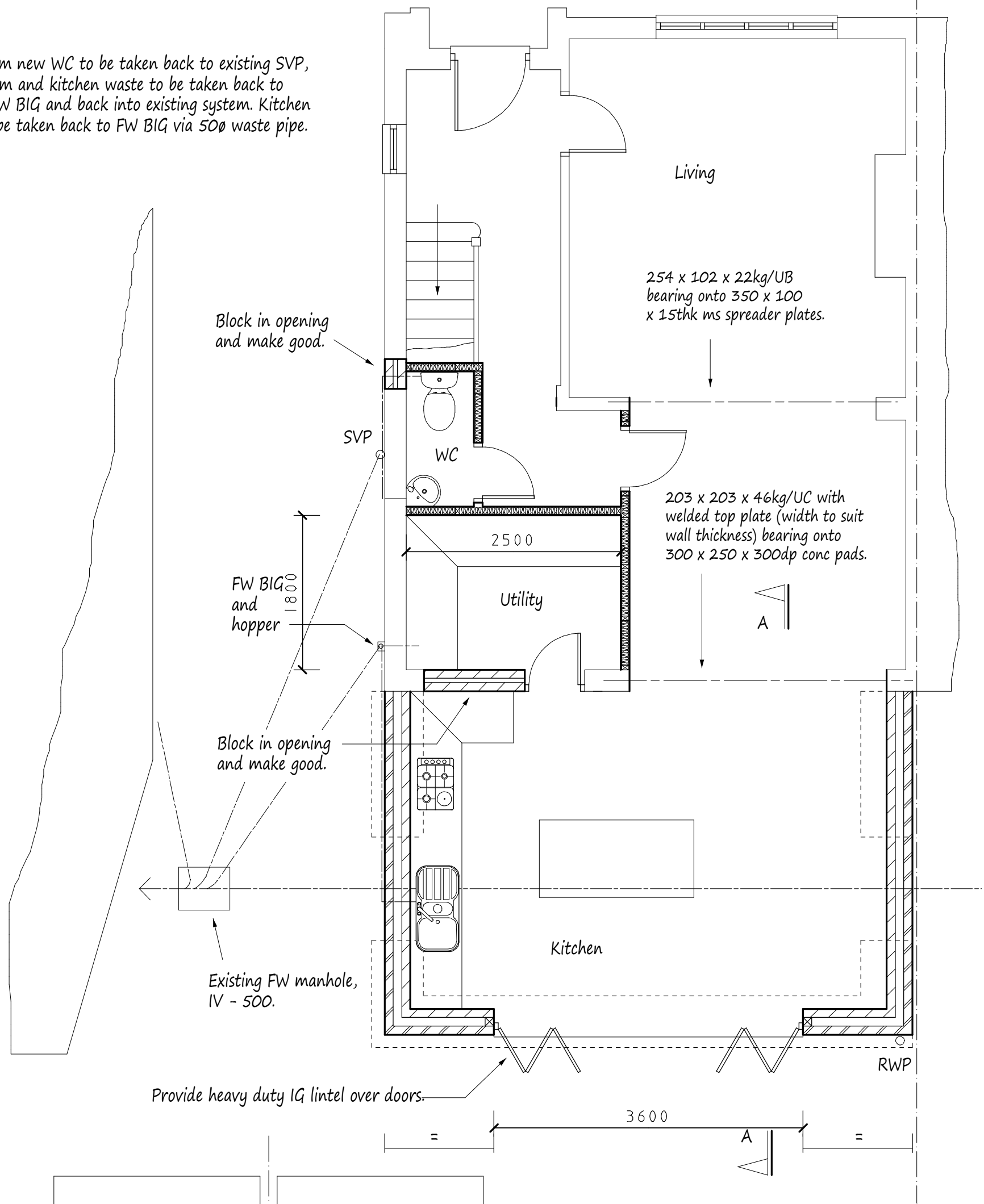


Existing Ground Floor Plan

Waste from new WC to be taken back to existing SVP, Utility room and kitchen waste to be taken back to existing FW BIG and back into existing system. Kitchen waste to be taken back to FW BIG via 50mm waste pipe.



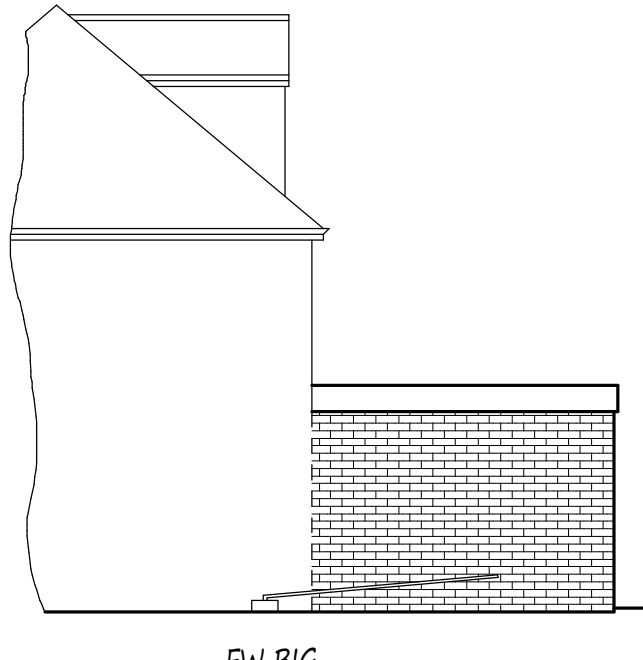
Proposed Ground Floor Plan

Existing chimney shown dotted to be removed and made good to suit.

Face brickwork to match existing

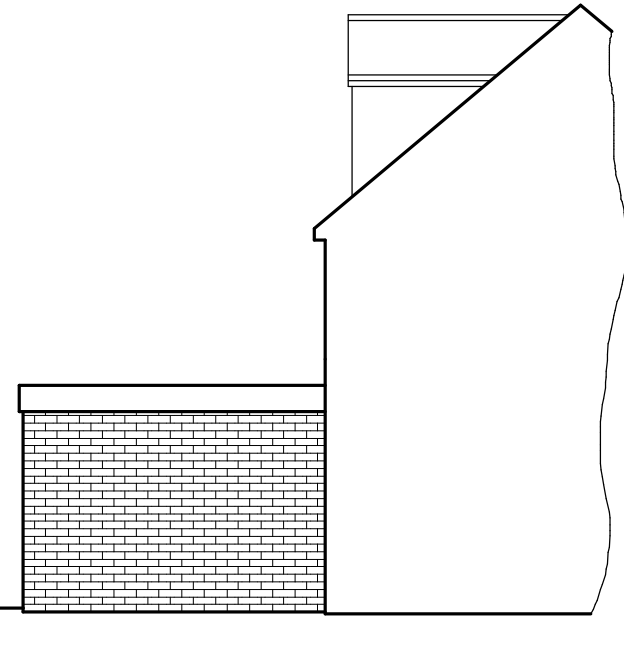


Rear Elevation

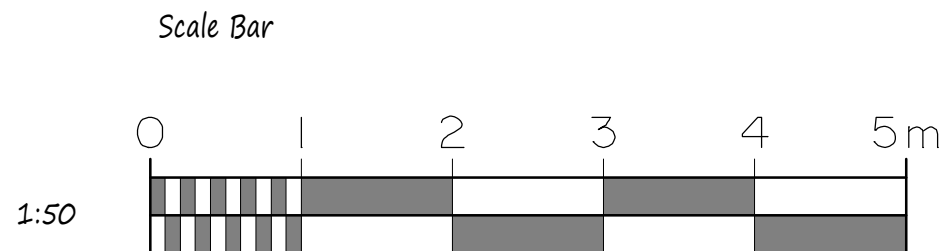


Side Elevation

Top of roof
Max
3000
Ground level



Side Elevation



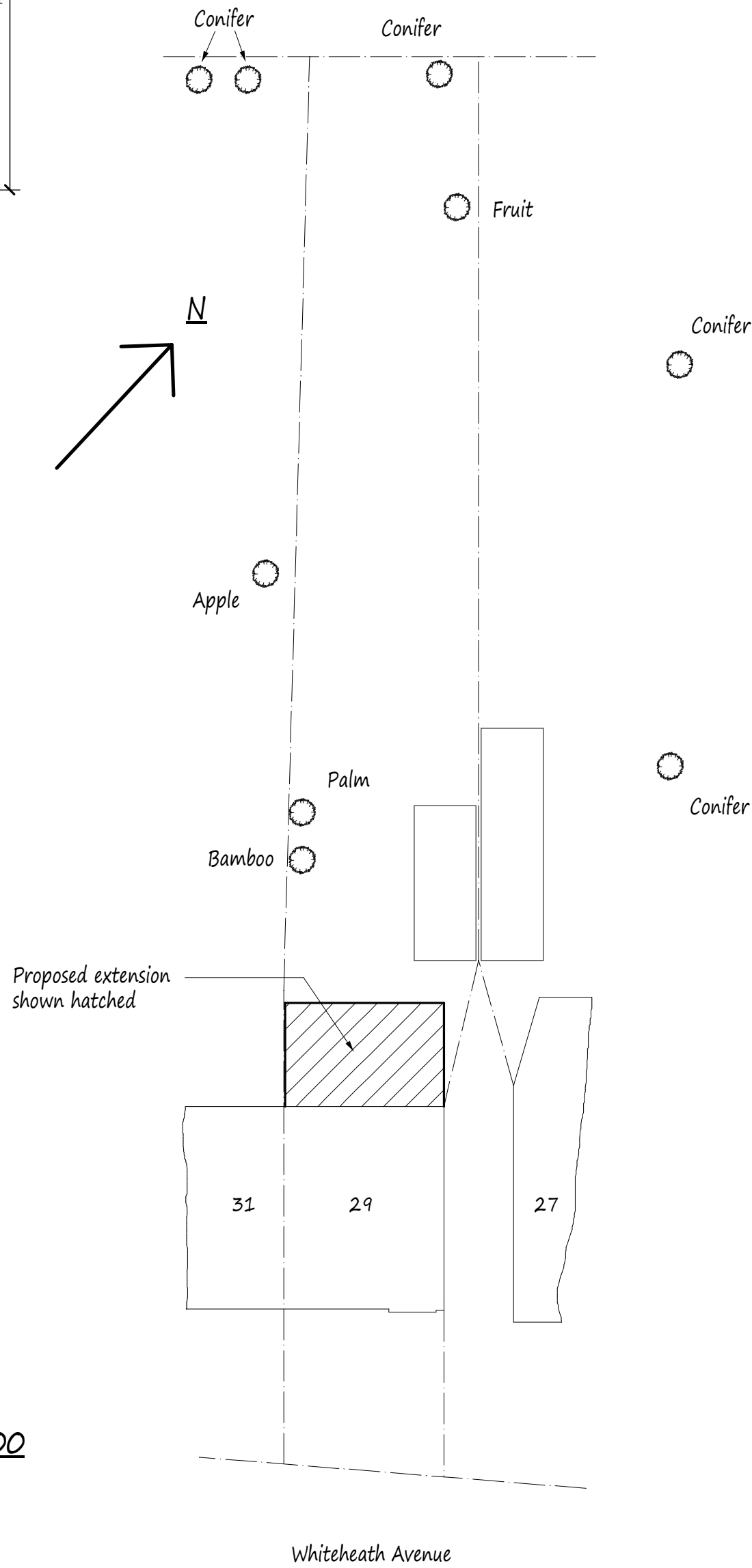
New WC to have mechanical ventilation to open air, min 30l/s with 15 minute over run.

New Utility Room to have mechanical ventilation to open air, min 30l/s.

New Kitchen to have mechanical ventilation to open air, min 60l/s or 30l/s if incorporated within a cooker hood.

Surface Water
Rainwater from new roof to be taken to soakaway, min 1.0m cubed for every 16.5m² of roof to be drained and 5m away from any building.

Eccentrically position new side flank wall on foundation as to not encroach onto neighbours property.



Site Plan scale 1:200

NOTES:
All dimensions must be checked on site and not scaled from this drawing.

- All dimensions are in millimetres.
- Ventilation to be 1/20 of floor area (min).
- Lintels to have minimum end bearings of 150mm.
- Walls: 103mm face brickwork externally, 100mm cavity filled with drytherm 34 insulation, minimum 100mm celcon solar blockwork or similar approved, and plastered to finish. External render to be applied in 2 coats with a suitable waterproof additive.
- Cavity walls to have stainless steel ties @ 450mm centres and staggered 900mm horizontally. DPC's to be provided up sides and over heads of new external windows and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
- If proposed extension covers air bricks then air brick to be removed and 100mm diameter PVC pipe provided from existing to new air brick in external wall.
- New habitable rooms to have background ventilation of at least 8000mm² i.e. Trickle vent or air brick.
- New steel beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
- New stud partitions to be constructed of 100mm x 50mm timbers @ 400mm centres with horizontal noggins. Infill with rockwool mineral wool quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres.
- New structural timber to be SC3 grade and tanalised.
- New windows and doors to be double glazed and achieve a U-Value of 1.6w/m²K i.e. 16mm spacer with low E glass to inner pane. Glazing to doors and side lights to be toughened.
- Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm peashingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. New manholes to be constructed in 215mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty cover. (If applicable)
- Waste pipe sizes: Sink - 38mm diameter, Bath - 38mm diameter, Shower - 38mm diameter, Wash hand basin - 32mm diameter. All with 75mm deep seal traps. All plumbing to be to BS 5572:1978.
- 75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
- All electrical works to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a self certification scheme authorised by the Secretary of State. (BRE, BSIELECSA, NAPIT or NICEIC)
- If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certificated radiators to have thermostatic valves.

A	Jan 2020	Rev'd application
Date		Revisions

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Client
Mr & Mrs Owen

Job Title

29 Whiteheath Avenue
Ruislip
Middlesex

Drawing Title

Proposed Single Storey Rear
Extension.

Scale
1:50 100 200

Date
January 2018

Drawn by
MDP

Drg No.
4008/01A