



01
-

Location Plan
1:1250

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09	02/07/24	Planning officer (Hillington) Comments		SY
08	13/05/24	Planning consultant comments		SY
07	10/05/24	Planning consultant comments		SY
06	25/04/24	Client comments		SY
05	22/04/24	Planning consultant comments		SY
04	06/04/24	Client comments		SY
03	25/03/24	Planning consultant comments		SY
02	18/03/24	Client comments		SY
01	12/03/24	Client comments		SY
REV	DATE	DESCRIPTION		BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Location Plan

Status:
Plans Existing

Scale:
1:1250@A3

Client:
OSN Group

Project No:
1031

Date:
09/07/2024

Drawing No:
1031-01__Rev10

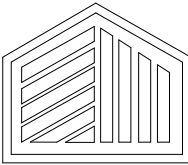
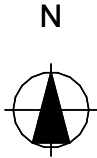
Drawn By:
SY

Rev:
10

Wall Ledgend

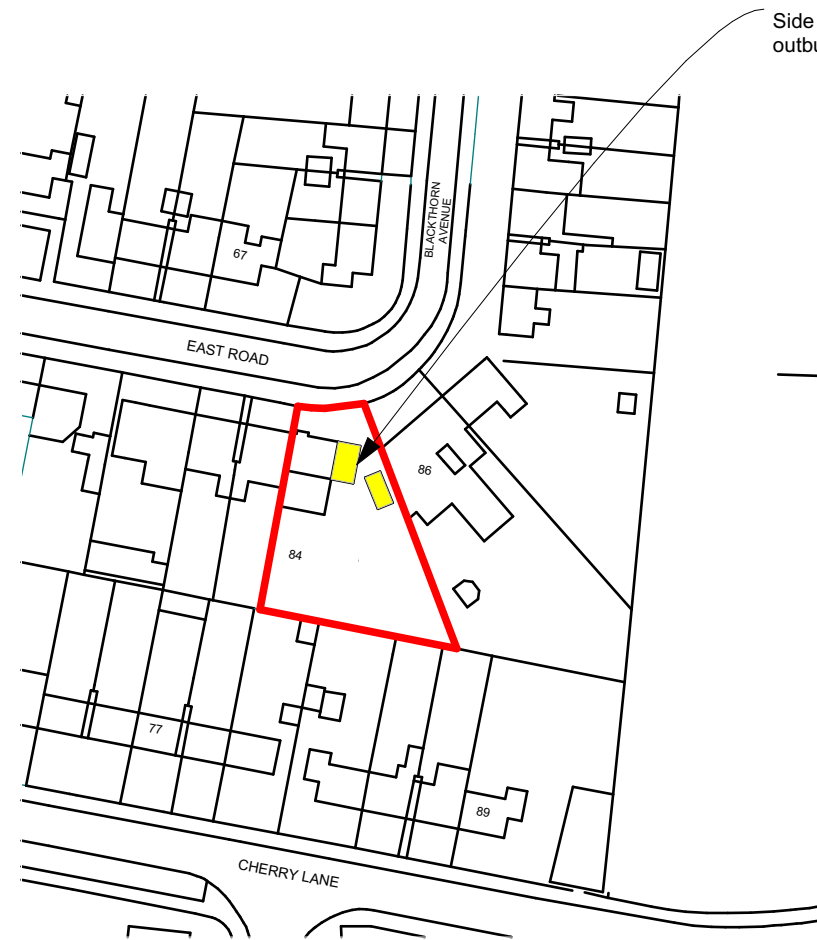
- Existing Wall
- Proposed Wall
- Demolition Walls

1:100

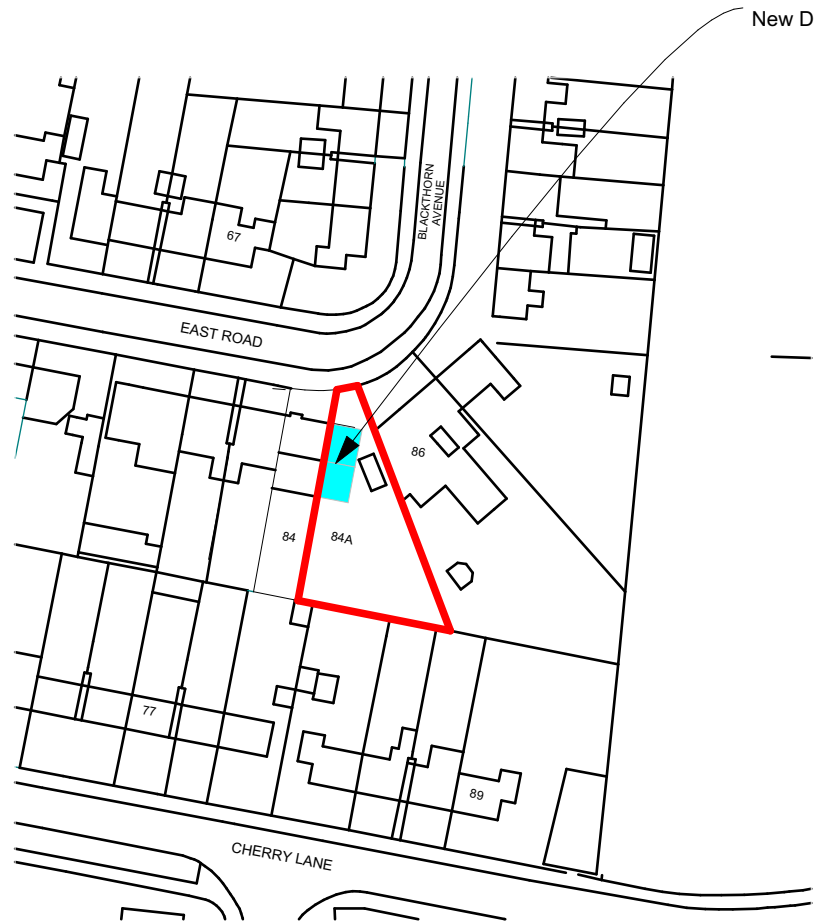


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01
-
Existing Block Plan
1:1250



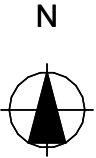
01
-
Proposed Block Plan
1:1250

84A New Proposed Site Area : 525 Sqm
Total GIA New Build 84A : 120 Sqm

Wall Ledgend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



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02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY
REV	DATE	DESCRIPTION	BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Block Plan

Status:
Plans Existing

Scale:
1:1250@A3

Client:
OSN Group

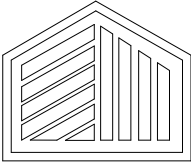
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Date:
09/07/2024

Drawing No:
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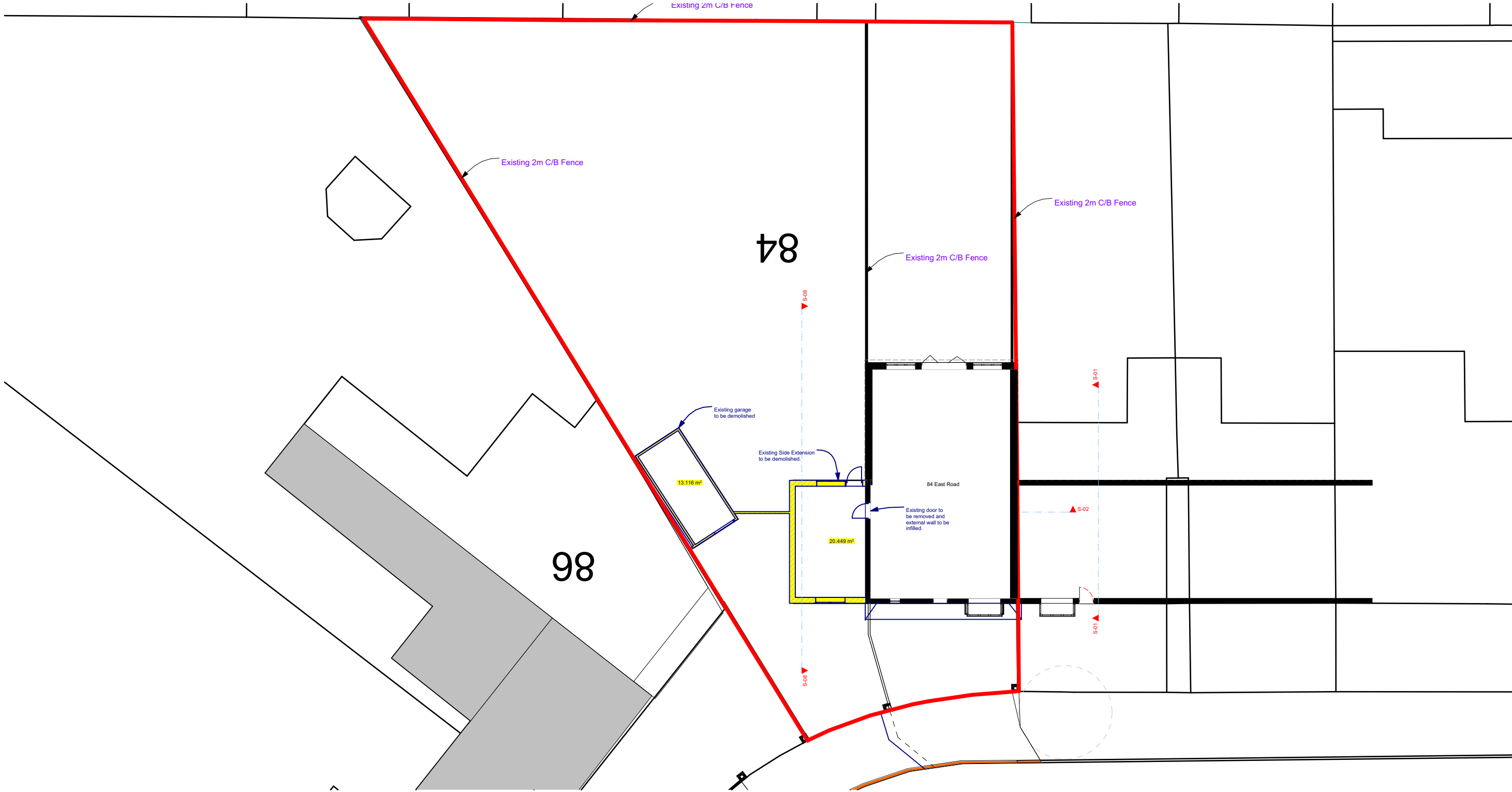
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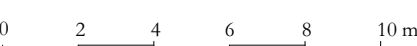
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Existing Site-Ground Floor

Wall Ledgend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:200



1:200
N



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02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Existing Site Plan

Status:
Plans Existing

Scale:
1:200@A3

Client:
OSN Group

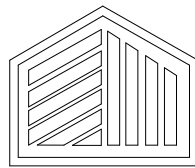
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Date:
09/07/2024

Drawing No:
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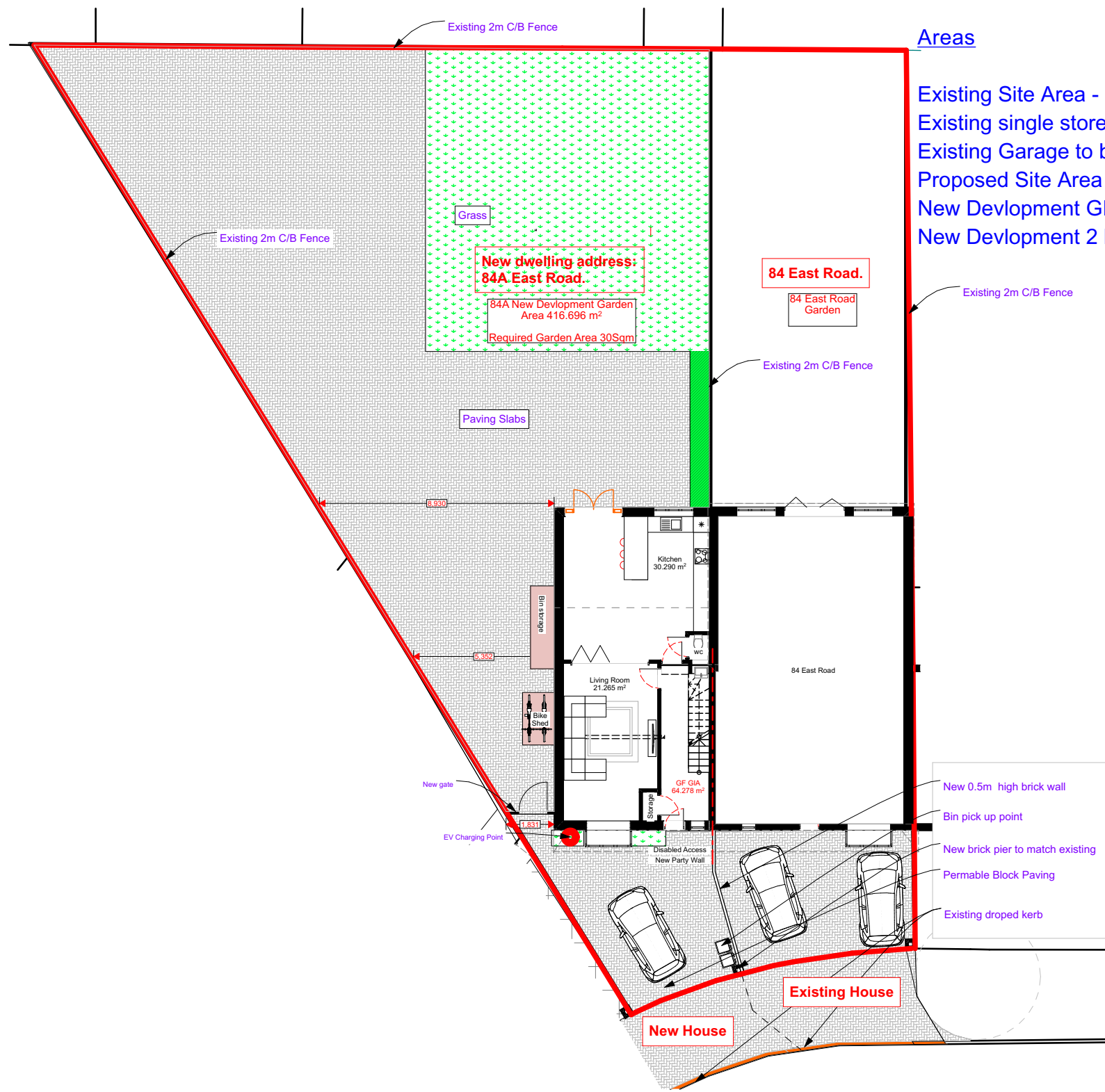
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Rev:
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Areas

Existing Site Area - 792Sqm
Existing single storey extension to be demolished GIA - 20.4Sqm
Existing Garage to be demolished GIA - 13 Sqm
Proposed Site Area of new development - 527Sqm
New Development GIA - 94Sqm 2 bed / 3 person
New Development 2 bed requirement is 70 Sqm

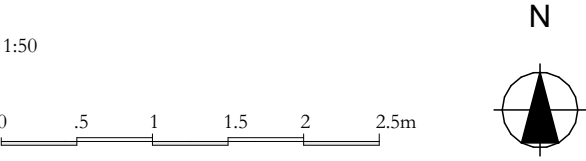
Actual Image	On Drawing	Description
		Alyssum Max Height: 0.5m Max Spread: 1M
		Grass: Rolawn Luxury Turf
		Cherry Tree (Bing)
		Sheffield secure cycle stand
		Wheelie Bin (Separate for recycable and non-recyclable waste)
		Permeable Paving Brett Alpha Flow Charcoal
		Patio Slabs
		EV Charging Point

1
-

Proposed Site-Ground Floor
1:200

Wall Ledgend

	Existing Wall
	Proposed Wall
	Demolition Walls



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03	25/03/24	Planning consultant comments	SY
02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Proposed Site Plan

Status:
Plans Proposed

Scale:
1:200@A3

Client:
OSN Group

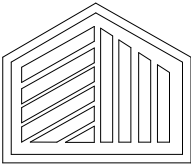
Project No:
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Date:
09/07/2024

Drawing No:
1031-11_Rev10

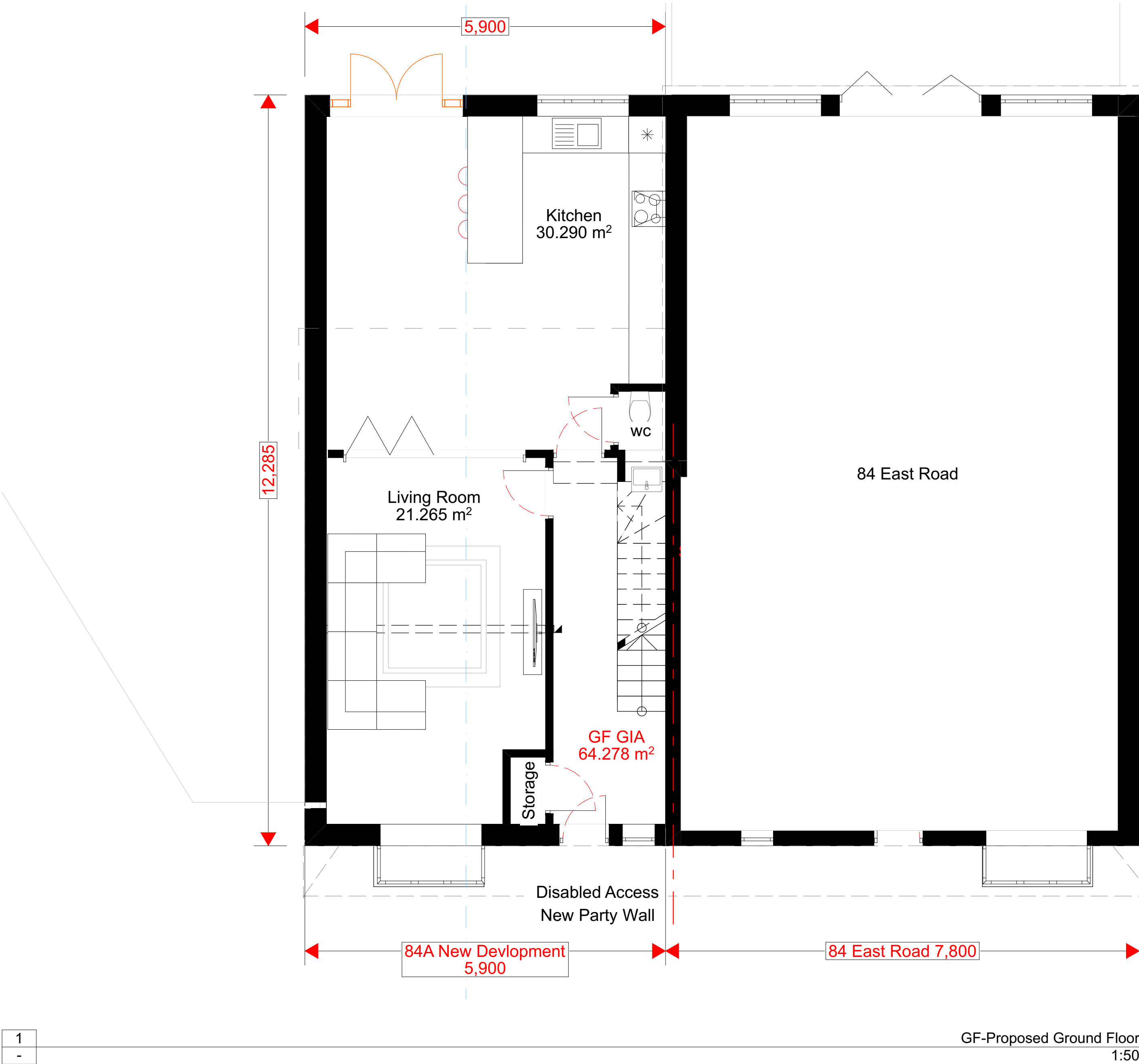
Drawn By:
SY

Rev:
10

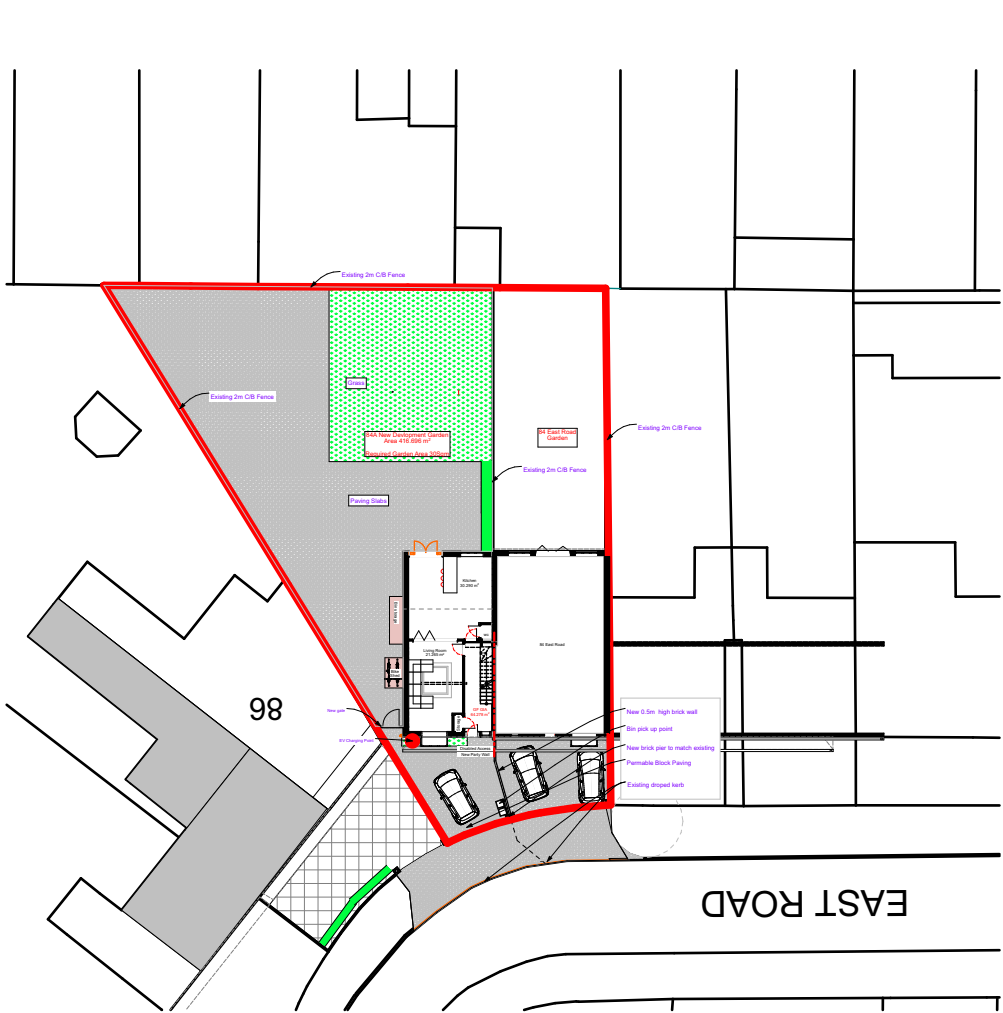


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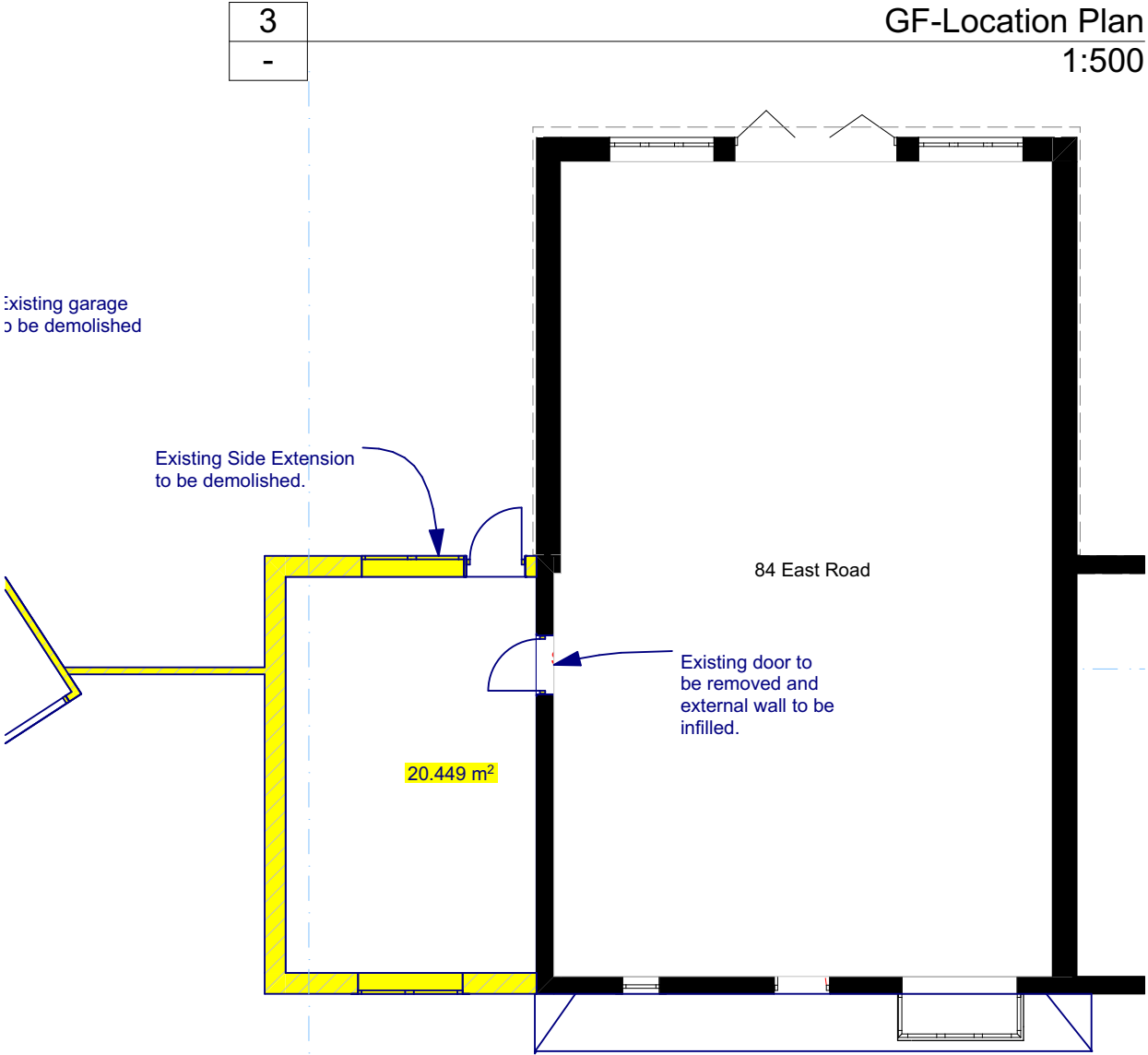
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GF-Proposed Ground Floor
1:50



GF-Location Plan
1:500



GF-Existing Ground Floor
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50

0 .5 1 1.5 2 2.5m

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01	12/03/24	Client comments	SY
REV	DATE	DESCRIPTION	BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Proposed Ground Floor Plan

Status:
Plans Proposed

Scale:
1:50, 1:100,
1:500@A2

Client:
OSN Group

Project No:
1031

Date:
09/07/2024

Drawing No:
1031-12_Rev10

Drawn By:
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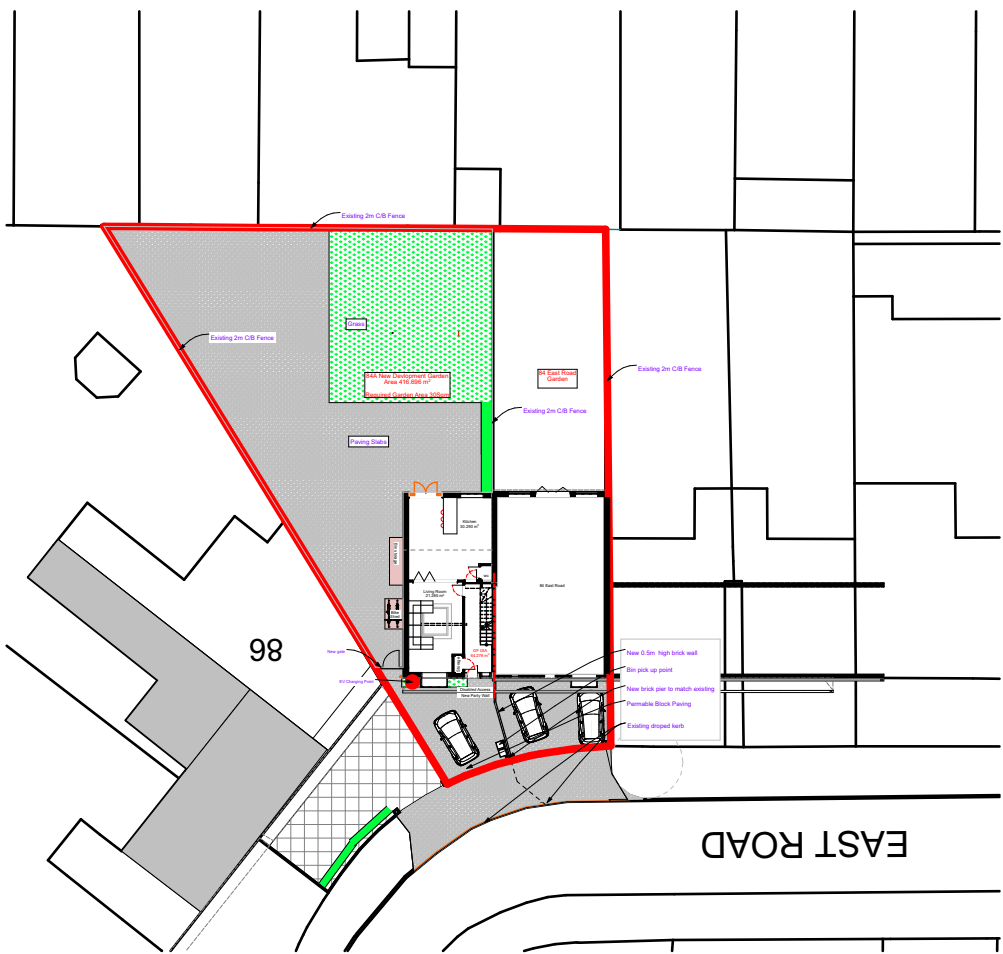
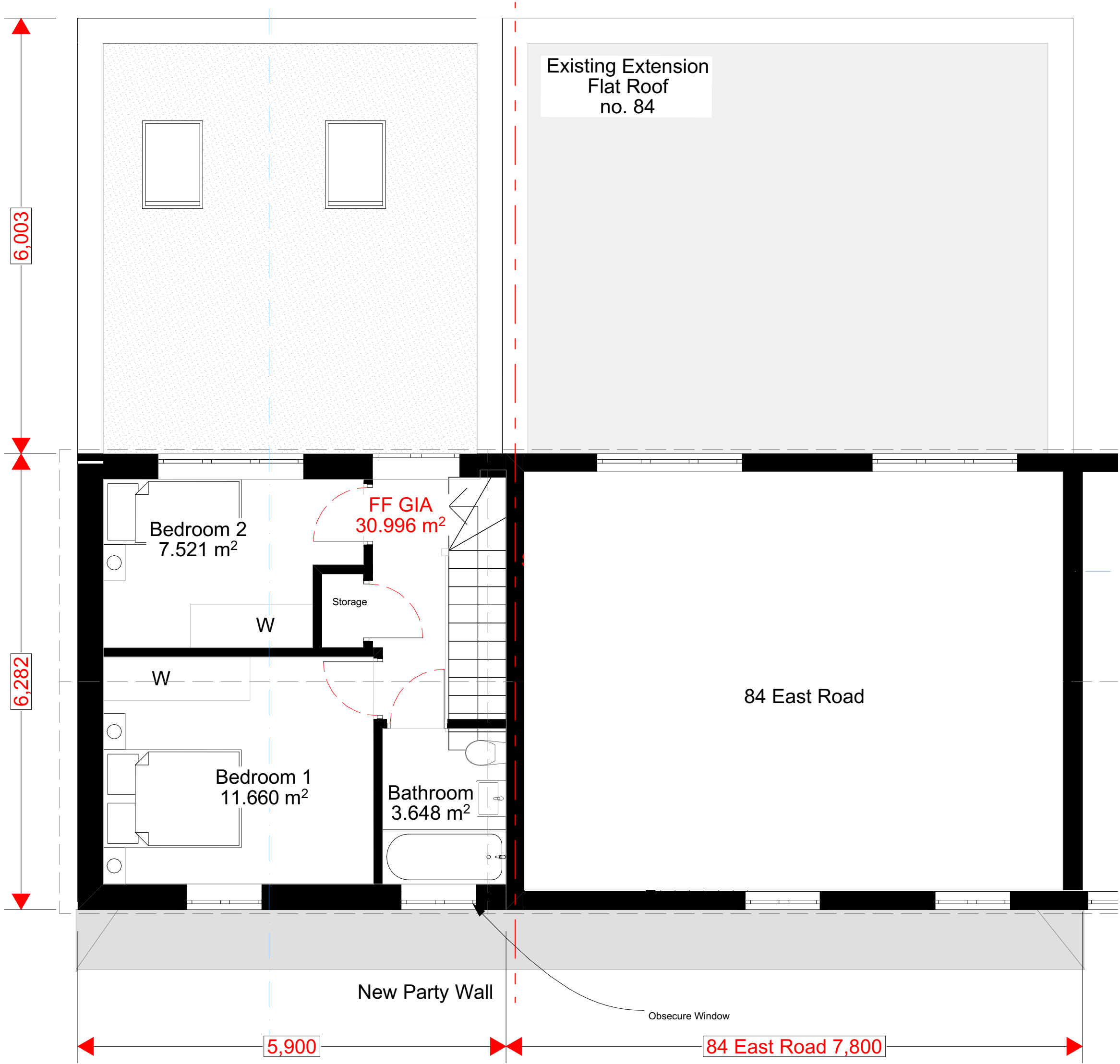
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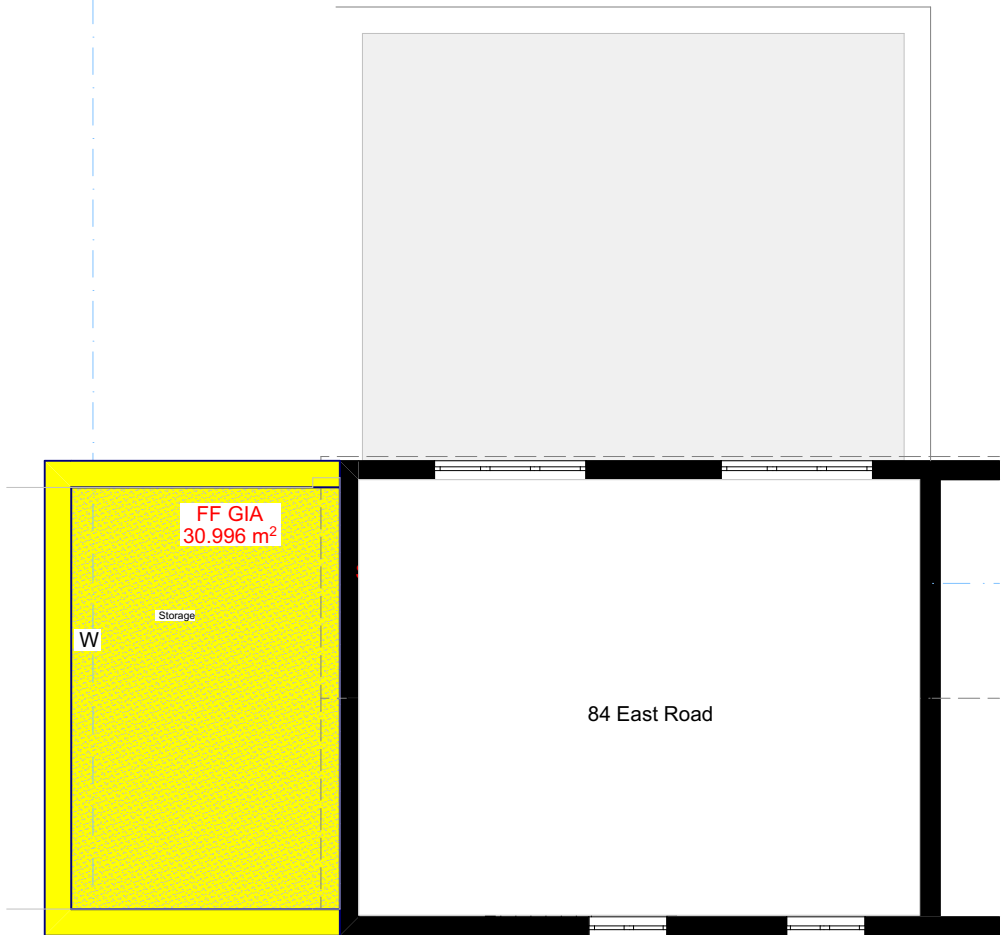
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1
-



3
-



2
-

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50



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01	12/03/24	Client comments	SY
REV	DATE	DESCRIPTION	BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Proposed First Floor Plan

Status:
Plans Proposed

Scale:
1:50, 1:100,
1:500@A2

Client:
OSN Group

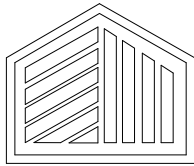
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Drawing No:
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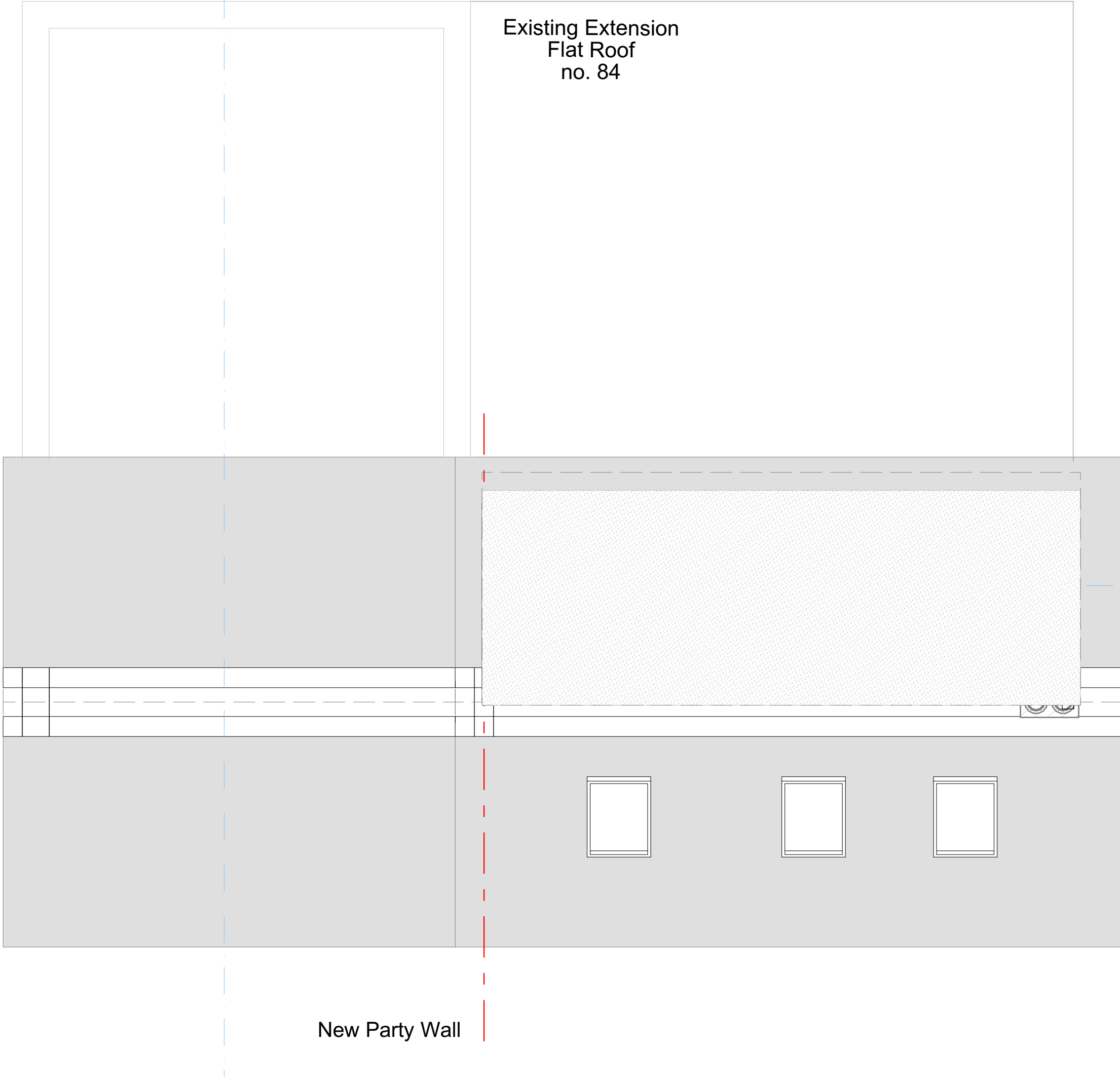
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SY

Rev:
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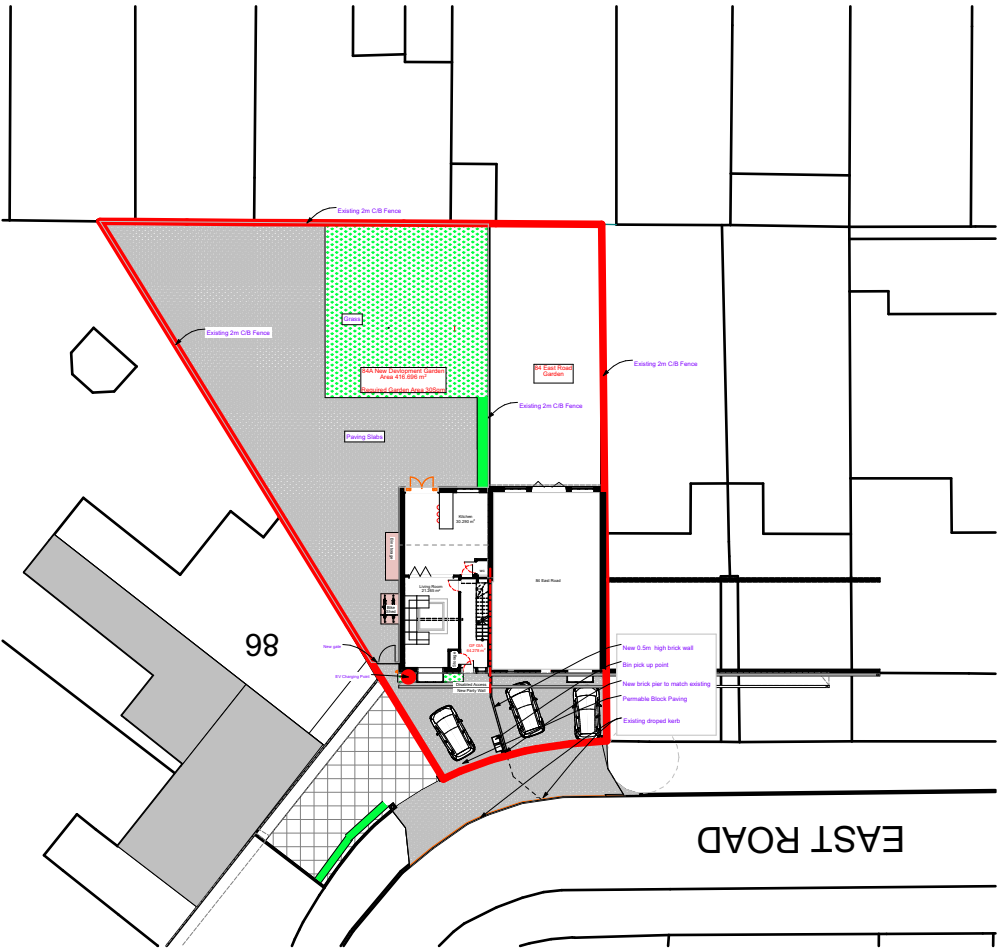
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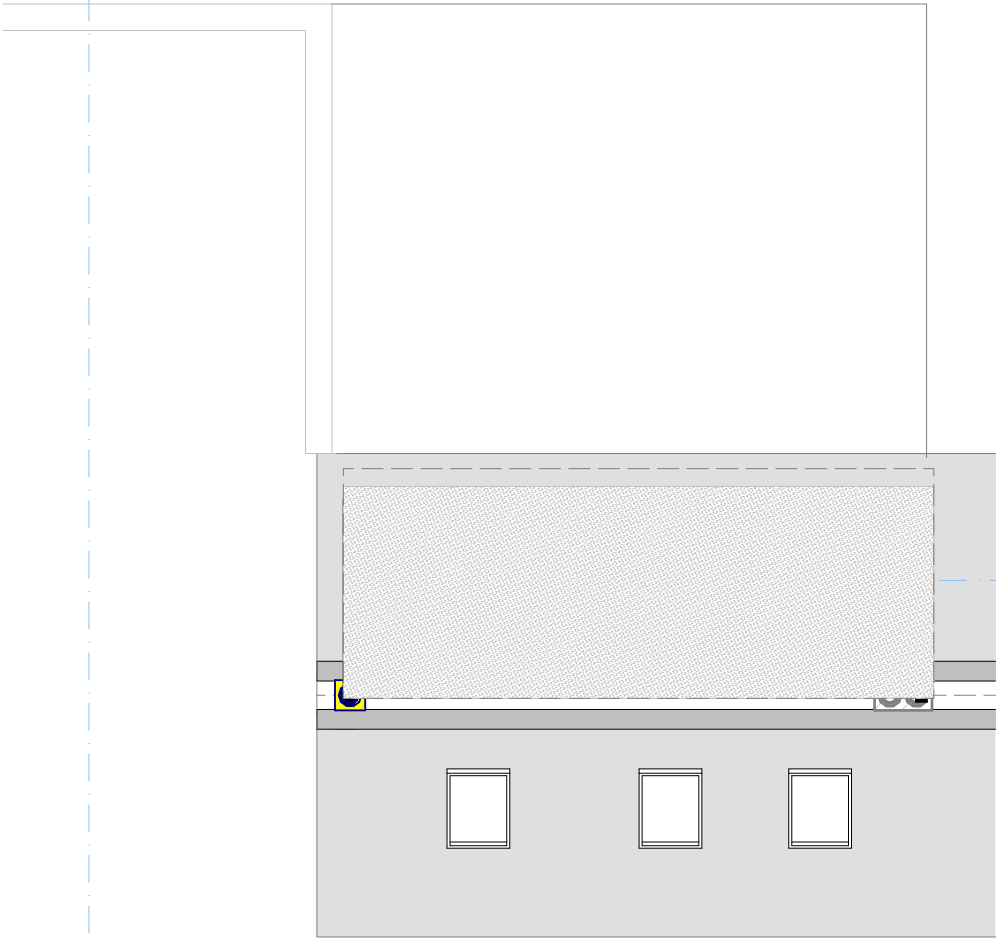
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RF-Proposed Roof
1:50



3
-

GF-Location Plan
1:500

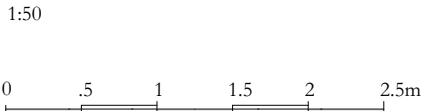


2
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RF-Existing Roof
1:100

Wall Legend

- Existing Wall
Proposed Wall
Demolition Walls



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REV	DATE	DESCRIPTION	BY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Proposed Roof Plan

Status:
Plans Proposed

Scale:
1:50, 1:100,
1:500@A2

Client:
OSN Group
Project No:
1031

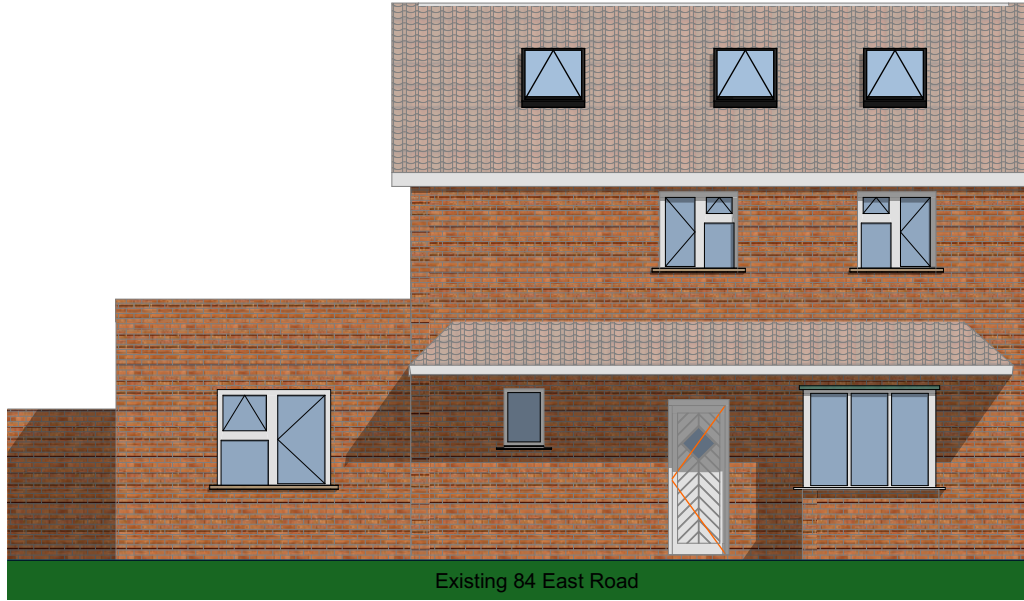
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Drawing No:
1031-14_Rev10

Drawn By:
SY
Rev:
10



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2

-

Elevation
1:100



3

-

Elevation
1:100



5

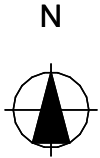
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Elevation
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



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06	25/04/24	Client comments	SY
05	22/04/24	Planning consultant comments	SY
04	06/04/24	Client comments	SY
03	25/03/24	Planning consultant comments	SY
02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
Existing Elevations

Status:
Elevations Existing

Scale:
1:100@A3

Client:
OSN Group

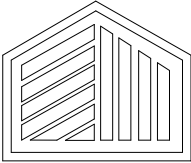
Project No:
1031

Date:
09/07/2024

Drawing No:
1031-30_Rev10

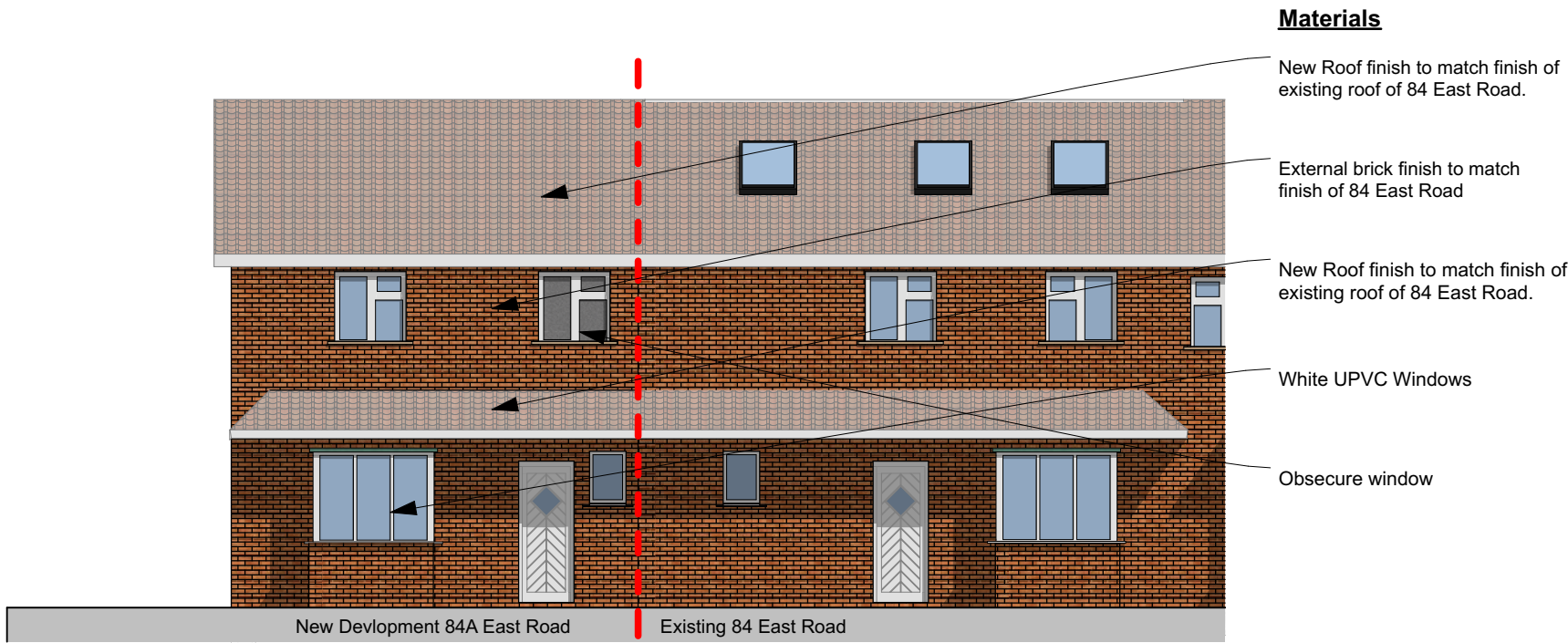
Drawn By:
SY

Rev:
10



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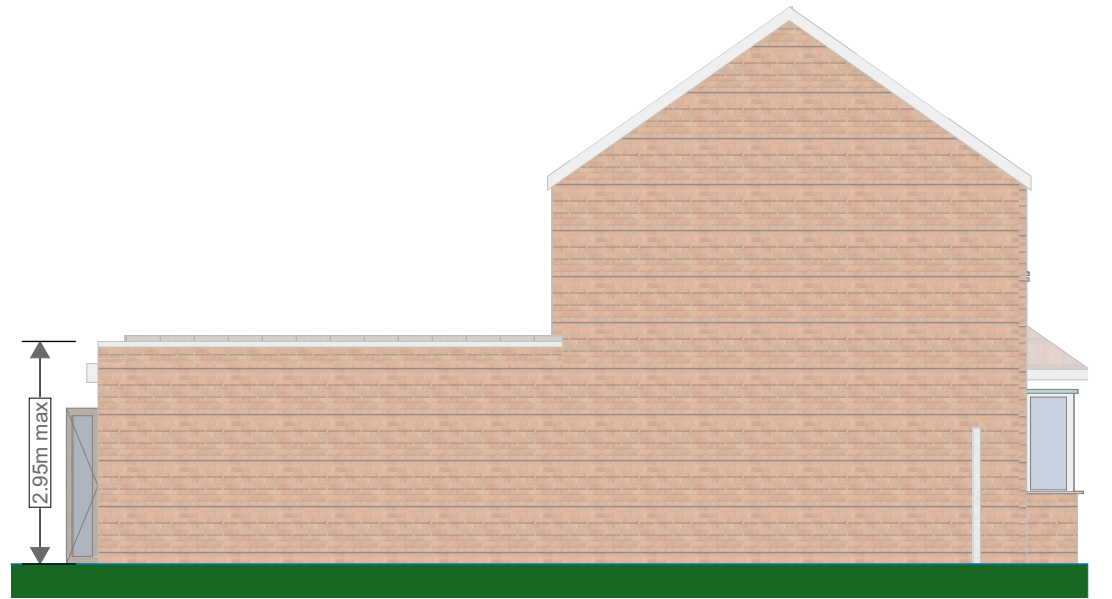
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-

Proposed Front Elevation
1:100



3
-

Proposed Rear Elevation
1:100



4
-

Proposed Left Side Elevation
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100

0 1 2 3 4 5 m



Notes:

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4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

REV	DATE	DESCRIPTION	BY
10	07/07/24	Planning officer (Hillington) Comments	SY
09	02/07/24	Planning officer (Hillington) Comments	SY
08	13/05/24	Planning consultant comments	SY
07	10/05/24	Planning consultant comments	SY
06	25/04/24	Client comments	SY
05	22/04/24	Planning consultant comments	SY
04	06/04/24	Client comments	SY
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02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY

Site Address:

Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:

Proposed Elevations

Status:

Elevations Proposed

Scale:

1:100@A3

Client:

OSN Group

Date:

09/07/2024

Drawn By:

SY

Project No:

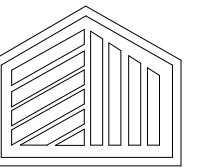
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Drawing No:

1031-35_Rev10

Rev:

10



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1 Generic Perspective (1) 1:414.53



2 Generic Perspective (2) 1:435.14



5 Generic Perspective (5) 1:456.21



3 Generic Perspective (3) 1:378.29



4 Generic Perspective (4) 1:413.45



6 Generic Perspective (6) 1:422.39

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04	06/04/24	Client comments	SY
03	25/03/24	Planning consultant comments	SY
02	18/03/24	Client comments	SY
01	12/03/24	Client comments	SY

Site Address:
Land Adjustment to 84 East Road West Drayton UB7 9HA

Drawing Title:
3d Model

Status:
Plans Proposed

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1:435.14,
1:378.29,
1:413.45,

Client:
OSN Group

Project No:
1031

Date:
09/07/2024

Drawing No:
1031-15_Rev10

Drawn By:
SY

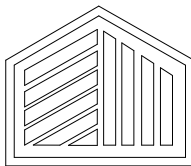
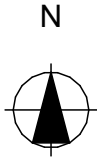
Rev:
10

Wall Legend

- Existing Wall
Proposed Wall
Demolition Walls

1:50

0 .5 1 1.5 2 2.5m



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