

01
-

Location Plan
1:1250

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REV	DATE	DESCRIPTION	BY
10	07/07/24	Planning officer (Hillingdon) Comments	SY
09	02/07/24	Planning officer (Hillingdon) Comments	SY
08	13/05/24	Planning consultant comments	SY
07	10/05/24	Planning consultant comments	SY
06	25/04/24	Client comments	SY
05	22/04/24	Planning consultant comments	SY
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03	25/03/24	Planning consultant comments	SY
02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY
REV DATE		DESCRIPTION	BY

Site Address:

Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:

Location Plan

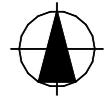
Wall Legend

	Existing Wall
	Proposed Wall
	Demolition Walls

1:100

0 1 2 3 4 5 m

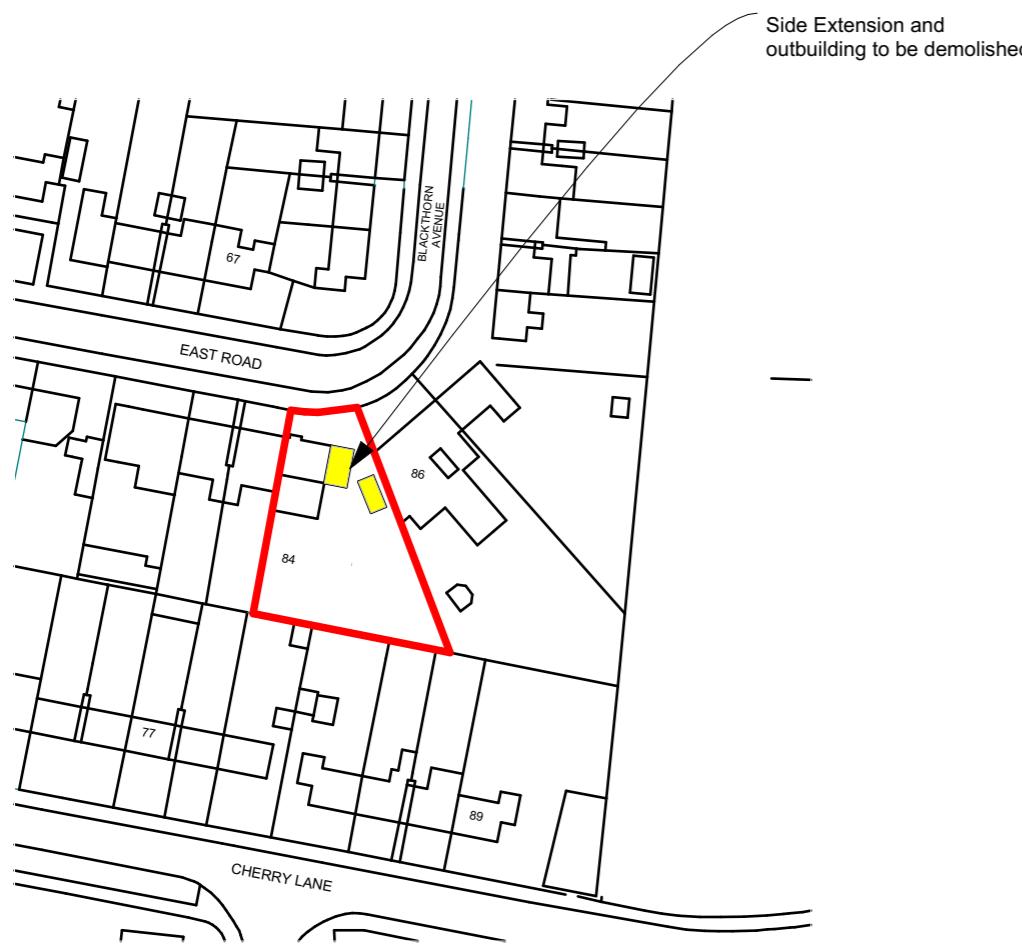
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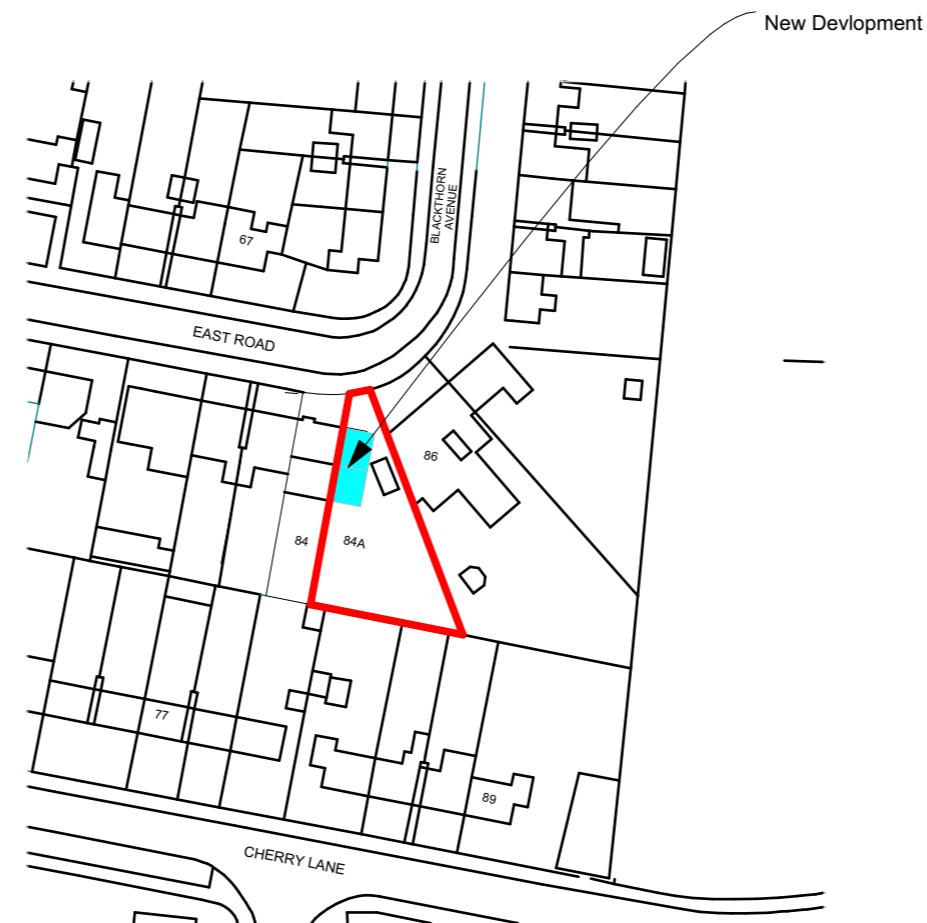
Status:	Scale:	Project No:	Drawing No:	Rev:
Plans Existing	1:1250@A3	1031	1031-01_Rev10	10



**SY Design
Studio**



01
-
Existing Block Plan
1:1250

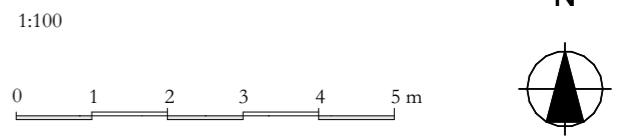


01
-
Proposed Block Plan
1:1250

84A New Proposed Site Area : 525 Sqm
Total GIA New Build 84A : 120 Sqm

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



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REV	DATE	DESCRIPTION	BY
01	12/03/24	Client comments	SY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title: Client: Date: Drawn By:
Block Plan OSN Group 09/07/2024 SY

Status: Scale: Project No: Drawing No: Rev:
Plans Existing 1:1250@A3 1031 1031-02_Rev10 10

SY Design Studio



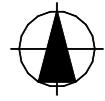
3
-

Wall Legend

Existing Wall
Proposed Wall
Demolition Walls

1:200

1:200
N



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01	12/03/24	Client comments	SY
		REV DATE	DESCRIPTION
		BY	

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:

Existing Site Plan

Client:

OSN Group

Date:

09/07/2024

Drawn By:

SY

Status:

Scale:

1:200@A3

Project No:

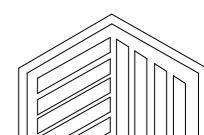
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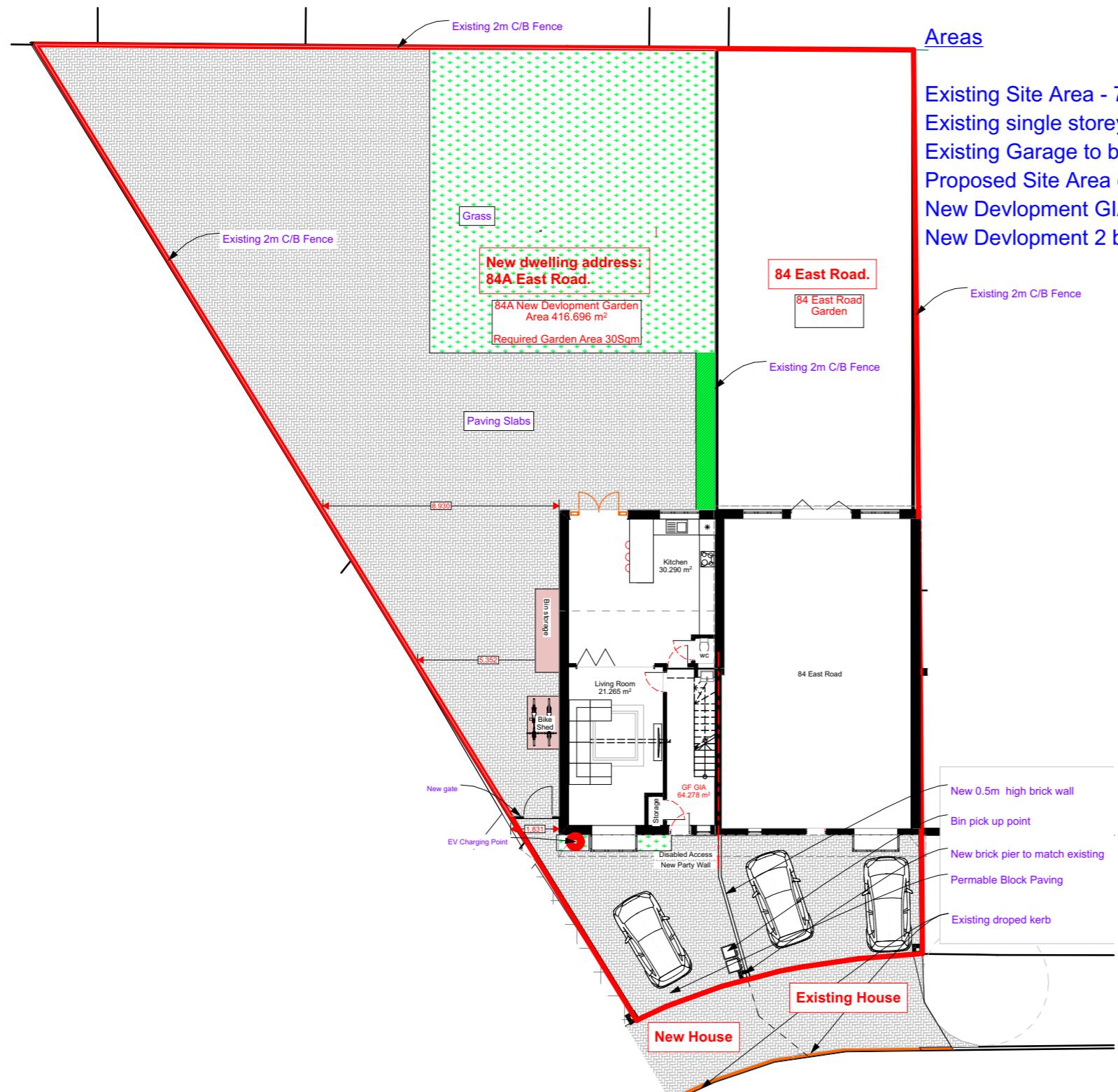
1031-08_Rev10

Rev:

10



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Areas

Existing Site Area - 792Sqm
Existing single storey extension to be demolished GIA - 20.4Sqm
Existing Garage to be demolished GIA - 13 Sqm
Proposed Site Area of new development - 527Sqm
New Development GIA - 94Sqm 2 bed / 3 person
New Development 2 bed requirement is 70 Sqm

Actual Image	On Drawing	Description
		Alyssum Max Height: 0.5m Max Spread: 1M
		Grass: Rolawn Luxury Turf
		Cherry Tree (Bing)
		Sheffield secure cycle stand
		Wheelie Bin (Separate for recyclable and non-recyclable waste)
		Permeable Paving Brett Alpha Flow Charcoal
		Patio Slabs
		EV Charging Point

1
-

Proposed Site-Ground Floor

1:200

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50
0 .5 1 1.5 2 2.5m

N



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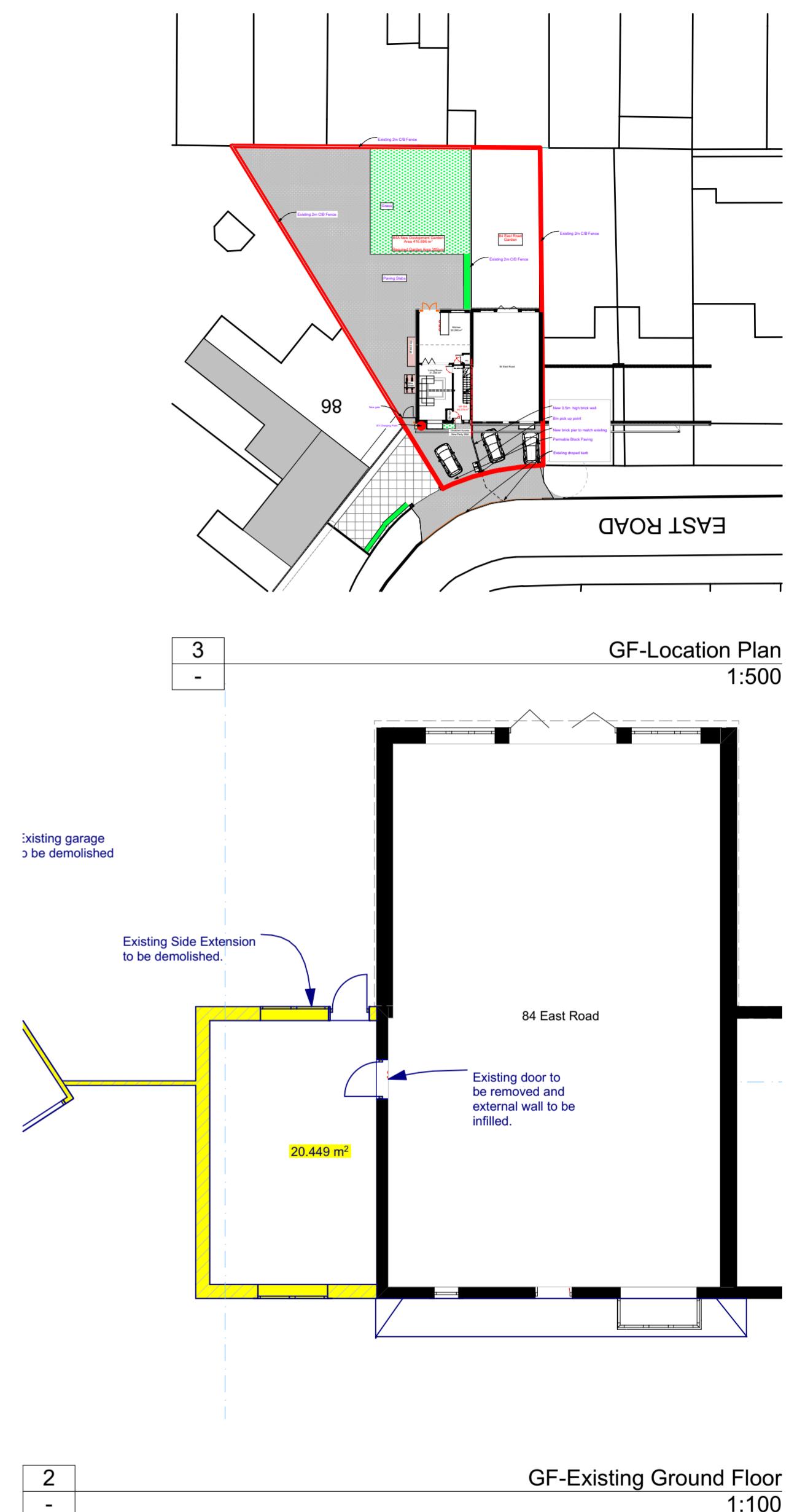
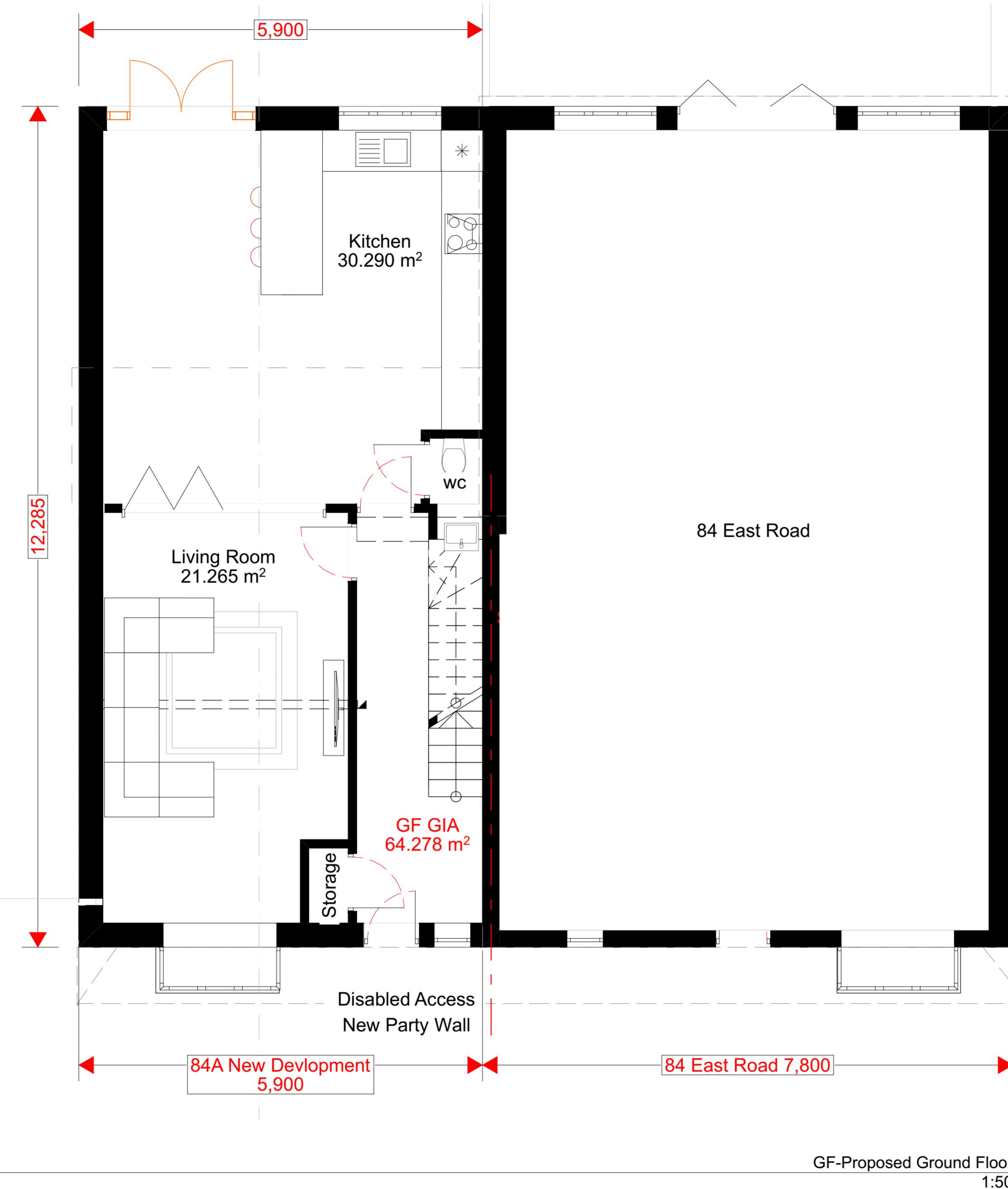
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01	12/03/24	Client comments	SY
REV DATE		DESCRIPTION	BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title: Proposed Site Plan **Client:** OSN Group **Date:** 09/07/2024 **Drawn By:** SY
Status: Plans Proposed **Scale:** 1:200@A3 **Project No:** 1031 **Drawing No:** 1031-11_Rev10 **Rev:** 10



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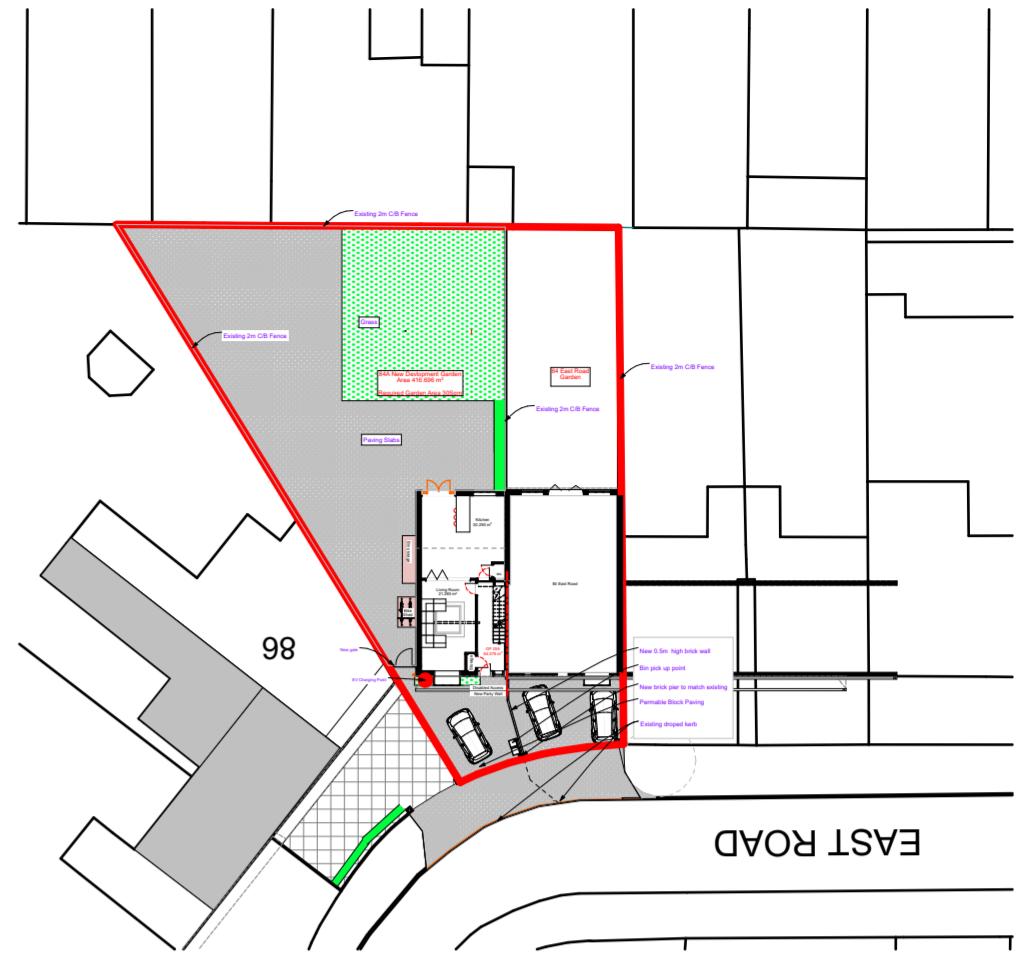
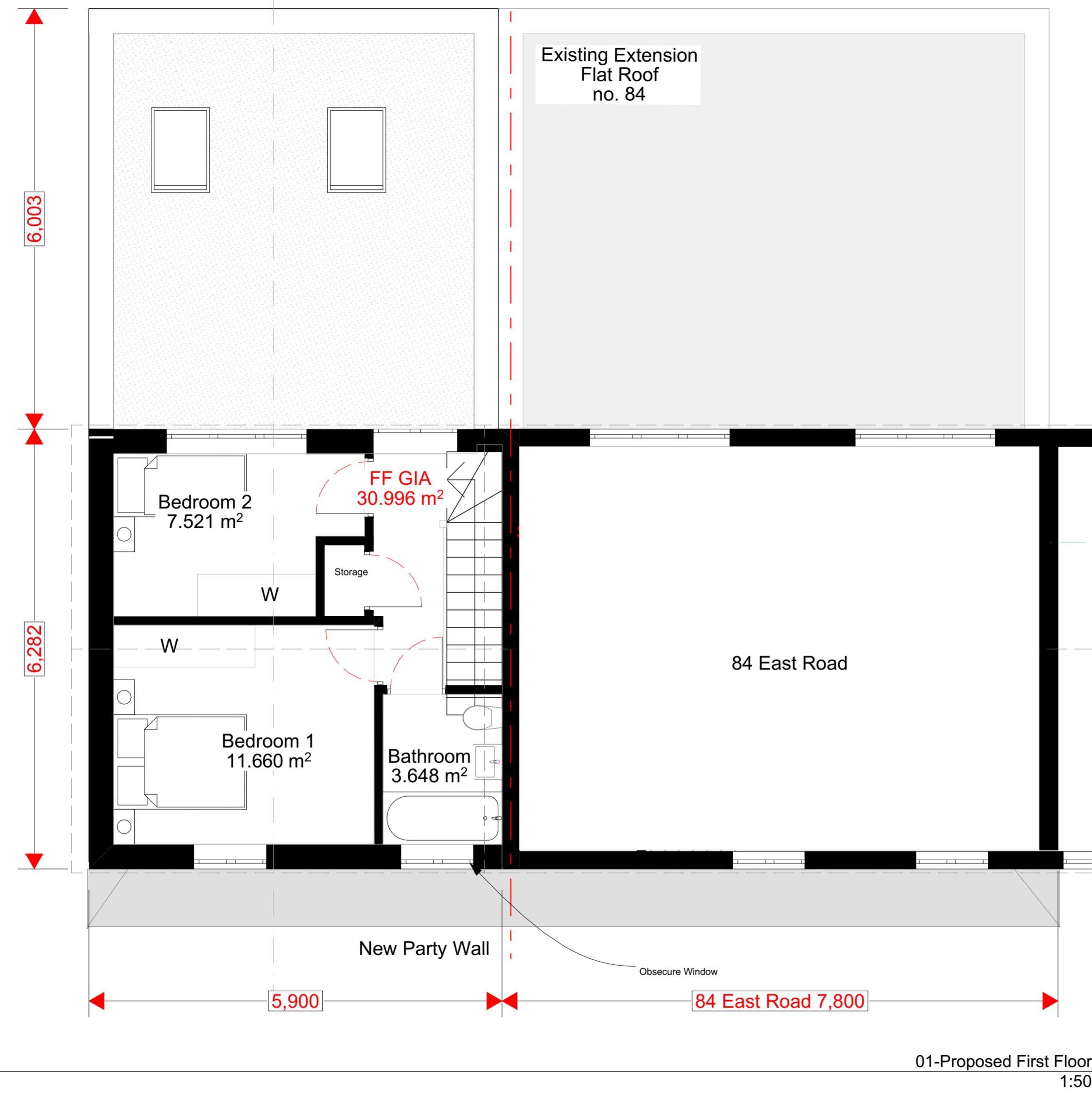
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01	12/03/24	Client comments	SY
		REV DATE	DESCRIPTION
		BY	

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title: Proposed Ground Floor Plan Client: OSN Group Date: 09/07/2024 Drawn By: SY
Status: Plans Proposed Scale: 1:50, 1:100, 1:500@A2 Project No: 1031 Drawing No: 1031-12_Rev10 Rev: 10

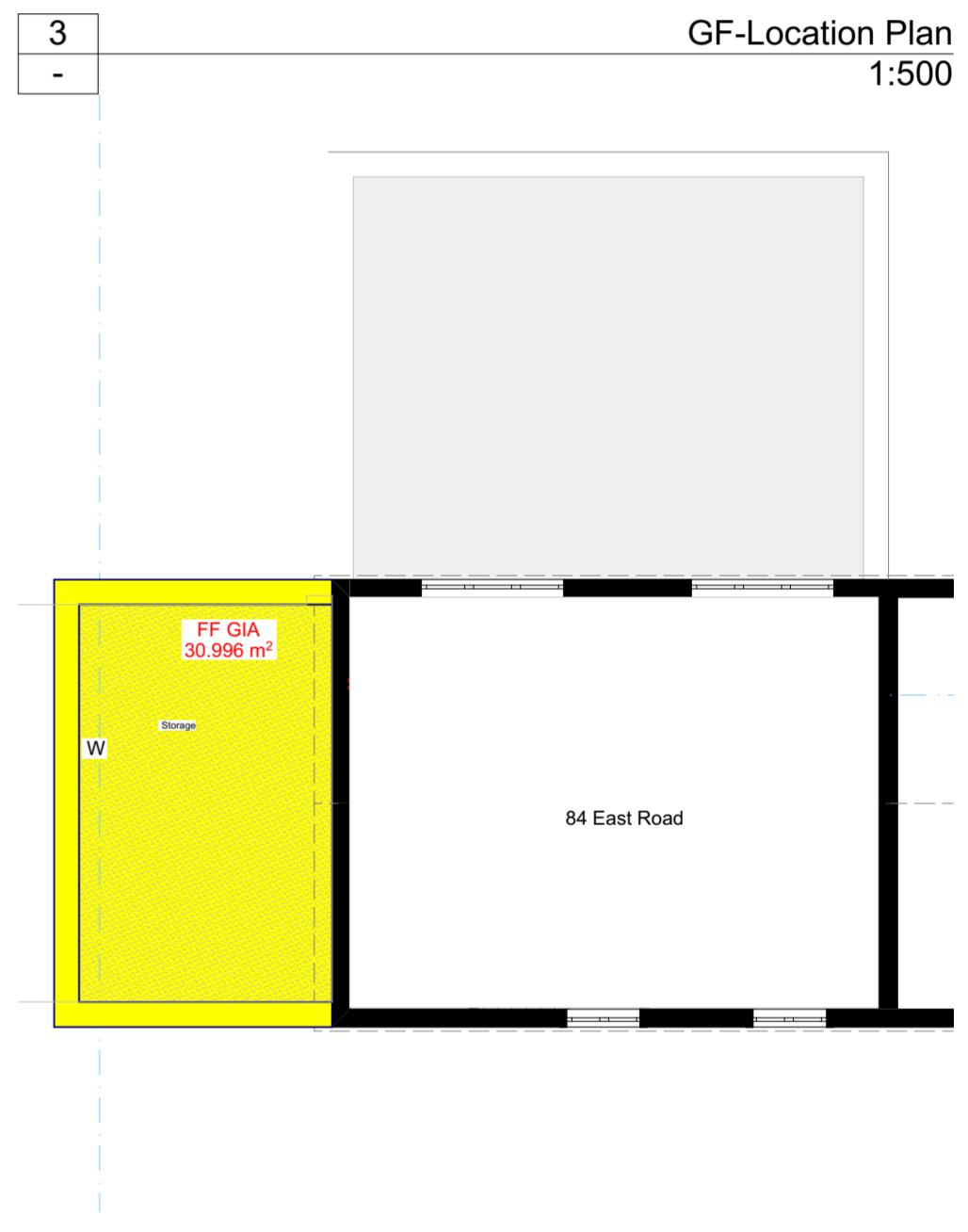


Tel: 07859431227
Email: salman@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



GF-Location Plan

1:500



01-Existing First Floor
1:100

Wall Legend

1:50

A decorative graphic element consisting of a large pentagonal outline. Inside this are several smaller, nested pentagonal shapes of decreasing size. To the right of the nested pentagons, there is a vertical column of five parallel vertical lines of varying widths, creating a stylized door or gate motif.

**SY Design
Studio**

Note

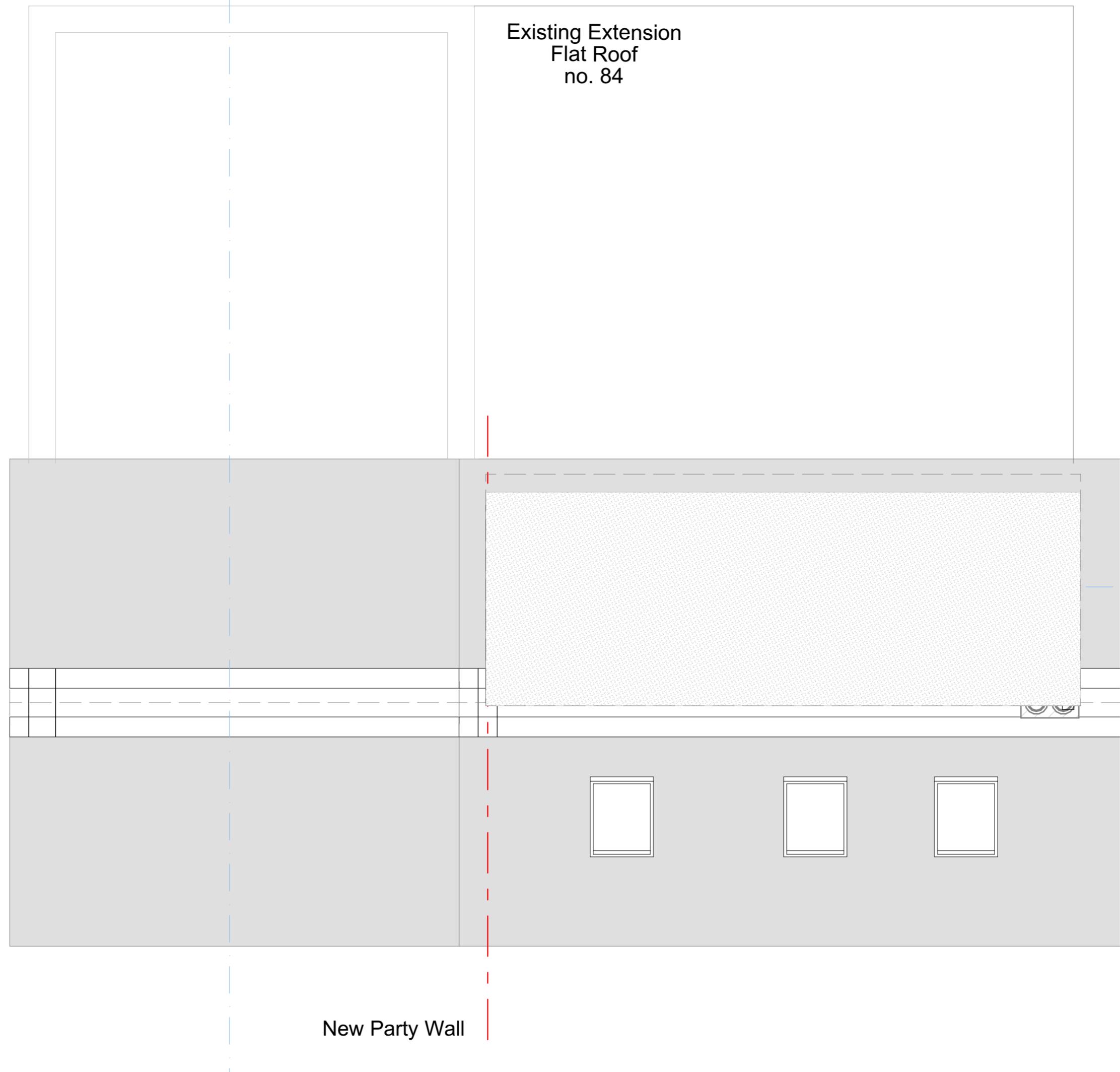
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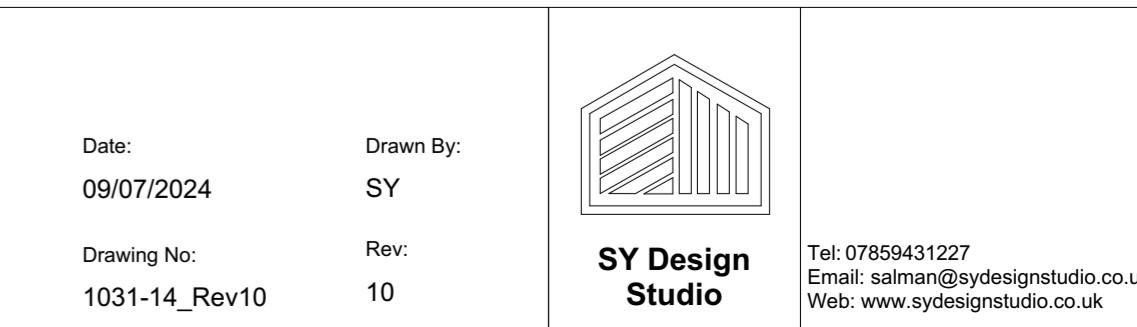
Drawing Title: Client: Date:
Proposed First Floor Plan OSN Group 09/07/2024

Status: Scale: Project No: Drawing No:
Plans Proposed 1:50, 1:100, 1031 1031-13 Rev10



RF-Proposed Roof
1:50

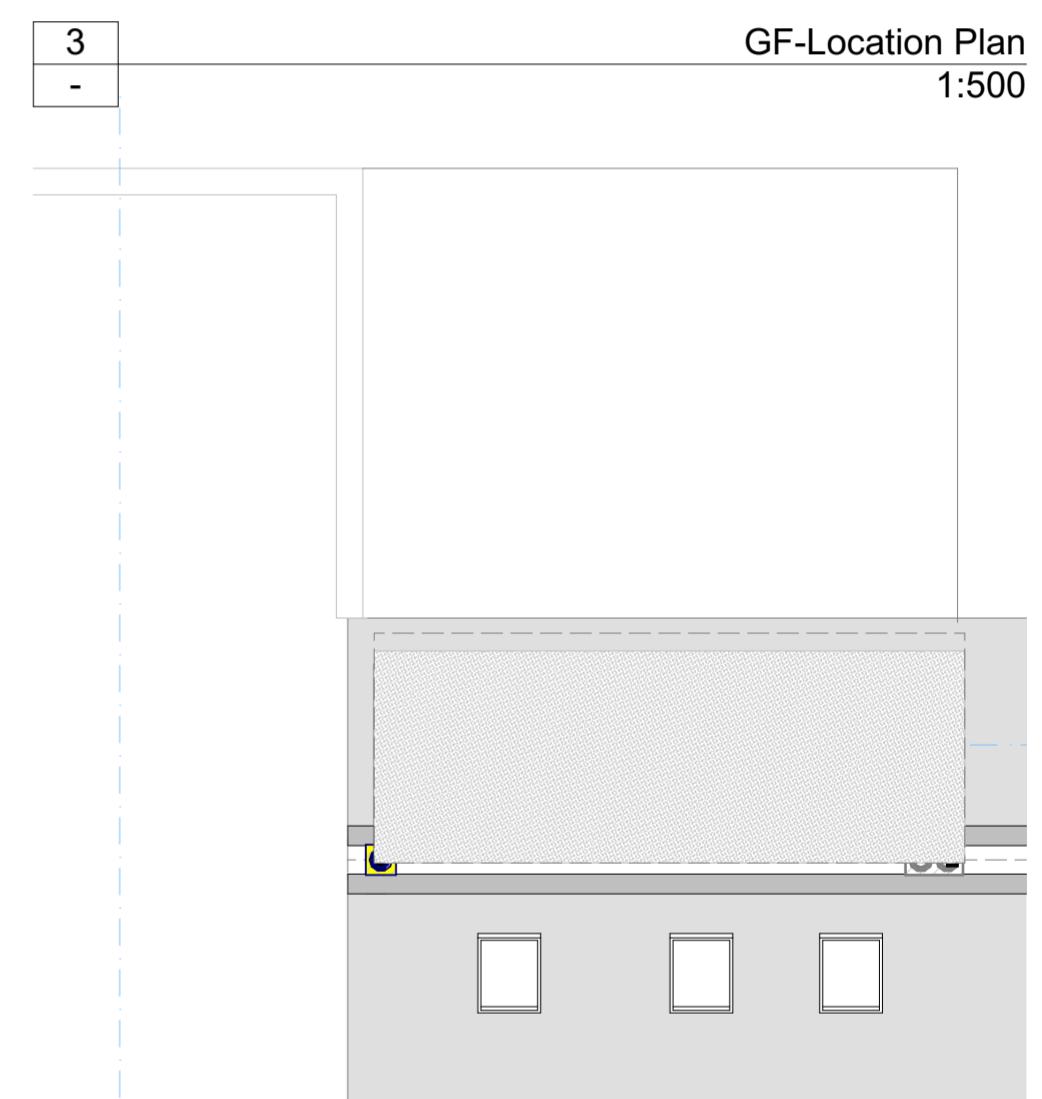
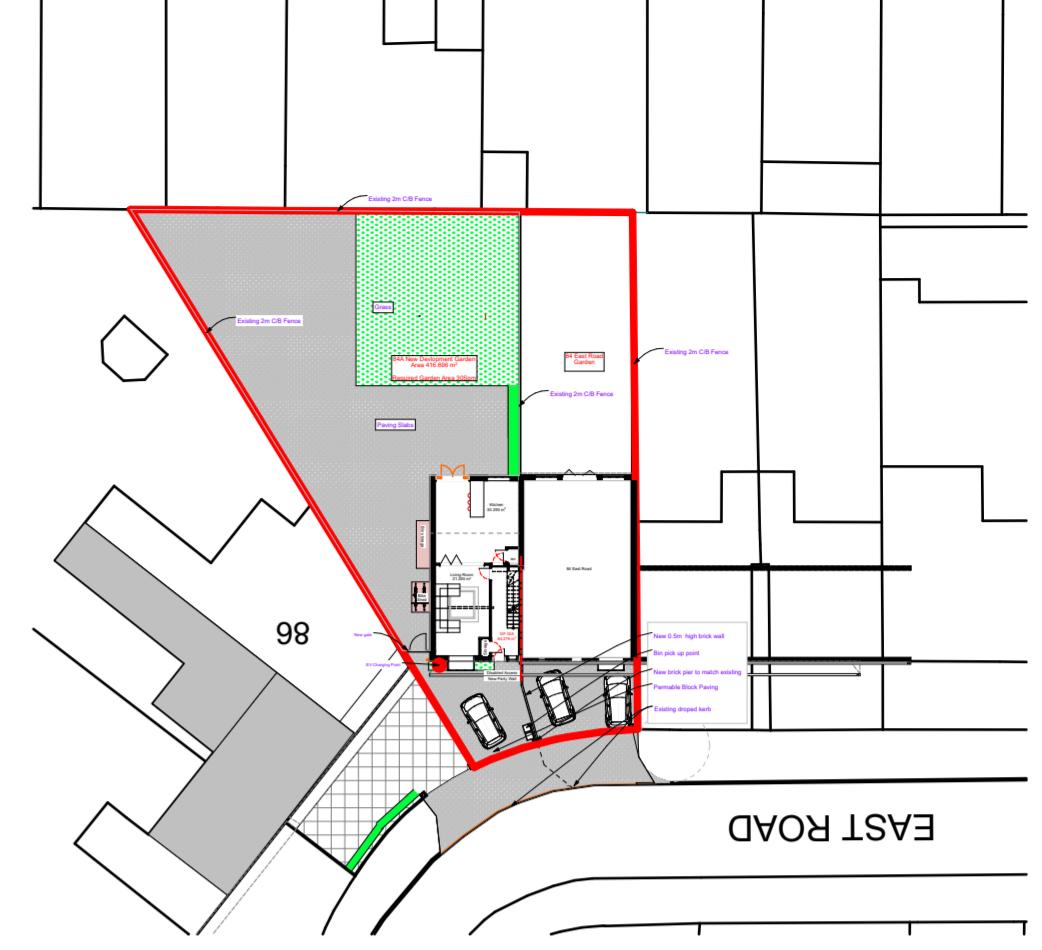
RF-Existing Roof
1:100



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02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY
		REV DATE	DESCRIPTION





2
-

Elevation
1:100



3
-

Elevation
1:100



5
-

Elevation
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100

0 1 2 3 4 5 m



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REV	DATE	DESCRIPTION	BY
			BY

Site Address:

Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:

Existing Elevations

Client:

OSN Group

Date:

09/07/2024

Drawn By:

SY

Status:

Scale:

Project No:

Drawing No:

Rev:

Elevations Existing

1:100@A3

1031

1031-30_Rev10

10



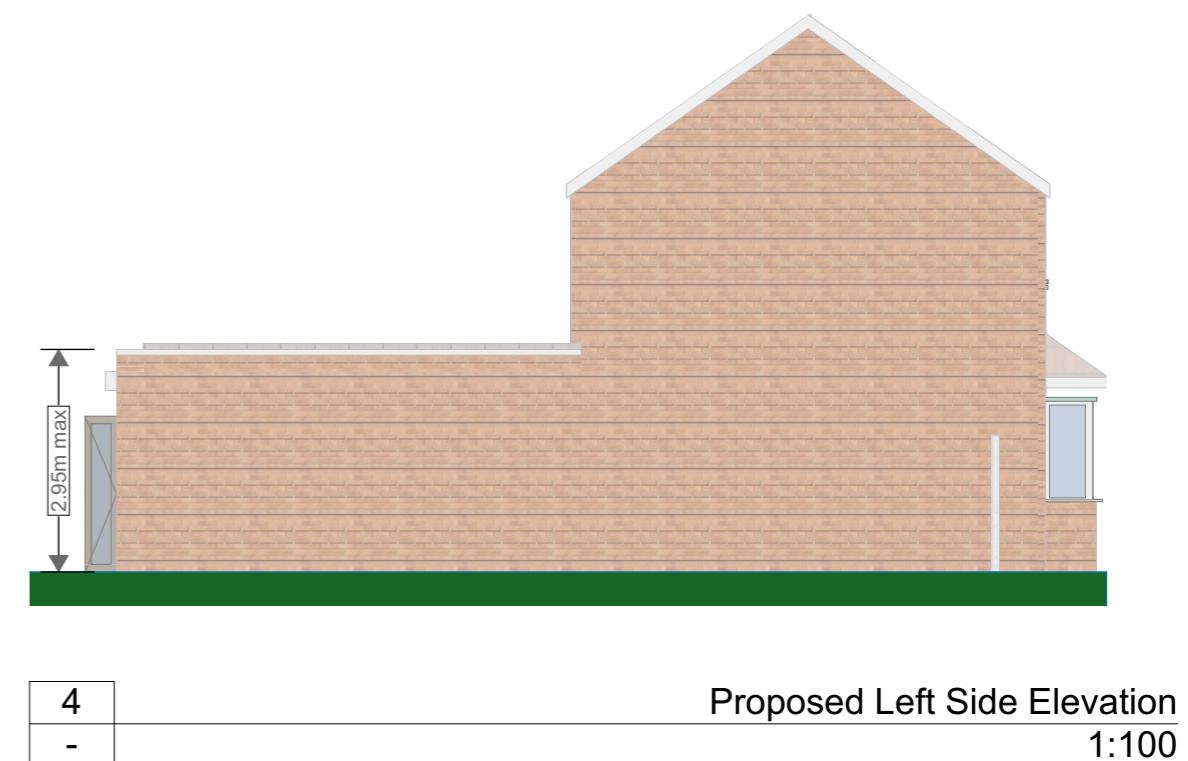
**SY Design
Studio**



Materials

- New Roof finish to match finish of existing roof of 84 East Road.
- External brick finish to match finish of 84 East Road
- New Roof finish to match finish of existing roof of 84 East Road.
- White UPVC Windows
- Obscure window

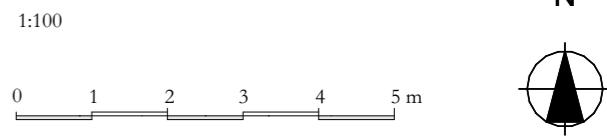
2
-
Proposed Front Elevation
1:100



3
-
Proposed Rear Elevation
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



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Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title: **Proposed Elevations** Client: **OSN Group** Date: **09/07/2024** Drawn By: **SY**
 Status: **Elevations Proposed** Scale: **1:100@A3** Project No: **1031** Drawing No: **1031-35_Rev10** Rev: **10**





1 Generic Perspective (1) 1:414.53



2 Generic Perspective (2) 1:435.14



5 Generic Perspective (5) 1:456.21



3 Generic Perspective (3) 1:378.29



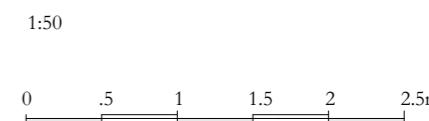
4 Generic Perspective (4) 1:413.45



6 Generic Perspective (6) 1:422.39

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



N



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6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

REV	DATE	DESCRIPTION	BY
10	07/07/24	Planning officer (Hillington) Comments	SY
09	02/07/24	Planning officer (Hillington) Comments	SY
08	13/05/24	Planning consultant comments	SY
07	10/05/24	Planning consultant comments	SY
06	25/04/24	Client comments	SY
05	22/04/24	Planning consultant comments	SY
04	06/04/24	Client comments	SY
03	25/03/24	Planning consultant comments	SY
02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY
REV DATE		Plans Proposed	1031
DESCRIPTION		Drawing No:	1031-15_Rev10
BY		Project No:	10

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:

3d Model

Client:

OSN Group

Date:

09/07/2024

Drawn By:

SY

1:414.53,
1:435.14,
1:378.29,
1:413.45,

Project No:

1031

Drawing No:

1031-15_Rev10

Rev:



**SY Design
Studio**