History

Revision N°	Prepared By	Description	Date

Document Acceptance

Action	Name	Signed	Date
Prepared by	H Savill		September 2023
Reviewed by	K Backhouse		September 2023
Approved by	P Willis		September 2023
on behalf of	YES Engineering Group Ltd		

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1 Introduction

YES Engineering Group Ltd was appointed by Redwoods Projects to carry out a parking survey to accompany a planning application for a residential development at 84 East Road, West Drayton, UB7 9HA ("the Site"). The objective of the survey is to determine the level of residential parking stress on-street in the vicinity of the Site.

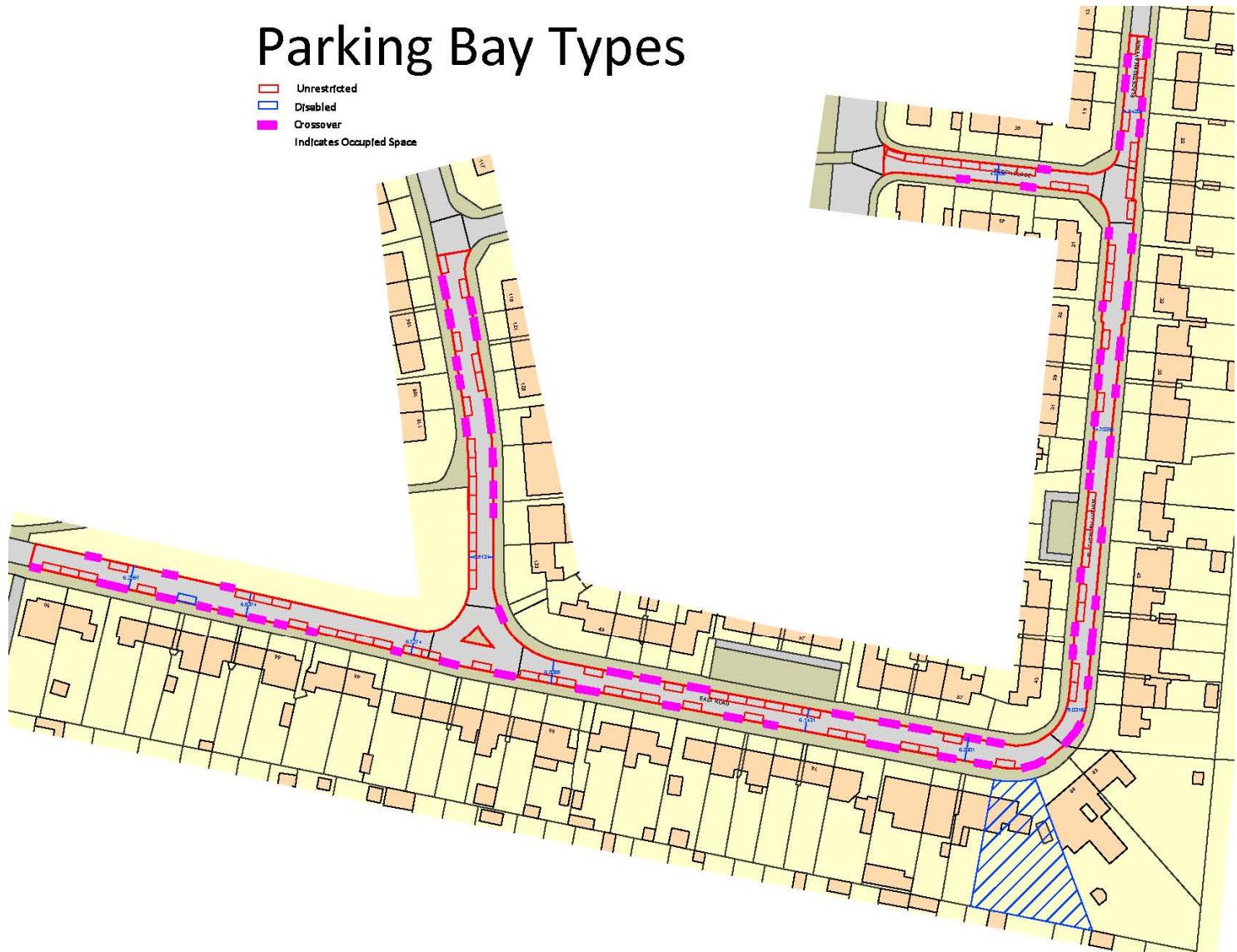
1.1 Methodology

At the request of the local highway authority an on-street parking survey of the surrounding residential streets was undertaken in accordance with the Lambeth Methodology (widely used across Greater London and the South-East). The development is for residential use, so the survey for a 200m walking distance surrounding the Site as shown in **Figure 1** below.

Figure 1 – Parking Survey Plan

Parking Bay Types

■ Unrestricted
■ Disabled
■ Crossover
Indicates Occupied Space



The on-street parking survey was undertaken at the following times:

- Wednesday 12th September 2023, at 12:30am; and
- Thursday 13th September 2023, at 3:30am.

1.2 Results

A table setting out in detail the number of vehicles parked on each street within the parking survey area is attached as **Appendix A** and the maps identifying where each of the vehicles were parked on the survey days is attached as **Appendix B**.

A summary of the parking survey findings is shown in **Table 1**.

Table 1 – Parking Survey Summary

Date	Number of on-street spaces	Number of cars parked	Number of free car spaces	Parking stress
Wednesday 12 th Sept @ 12:30am	84	54	36	64.29%
Thursday 13 th Sept @ 3:30am	84	57	37	67.86%

As can be seen from the parking survey summary set out in **Table 1** above, parking stress on the surrounding roads is high. The survey indicated minimum parking availability of at least 54 spaces on the surrounding roads.

Appendices

Appendix A – Survey Results Table

Parking Survey Summary Sheet

Location: 84 East Road, West Drayton, UB7 9HA
Survey Dates: Wednesday 12th / Thursday 13th September 2023

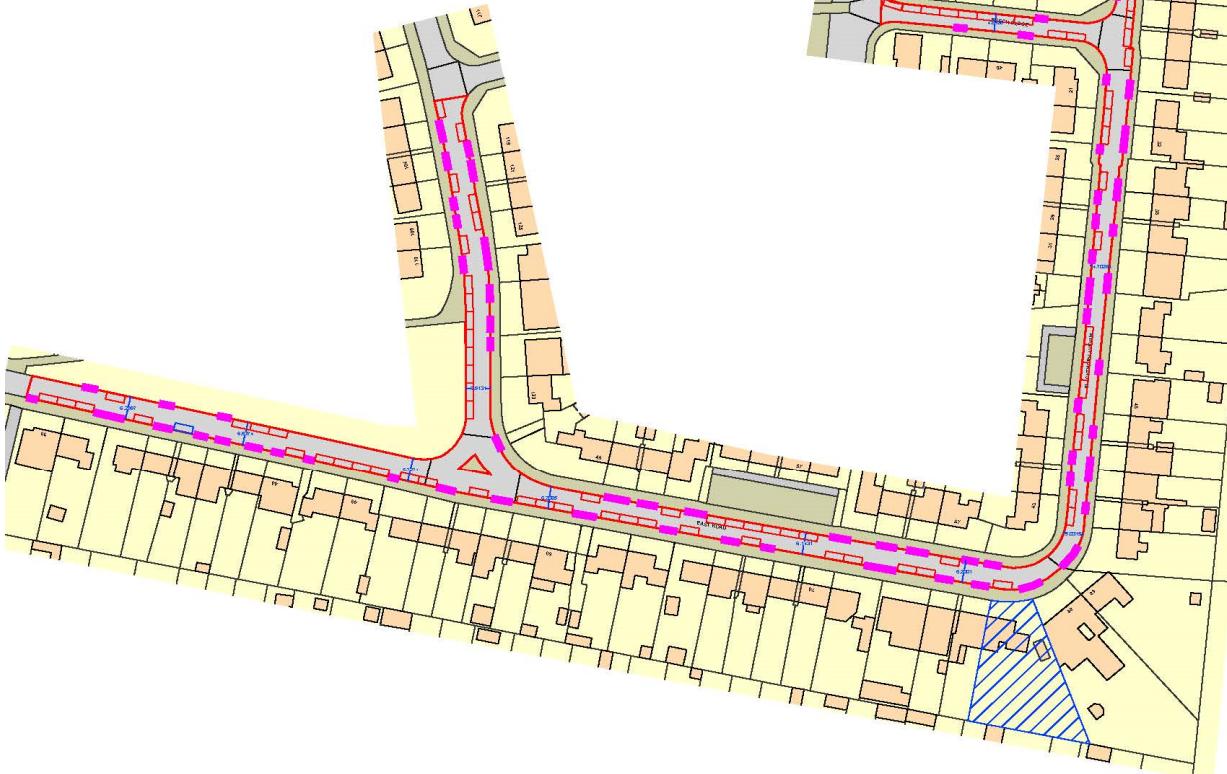
Results:

	Calculated Spaces	Cars Parked	Available Space	Stress (%)
12/09/2023	84	54	36	64.29%
13/09/2023	84	57	37	67.86%

Parking Survey Area

Parking Bay Types

Unrestricted
Disabled
Crossover
Indicates Occupied Space



12th September 00:30am				UNRESTRICTED						DISABLED			PARKED ON A CROSSOVER			13th September 03:30am									
				UNRESTRICTED			DISABLED			PARKED ON A CROSSOVER															
LOCATION	SIDE OF RD	TOTAL KERB LENGTH (m)	UNRESTRICTED PARKING STRESS (%)	TOTAL	PARKED	SPACE	LENGTH (m) OF UNRESTRICTED PARKING	TOTAL	PARKED	SPACE	TOTAL	PARKED	SPACE	LOCATION	SIDE OF RD	UNRESTRICTED PARKING STRESS (%)	TOTAL	PARKED	SPACE	TOTAL	PARKED	SPACE	TOTAL	PARKED	SPACE
EAST ROAD	N	256	54%	13	7	6	65	0	0	0	0	0	0	EAST ROAD	N	46%	13	6	7	0	0	0	0	0	0
	S	283	60%	25	15	10	125	1	1	0	5	5	0		S	60%	25	15	10	1	1	0	6	6	0
BLACKTHORN AVENUE	E	192	17%	6	1	5	30	0	0	0	0	0	0	BLACKTHORN AVENUE	E	17%	6	1	5	0	0	0	0	0	0
	W	177	80%	15	12	3	75	0	0	0	0	0	0		W	87%	15	13	2	0	0	0	2	2	0
BEECH CLOSE	N	60	88%	8	7	1	40	0	0	0	0	0	0	BEECH CLOSE	N	75%	8	6	2	0	0	0	0	0	0
	S	59	0%	2	0	2	10	0	0	0	0	0	0		S	0%	2	0	2	0	0	0	0	0	0
THORNTON AVENUE	E	109	33%	3	1	2	15	0	0	0	0	0	0	THORNTON AVENUE	E	33%	3	1	2	0	0	0	1	1	0
	W	101	36%	11	4	7	55	0	0	0	1	1	0		W	36%	11	4	7	0	0	0	1	1	0
TOTALS				83	47	36	415	1	1	0	6	6	0	TOTALS			83	46	37	1	1	0	10	10	0

All Parking Spaces

TOTAL SPACES	84
CARS PARKED	54
TOTAL PARKING STRESS (%)	64.29%
AVAILABLE SPACES	36

NB: This includes vehicles parked on crossovers and other unauthorised areas

All Parking Spaces

TOTAL SPACES	84
CARS PARKED	57
TOTAL PARKING STRESS (%)	67.86%
AVAILABLE SPACES	37

NB: This includes vehicles parked on crossovers and other unauthorised areas

Unrestricted Parking Spaces

TOTAL SPACES	83
AVAILABLE SPACES	36
TOTAL PARKING STRESS (%)	56.6%

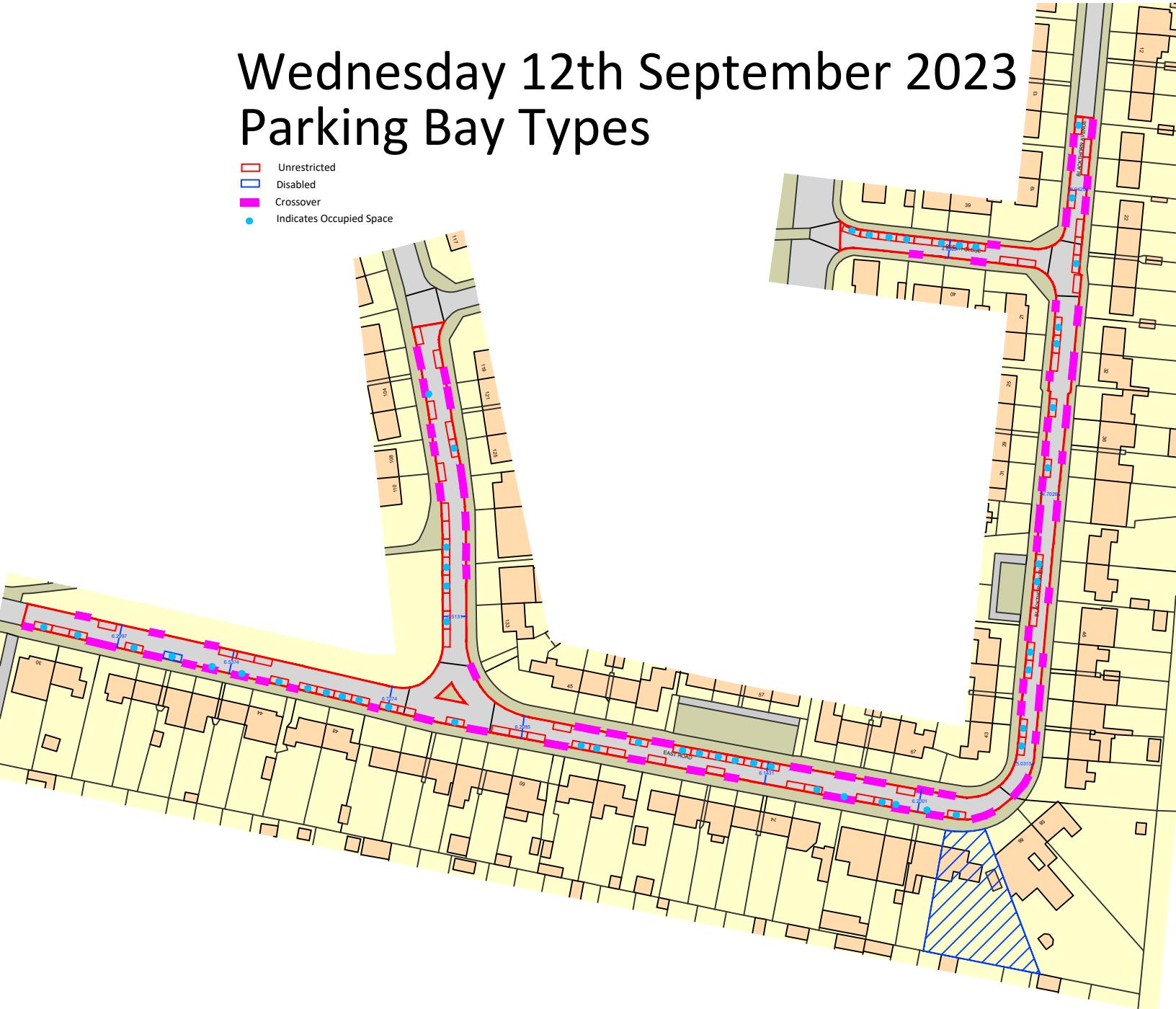
Unrestricted Parking Spaces

TOTAL SPACES	83
AVAILABLE SPACES	37
TOTAL PARKING STRESS (%)	55.4%

Appendix B – Survey maps showing location of parked vehicles on-street

Wednesday 12th September 2023 Parking Bay Types

- Unrestricted
- Disabled
- Crossover
- Indicates Occupied Space



Thursday 13th September 2023 Parking Bay Types

- Unrestricted
- Disabled
- Crossover
- Indicates Occupied Space

