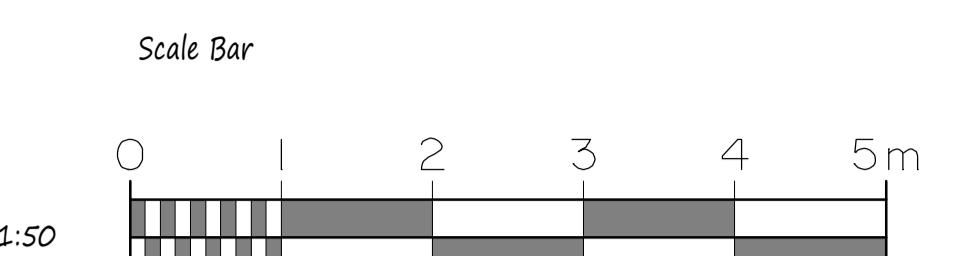
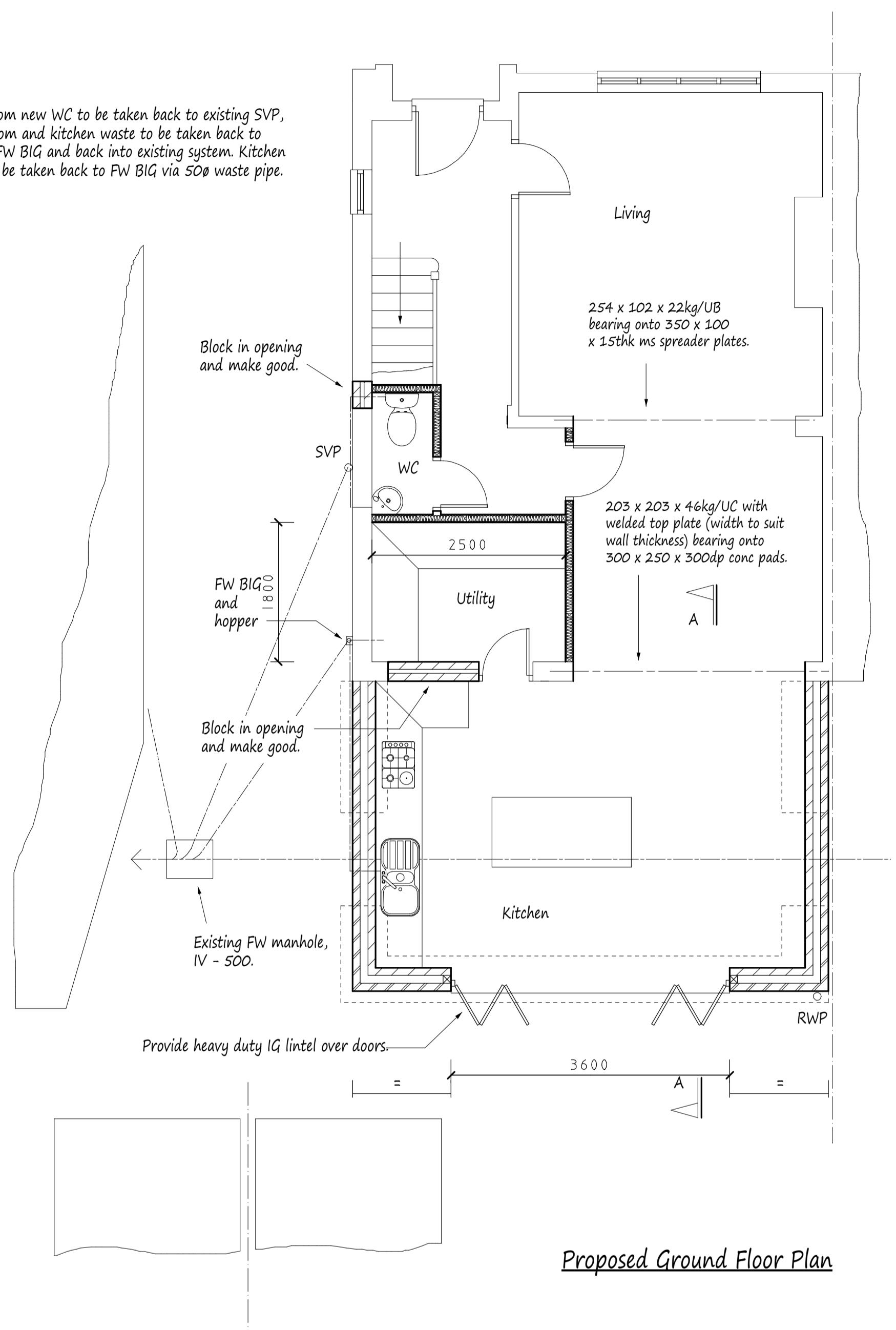


Waste from new WC to be taken back to existing SVP, Utility room and kitchen waste to be taken back to existing FW BIG and back into existing system. Kitchen waste to be taken back to FW BIG via 500 waste pipe.

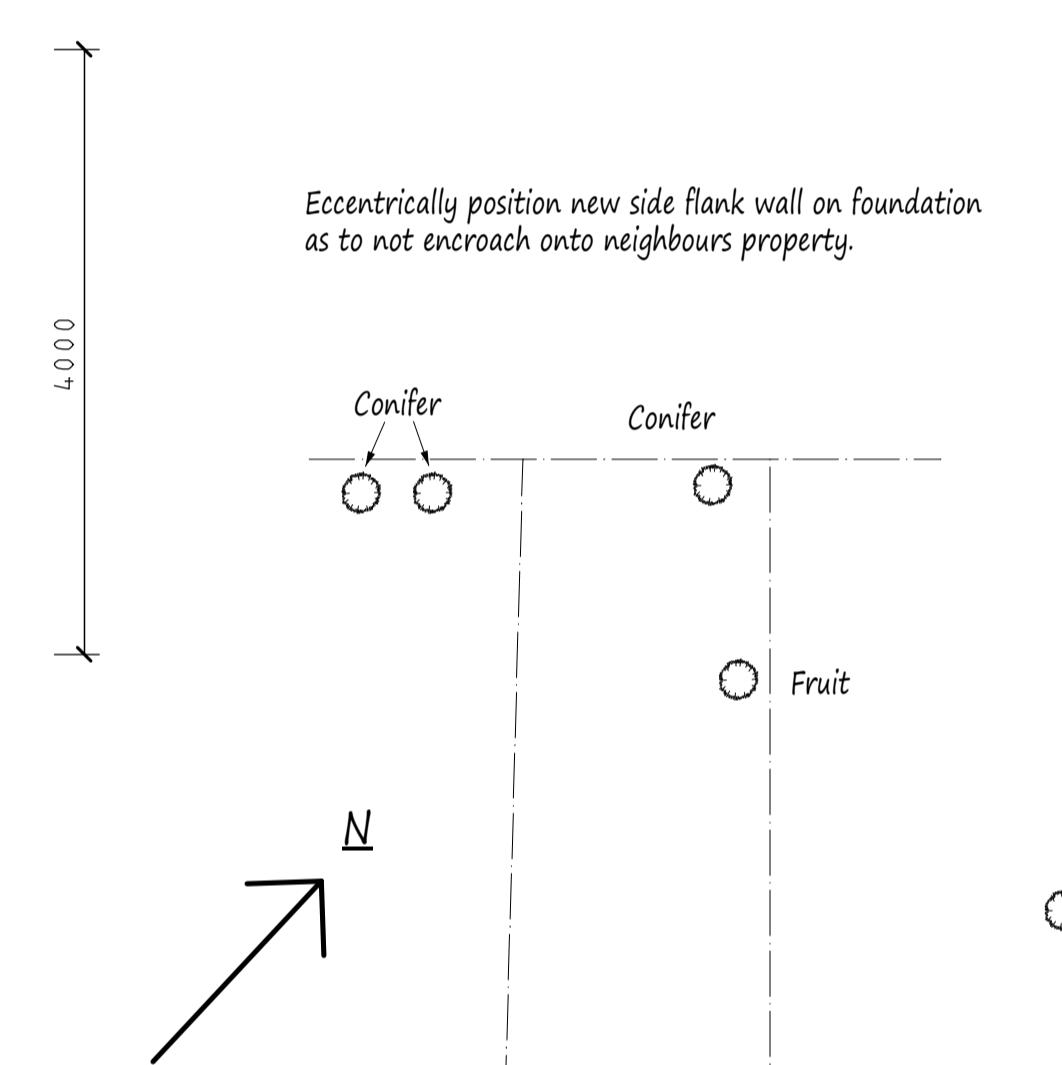


New WC to have mechanical ventilation to open air, min 30l/s with 15 minute over run.

New Utility Room to have mechanical ventilation to open air, min 30l/s.

New Kitchen to have mechanical ventilation to open air, min 60l/s or 30l/s if incorporated within a cooker hood.

**Surface Water**  
Rainwater from new roof to be taken to soakaway, min 1.0m cubed for every 16.5m<sup>2</sup> of roof to be drained and 5m away from any building.



**NOTES:**  
All dimensions must be checked on site and not scaled from this drawing.

- All dimensions are in millimetres.
- Dimensions to be 1200 of floor area (mm).
- Lintels to have minimum end bearings of 150mm.
- Walls: 103mm face brickwork externally, 100mm cavity filled with drytherm 34 insulation, minimum 100mm celcon solar blockwork or similar approved, and plastered to finish. External walls to be insulated in 2 coats with a suitable waterproof additive.
- Cavity walls to have stainless steel ties @ 450mm centres and staggered 900mm horizontally.
- DPC's to be provided to sides and over heads of all external walls and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
- If proposed extension covers air bricks then air brick to be removed and 100mm diameter PVC pipe to be provided from existing to new air brick in external wall.
- New habitable rooms to have background ventilation of at least 8000mm<sup>2</sup> i.e. Trickle vent or air brick.
- New structural beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
- New stud partitions to be constructed of 100mm x 50mm timbers @ 400mm centres with horizontal battens @ 100mm centres and 10mm quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres.
- New structural timber to be SC3 grade and laminated.
- New windows and doors to be double glazed and achieve a U-Value of 1.6W/m<sup>2</sup> i.e. 16mm spacer with low E glass to inner pane. Glazing to doors and side light panes.
- Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm pavingstone (10mm). Provide pre-cast concrete lintels where drains pass through walls. New manholes to be constructed of thick block class B semi-engineered brickwork on top of thick concrete slab and medium duty cover. (If applicable)
- Waste pipe sizes: Sink - 38mm diameter. Bath - 38mm diameter. Shower - 38mm diameter. Wash hand basin - 32mm diameter. All with 75mm deep soil traps. Lighting to be to BS 5522:1978. 15. 75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
- All electrical works to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a self certification scheme authorised by the Society of Electrical Engineers (BRE, BSI, IEE, CIBSE, NAPIT or NICEIC).
- If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certified radiators to have thermostatic valves.

A	Jan 2020	Rev'd application
	Date	Revisions

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Client  
Mr & Mrs Owen

Job Title  
29 Whiteheath Avenue  
Ruislip  
Middlesex

Drawing Title

Proposed Single Storey Rear Extension.

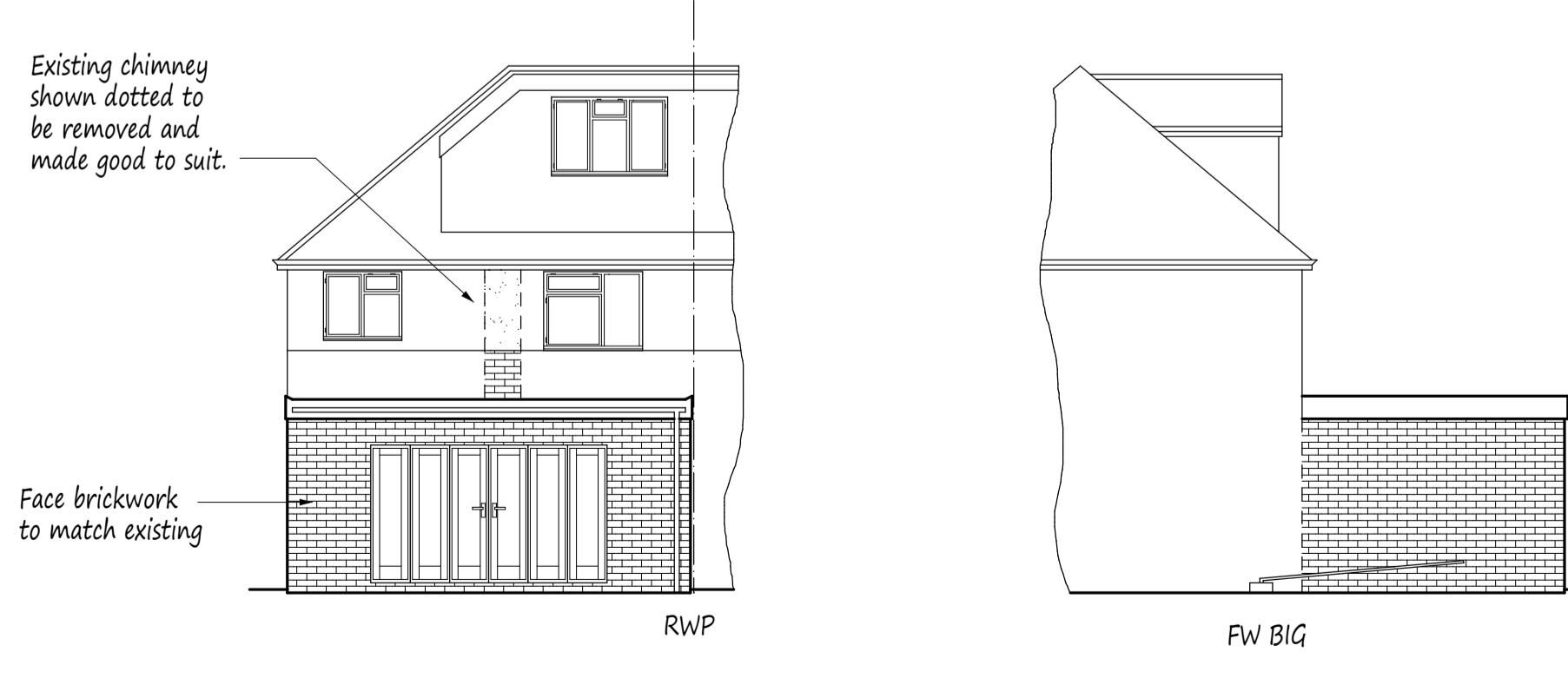
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1:50. 100. 200

Date  
January 2018

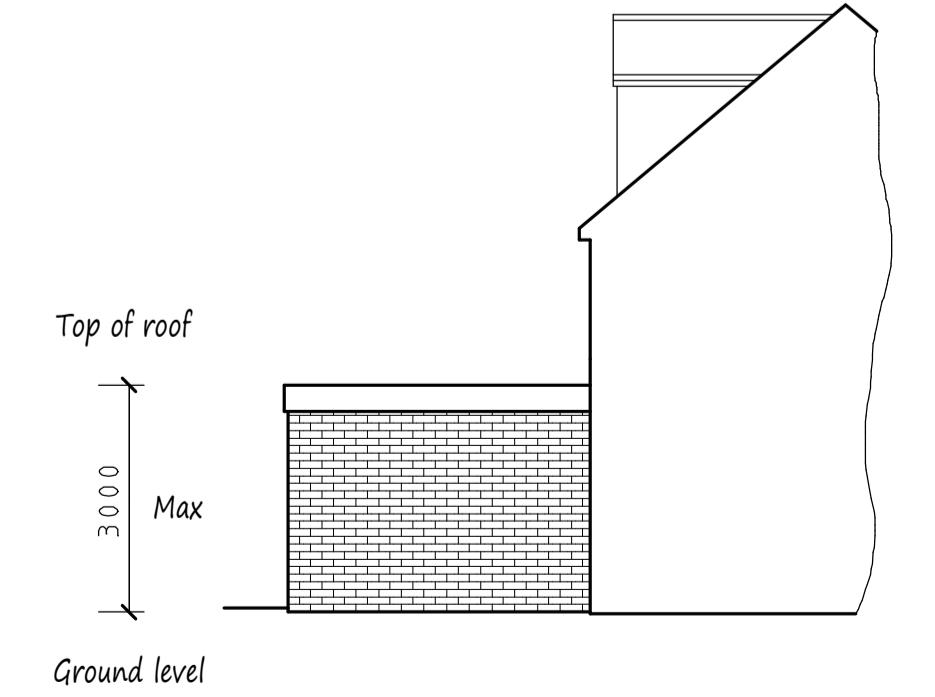
Drawn by  
MDP

Drg No.  
4008/01A

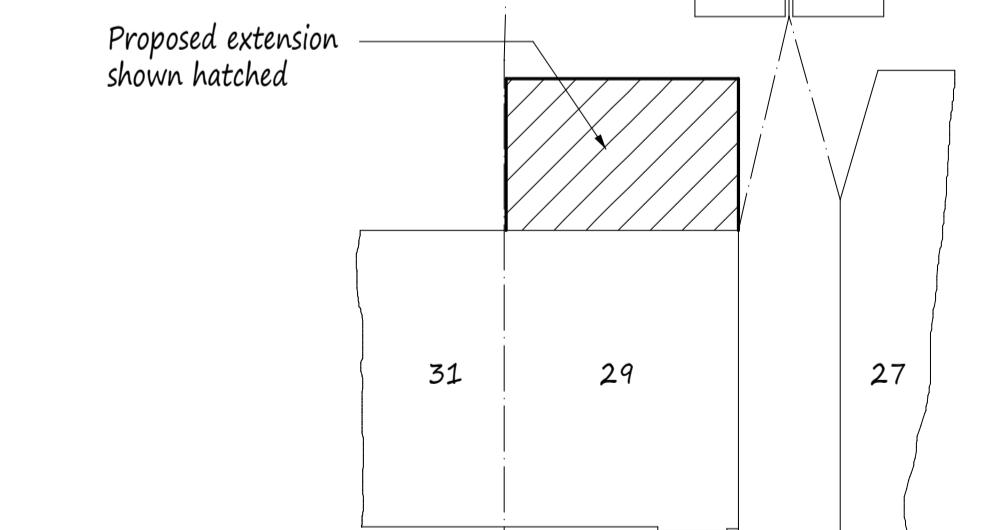
Proposed Elevations - All Materials to Match Existing



Rear Elevation



Side Elevation



Site Plan scale 1:200