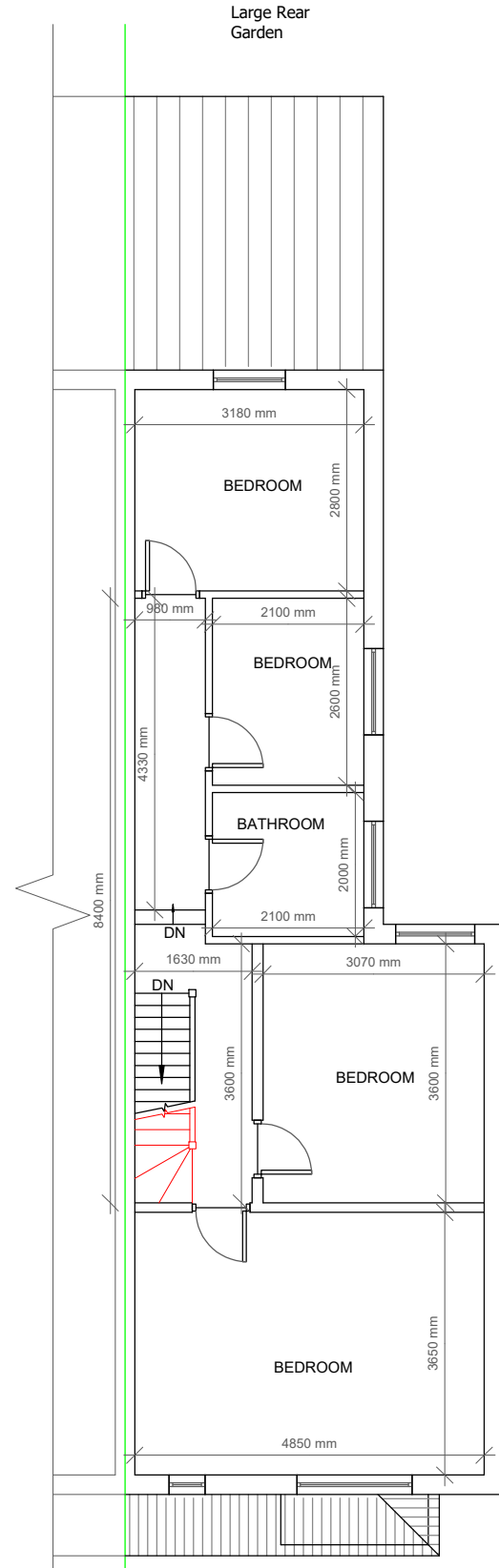
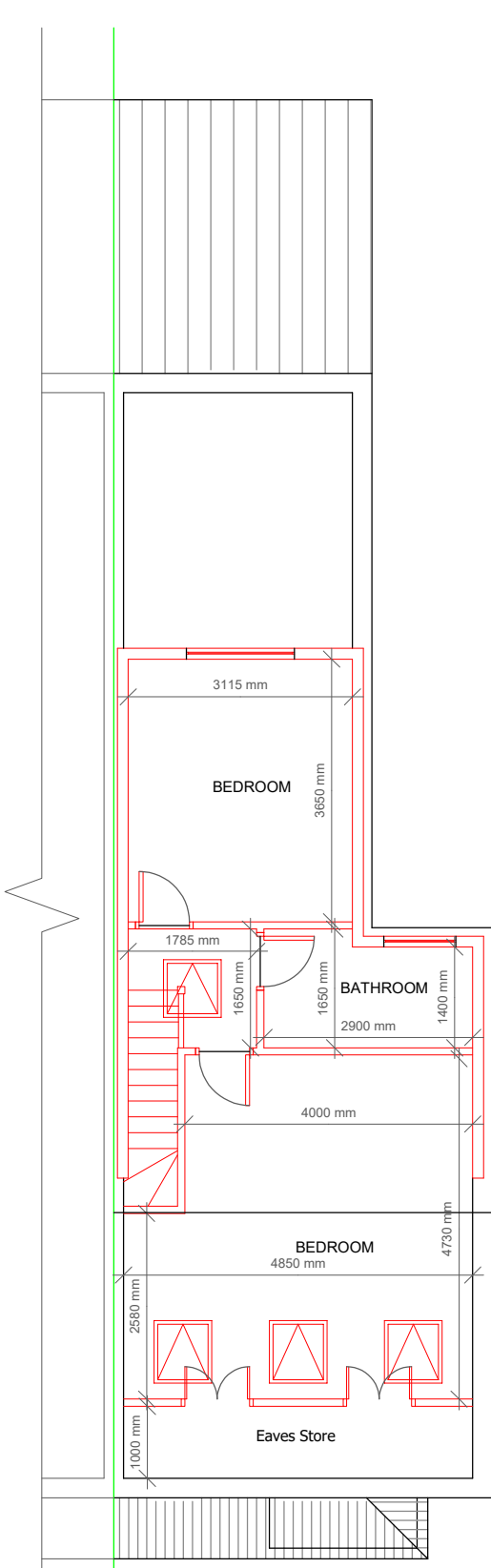


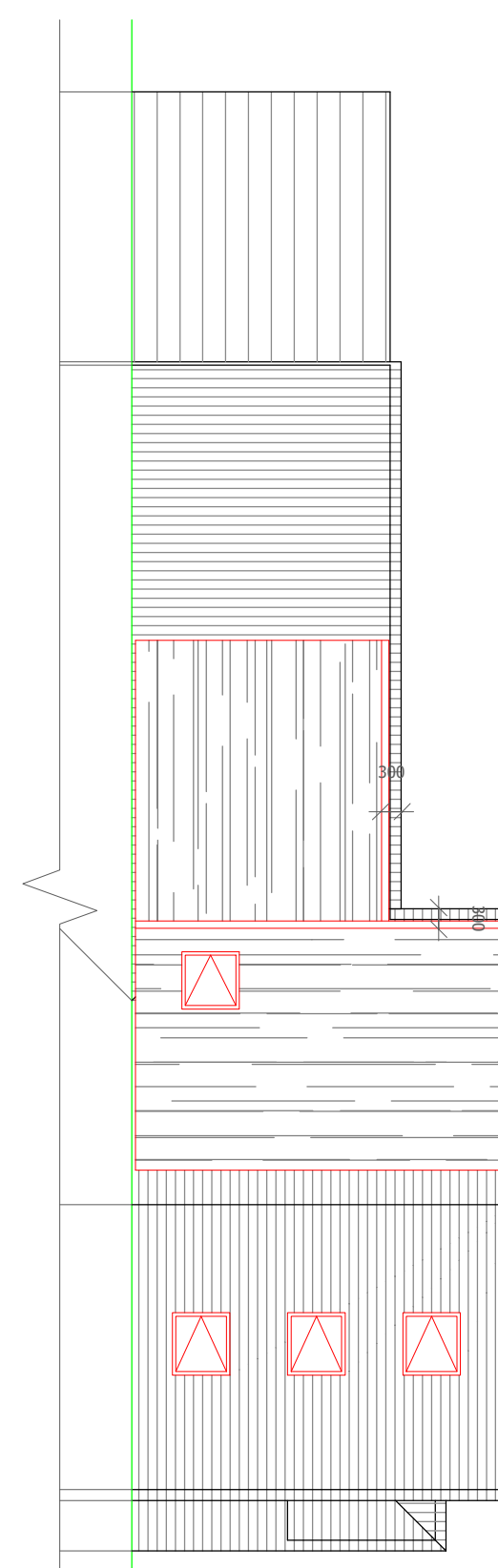
PROPOSED
GROUND FLOOR
PLAN



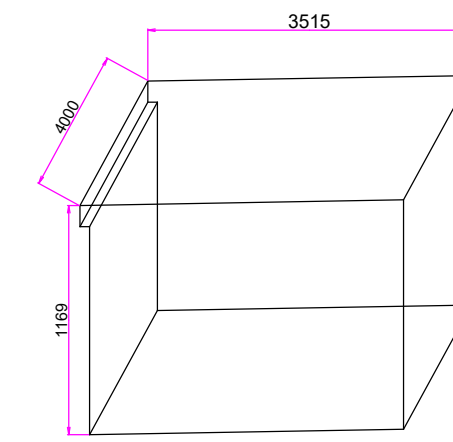
PROPOSED
FIRST FLOOR PLAN



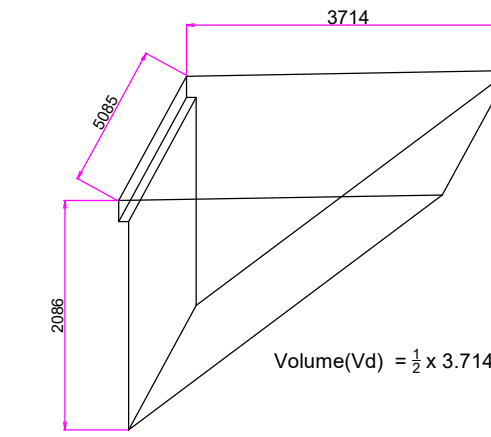
PROPOSED
FIRST FLOOR PLAN



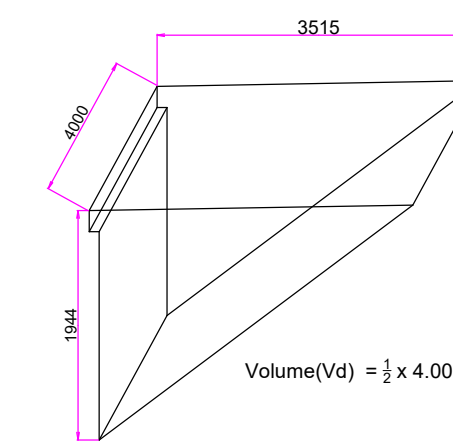
PROPOSED
ROOF PLAN



Volume(Vd) = 4.000 x 3.515 x 1.169 = 16.43 Cu.m



Volume(Vd) = $\frac{1}{2}$ x 3.714 x 5.085 x 2.086 = 19.70 Cu.m



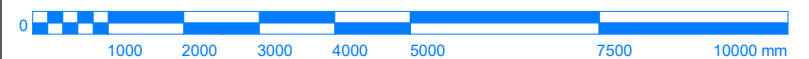
Volume(Vd) = $\frac{1}{2}$ x 4.000 x 3.515 x 1.944 = 13.66 mm

Final Volume 16.43 +13.66+ 19.7 = 49.79 Cu.m

Notes

- 1 All concrete to be 1:2:4 mix by volume
- 2 All dimensions are in millimeters
- 3 All materials used to be half hour fire resistance and used to manufacturers instructions
- 4 All new gullies to be roddable and back inlet type.
- 5 New walls bonded to existing using 'Furfix' or similar profiles.
- 6 The contractor to check all dimensions before commencement of works and inform the Client of any discrepancies.
- 7 All works to be carried out in accordance with Building regulations and British Standards, all in approval of the LA engineer.
- 8 All new glazing below 1000 from floor level to be toughened safety glass to BS6206.
- 9 All structural timber to be tannalised VERMIN
- 10 Any proposed works likely to be affected by landfill gas to have 0.25 ZEDCOR polymer thermoplastic with ZEDCOR DPM jointing system across the cavity at DPC level with cavity trays over, the floor slab to be vented using herringbone land drains out to air bricks.
- 11 All dimensions to be double checked on site
- 12 All steels to be measure on site with built dimensions
- 13 Steels to have 30 min fire protection
- 14 All drawings to be approved prior to Build works, any works carried out without approval is at own risk.
- 15 Any discrepancies to be discussed with our team prior to works, any changes made on site to be submitted to and approved by us in writing

Scale 1/100



Title / Description :

Proposed Plans

Project Address :

102 Cowley Mill Road
Uxbridge UB8 2QB

Scale of Drawing

1/100 @ A1

Drawing No

102 02

Drawn By

Sunny Bahia

Date of Proj

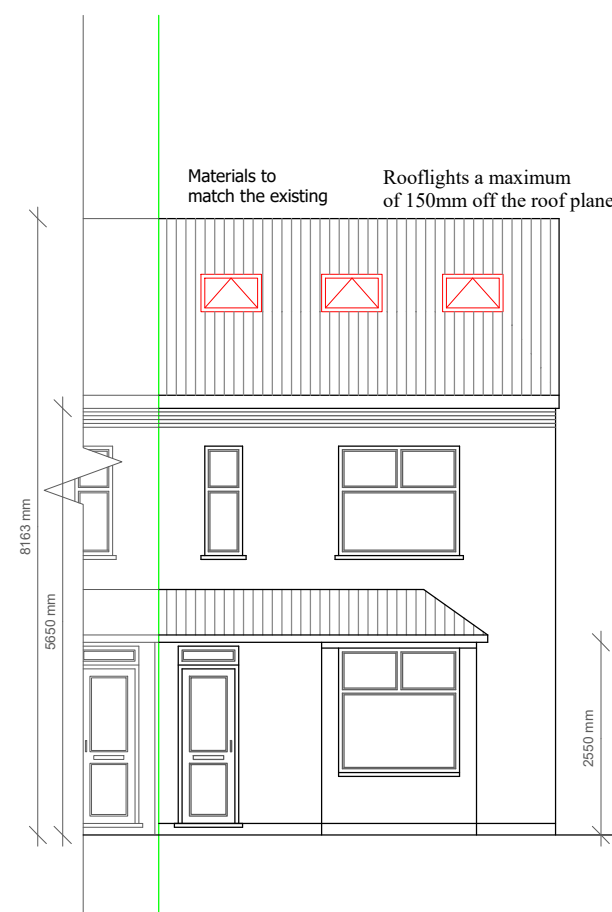
June 23

AsB Architecture Ltd

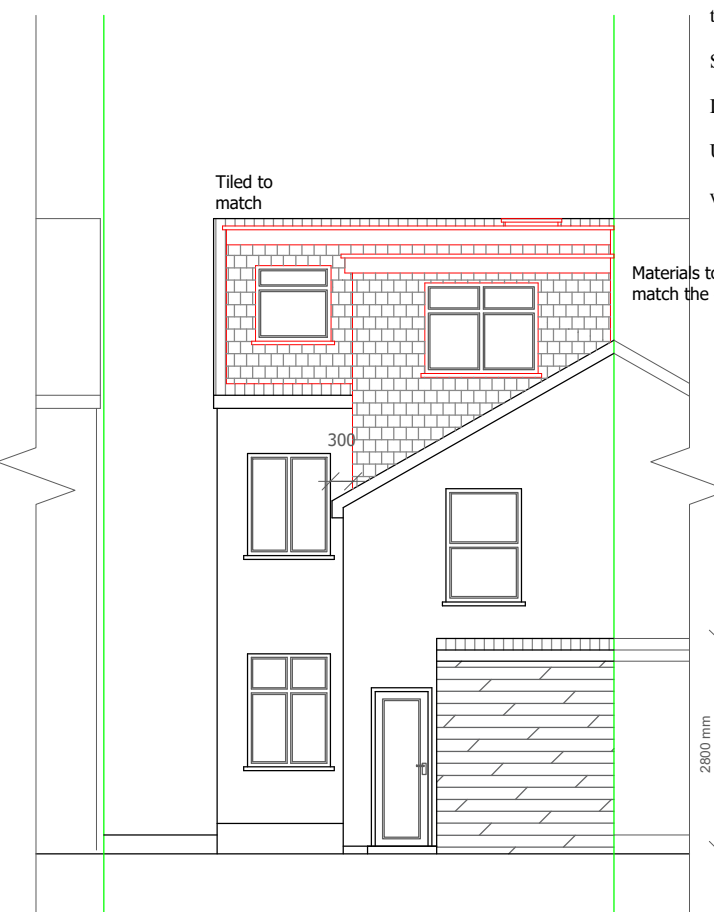
PLANNING - ENGINEERING - MANAGEMENT

Asbarchitectureltd@gmail.com

Office / Mobile - 07960 417 920

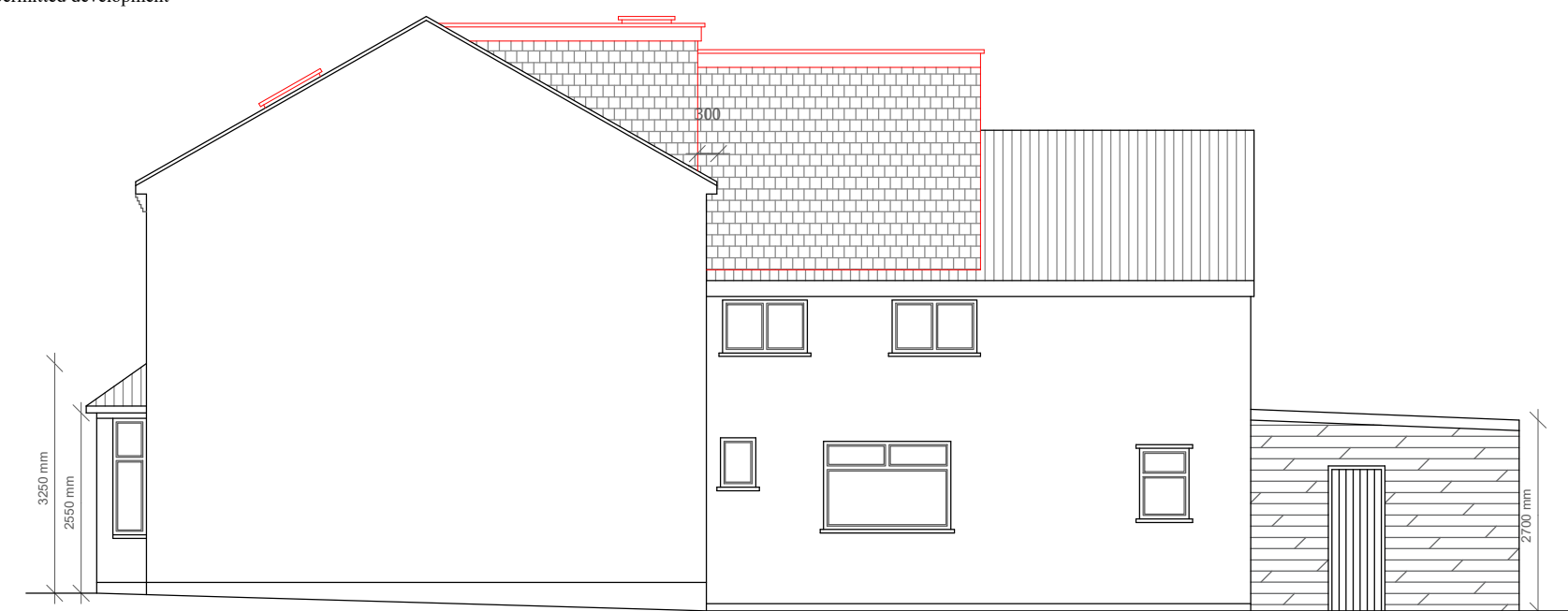


PROPOSED
FRONT ELEVATION

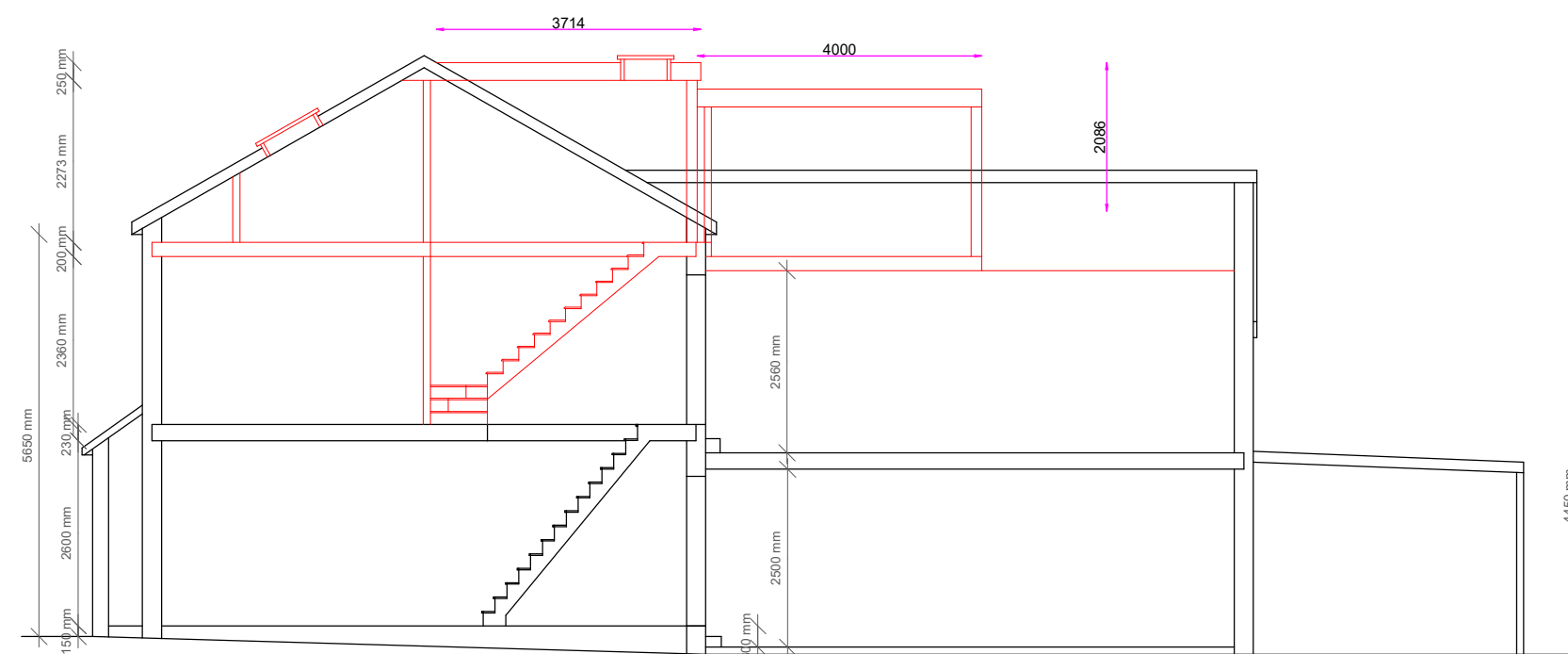


PROPOSED
REAR ELEVATION

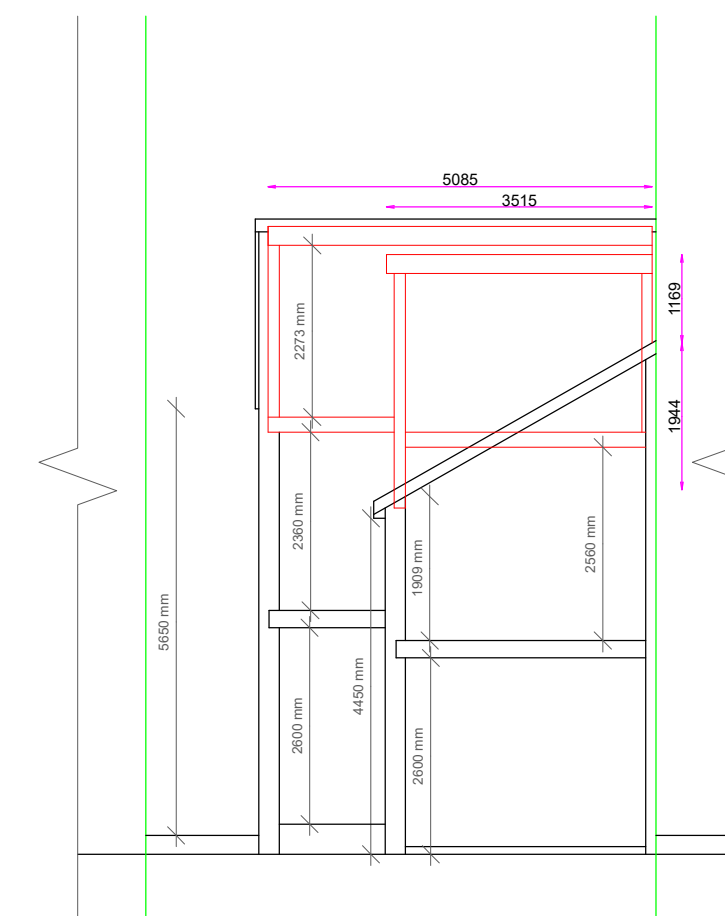
Dormer clad in tile
to match the existing roof
Stepped back from eaves by 300mm
Lower than the highest part of the roof
Under 50 cubic sqm - semi detached house
within permitted development



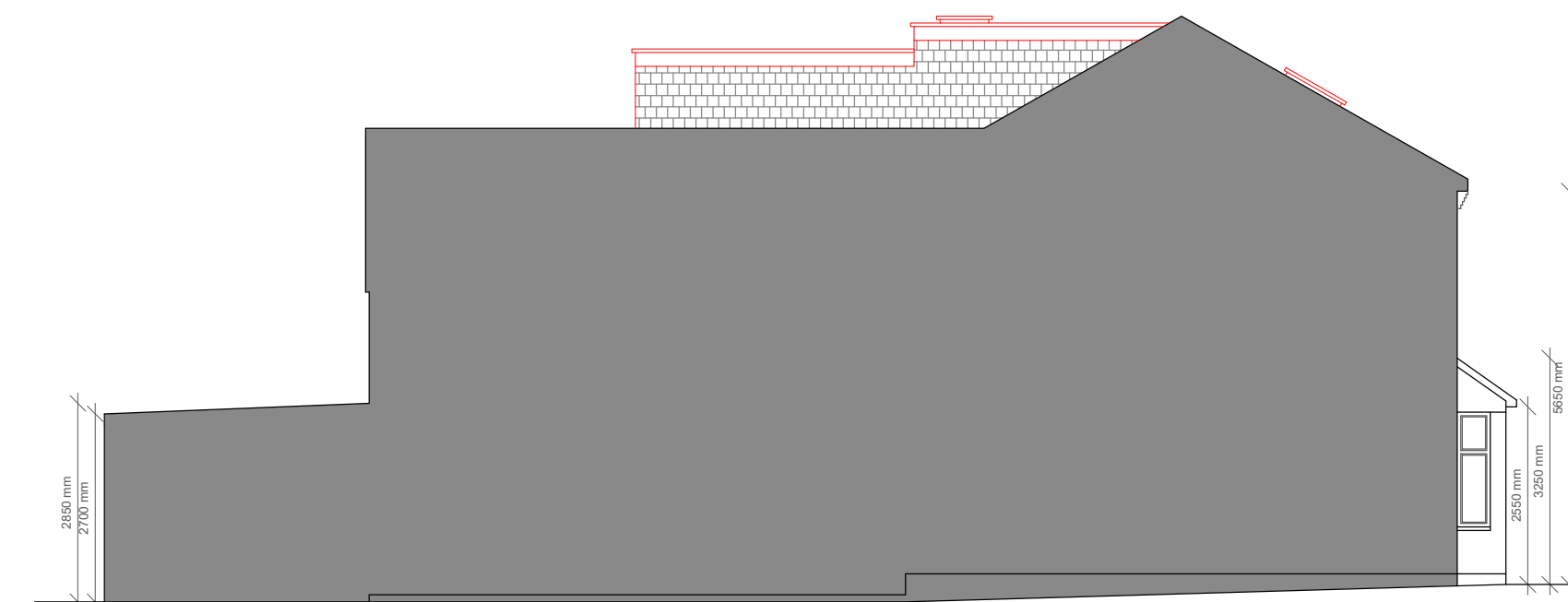
PROPOSED
RIGHT SIDE ELEVATION



PROPOSED
RIGHT SIDE SECTION



PROPOSED
REAR SECTION



PROPOSED
LEFT SIDE ELEVATION