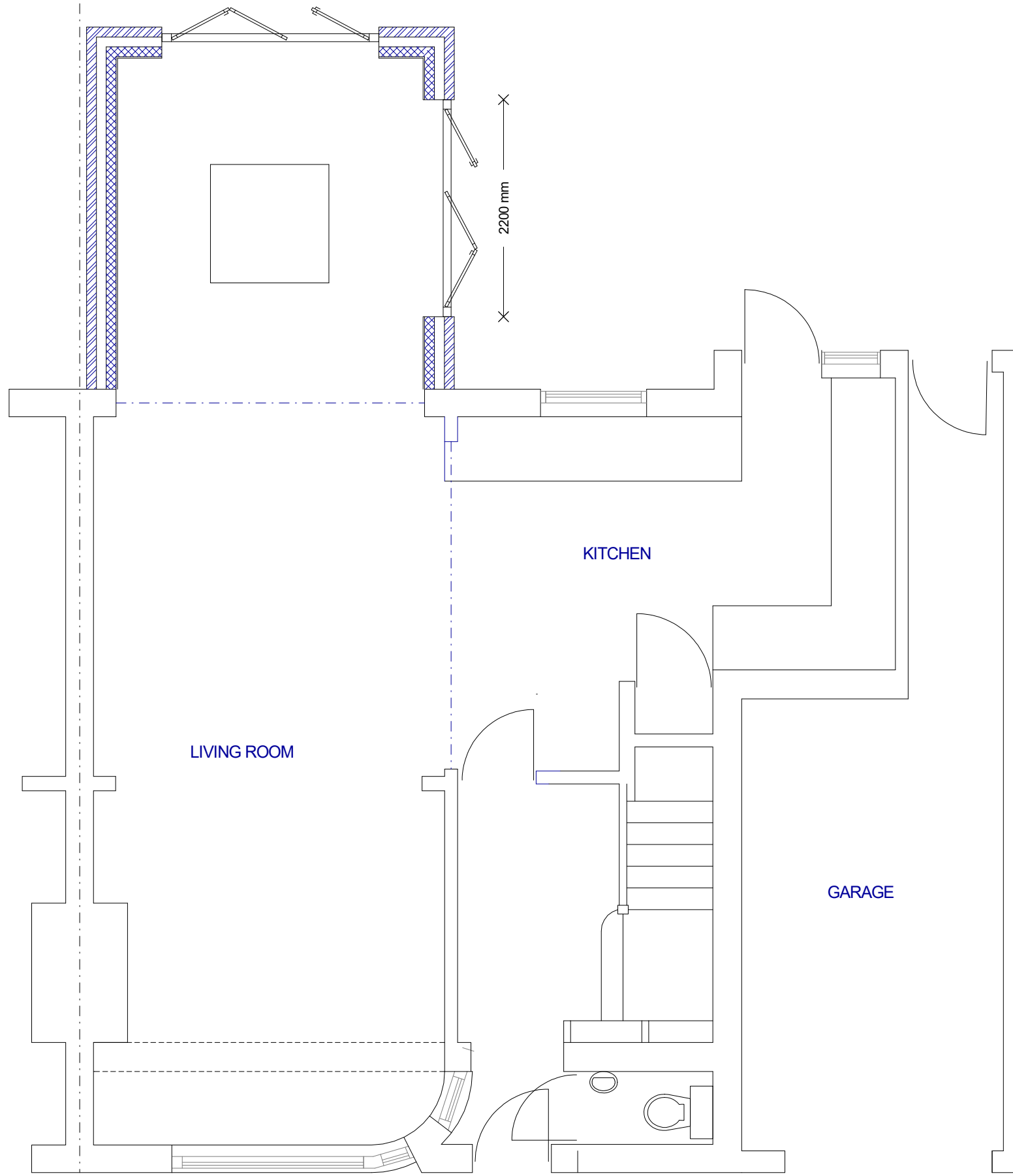
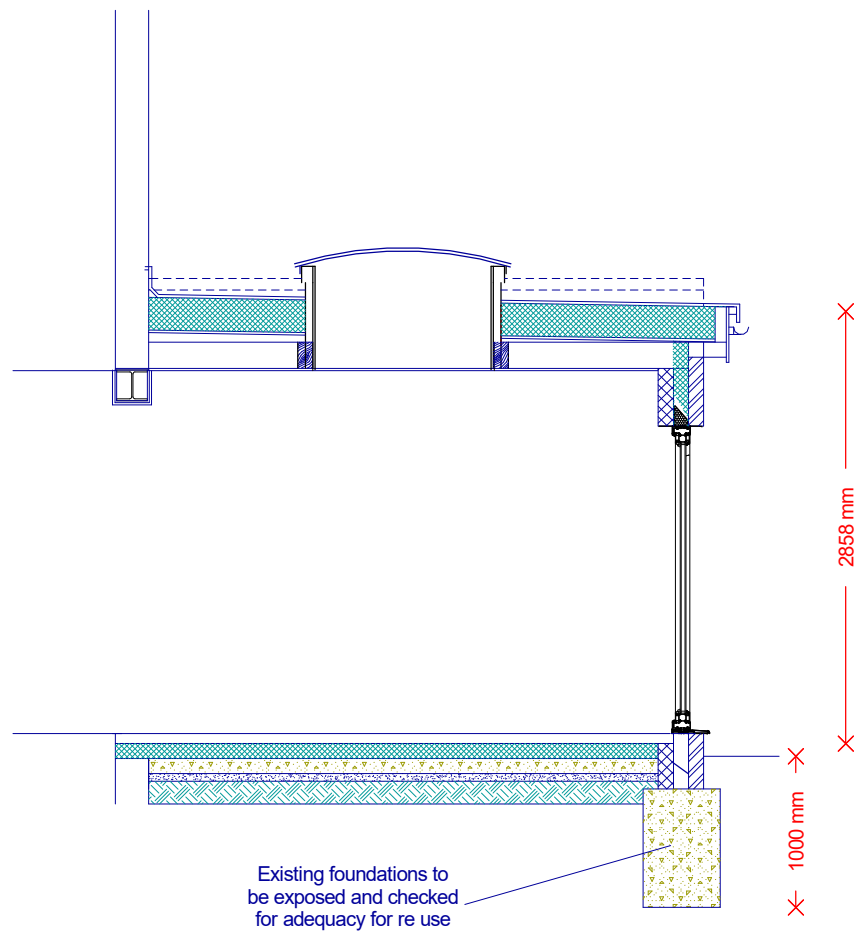


EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



PROPOSED SECTION

**FOUNDATIONS**  
Existing foundations to be exposed and checked for adequacy for re-use  
Otherwise new Foundation widths as plan  
Foundations to be taken to a minimum of 1.0m below ground level  
or below lowest root found during excavations to NHBC guidance

**FLOOR**  
Existing screed and floor slab grubbed up to allow new build up to be installed.  
65mm sand cement screed on 1200g DPM on 120mm Kingspan flooring grade insulation  
on 100mm concrete slab, reinforced with A142 mesh  
on 150mm of sand blined and well consolidated hardcore or type 1 MOT

**WALLS**  
102.5mm brick outerleaf, 10mm residual cavity, 90mm Kingspan K106 Cavity Insulation, 100mm Thermalite inner leaf  
Walls tied together using Ancon wall ties at 5No per m2 and doubled around openings  
DPC at 150mm above ground level, tied to new DPM  
Openings formed with Catnic CG90/100 lintels with 150mm bearing

**ROOF**  
3 layer felt or an approved single ply membrane  
on 150 Kingspan flat roof insulation on 18mm WPB plywood on firings to provide min 1 in 50 fall  
on 200 x 50mm C24 grade joists at 400mm centres. Double joists and trimmers around rooflight opening  
Roof joists provided with twisted holding down straps at 1.2m centres  
ceiling formed with 12.5mm plasterboard with skim finish

**INTERNAL FINISHES**  
New block walls lined with bonding plaster and skim finish  
Walls and ceilings painted with Dulux Emulsion paints

**STEEL BEAMS**  
203UC43 to support existing rear elevation  
203x102 UB to support masonry above removed wall between kitchen and living room

**WINDOWS AND DOORS**  
New UPVC double glazed windows and doors to have a minimum U-Value of 1.6W/m2k  
Doors to have toughened glass fitted

**ELECTRICAL INSTALLATION**  
New electrical works are to be installed and tested by a qualified electrician  
All works in accordance with Approved Document P

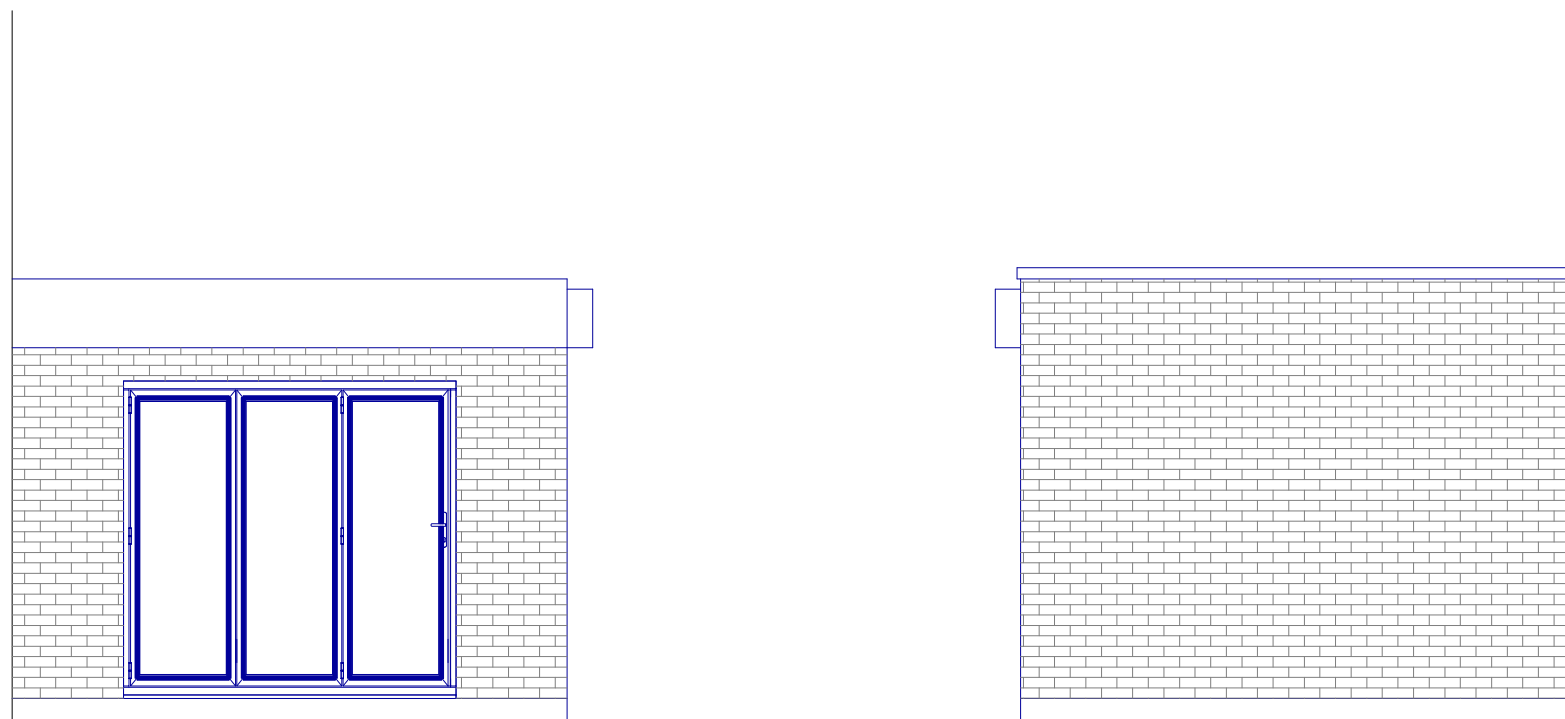
**ROOFLIGHT**  
New rooflight to have U value of at least 2.2W/m2k



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATIONS

241 Hoylake Cresc.  
Ickehenam

SCALE 1:50  
0 1m 2m 3m 4m 5m

PLAN	Existing and Proposed Plans
PROJECT	Replace conservatory with habitable room
<small>General Notes: 1. All dimensions to be checked on site prior to construction any discrepancies should be reported to the highest design. 2. All drawings are indicative of proposed design requirements only and show design intent only. 3. This is a preliminary drawing and is for information only and is not to be used for construction. Copyright: Highford Design 2022 This drawing should not be used to calculate areas for the purpose of valuations. All dimensions to be checked on site by contractor and such dimensions to be their responsibility</small>	

DWG No  
**01**  
Rev: - a

Date: November 2022  
Project: 241 Hoylake Cresc.  
Scale 1:50 @ A1  
Checked: AW  
Drawing Title: Plans  
Status: Planning  
Job No: 390

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