

GENERAL

All works shall be carried out strictly in accordance with current British Standards and Codes of Practice. All specialist named products shall be fitted in strict accordance with the manufacturer's recommendations. Contractor to check all dimensions and conditions prior to work on site. All excavations to be carried out in accordance with BS 5931:1981 and BS8004:1986. All discarded materials to be carted away from site. All new formation levels below any new floors or external pavements to be free of top soil, vegetable matter or other organic material.

DEMOLITION, etc

Allow for all temporary propping and supports as req'd to minimise risk and comply with all HSE guidelines to ensure loads are carefully supported and transmitted safely to the ground. Remove all walls, doors, windows etc. where shown dotted and include for all works req'd for making good. Making good is deemed to include all works to walls, floors and ceilings following demolition of abovementioned items.

NEW EXTERNAL WALL FOUNDATIONS (EXTENSION)

Exterior wall foundations to be 650 x 250mm concrete strip with reinforcement, with a min. depth of 1000mm to formation level from adjacent ground level, as required by the Local Authority to suit ground conditions. Foundations to be taken down to a level where they are not affected by tree roots. Foundations to be taken down to invert of drains where within 1000mm. All foundations to be reinforced in base with 1 no layer 8mm reinforcement ensuring min 50mm concrete cover. All joints in reinforcement to be lapped by 350mm and wire tied. Any steps in foundations level to have minimum 300mm overlap and depth.

CEILING STRENGTHENING WHERE OVERHEAD H-FRAME HOISTS INSTALLED

Existing structural ceilings in areas where H-frame hoists installations are shown to be installed are to be fully exposed and inspected prior to installation, and strengthened to suit manufacturers requirements for loading etc.. All exposed ceilings to be re-boarded upon completion using 12.5mm plasterboard & skim, plus 2 no. coats undercoat / 2 no. coats emulsion. Make good to all adjacent disturbed surfaces.

EXTRACT VENTILATION

ALL sanitary areas e.g. bathrooms, shower rooms and WC etc. to be fitted with mechanical extract ventilation to give min. extract rate of 15 litres/second with 15 minute over run linked to light switch with separate fused spur fitted above doors. Kitchens and Utility Areas to each be fitted with mechanical extract ventilation to give min. extract rate of 30 litres/second both fitted with separate spur switch in positions to be agreed with the client prior to fitting.

Remove exiting window together with lintel above opening. Widen and adapt structural opening to suit new external full height glazed french doors and sdie screens. Fix new steel beam above widened opening to structural engineers details. Make good to all disturbed surfaces. Fix new glazed doors and screens described elsewhere.

Provide and install H frame hoist system secured to existing floor joists above in accordance with specialist details.

Remove existing door and adjust frame to allow door swing in alternate direction as illustrated. Fix new door to match existing.

Existing external door to Utility Room to remain undisturbed and to be suitably protected during the building works.

From new full height door opening (up to ceiling level). Fix suitable treated softwood removable frame above standard door height (provisionally 2100mm from finished floor level) to suit future hoist track when removed. Formdoor opening at conventional doorway height. Fix new door and frame described elsewhere. Infill higher sections to be faced with 12.5mm plasterboard and skim to both sides.

Form new partition dividing wall between adjacent areas as desribed elsewhere.

Remove and strip out existing fitted wardrobes plus dividing wall to former bedroom and cart away. Make goor to all disturbed surfaces and re-skim entire adjoining wall to both sides

Remove existing door and frame (to former bedroom) and build up opening using timber partition frame construction to match existing wall thickness, filled with mineral wool quilt insulation. Infill wall to be receive plaster skim to finish flush with adjacent walls surfaces. Make good to all disturbances. Existing lintel undisturbed.

Adapt existing floor and install Impey or eual approved 1500x1500mm level access shower tray proforma complete with Harmer floor gully - all to specialist details.

Existing window sealed/glazed units to be removed and replaced with new units incorporating obscure glazing - style to clients choice.

Existing doors and frame and adjacent timber partition/framing to be removed to achieve full height and depth storeplace. Make good to disturbed surfaces.

Existing roof tiles specification to be assessed prior to completion of roof finishes and detailed in accordance with the manufacturers specification in terms of roofing felt and battens to suit the roof pitch.

Contractor to ensure that all existing and new roof areas are appropriatley ventilated at eaves and ridge level to provide satisfactory cross floor ventilation to all roof timbers.

Fix new double glazed casement type window to match style of existing into adjusted aperture. Make good to all disturbed surfaces.

Remove existing dormer window and adapt/widen to increased width as illustrated. Contractor to include for reformed dormer walls off new double timber rafters to roof pitch section, located directly beneath new wall in same direction. Additional dormer walls/cheeks construction as described elsewhere.

DORMER WALLS / CHEEKS CONSTRUCTION

12mm exterior grade plywood screw fixed to 30x25mm treated SW counter battens; on VCL (visqueen or similar approved); on 12mm exterior grade plywood; screw fixed to 100x50mm SW preservative treated framing. Install 100mm thickness Celotex GA4000 rigid board between timbers and internally fix Celotex GD5040 comprising of 12.5mm plasterboard bonded to 50mm insulation with integral VCL finished internally using plaster skim. (U-value 0.19W/m2K) Dormer cheeks to be provisionally finished using with vertical boarding (to match existing fixed to 30x25mm treated SW horizontal battens - all to match existing. Full specification to be confirmed on site prior to installation.

Contractor to allow for all works associated with existing roofs above and below dormer, including additional roof tiles, roofing felt and timber battens plus formation of replacement and extended min. 150mm Code 4 lead upstand to suit the adjusted dormer window, walls and roofs.

Contractor to ensure that a thorough site inspection is carried out prior to commencement, in order to establish the full scope of works needed.

Remove existing hot tub, hardlandscaped paved areas plus pergola frame. Construct new Therapy Room extension using cavity wall construction full height to eaves, insulated concrete floor slab and concrete strip foundations. Roof to be formed using traditional pitched roof construction. All building elements to specifications described elswehere.

Remove existing kitchen back door and frame plus lintel over. Widen and adapt structural opening to suit min. 1000mm clear opening width X 2100mm overall frame height composite reinforced door and frame to clients choice, including appropriate level access threshold. Fix suitable Catnic or equal approved lintel to widned/adapted opening. Make good to all disturbed surfaces. Fix new door and frame.

Remove existing french doors and frame plus lintel over. Adapt and reduce structural opening to suit min. 1000mm clear opening width X 2100mm overall frame height polyester powder coated aluminium fully glazed door and frame to clients choice, including appropriate level access threshold. Fix suitable Catnic or equal approved lintel to adapted opening. Make good to all disturbed surfaces. Fix new door and frame.

Remove existing door and frame plus cill masonry and form enlarged full height structural opening. Existing lintel to remain as existing. Make good to all disturbances including complete plaster re-skim to all wall surfaces.

Remove existing cill plus masonry wall below to both sides and form enlarged full height structural opening. Existing lintel to remain as existing. Make good to all disturbances including complete plaster re-skim to all wall surfaces.

Remove existing door and frame plus lintel over. Widen and adapt structural opening to suit 2040x926mm internal door and frame to clients choice. Fix suitable Catnic or equal approved lintel to widned/adapted opening. Make good to all disturbed surfaces. Fix new door and frame.

Remove existing doors and frames and build up openings using timber partition frame construction to match existing wall thickness, filled with mineral wool quilt insulation. Infill wall to be receive plaster skim to finish flush with adjacent walls surfaces. Make good to all disturbances. Existing lintel undisturbed.

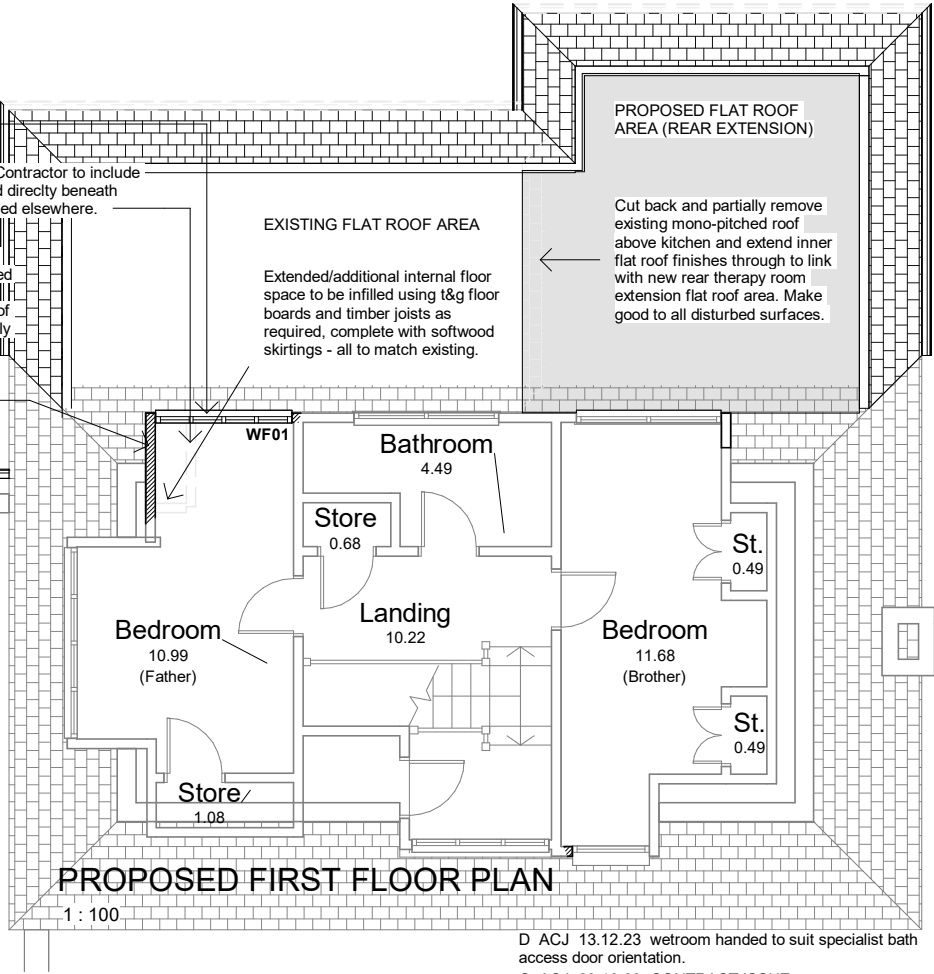
Remove existing inner porch doors and frame. Make good to all disturbed surfaces.

Strip out existing floor finishes where shown shaded, and leave free from all loose materials and debris. Raise existing porch floor level to match main house (to provide level access) using suitable sand cement levelling screed laid to manufacturers instructions.

Remove existing outer porch doors and frame. Adapt opening and fix polyester powder coated aluminium fully glazed door and equal full height glazed side screens to clients choice (min. 1000mm clear opening width) including appropriate level access threshold. Make good to all disturbed surfaces.

Existing external front entrance steps to be removed with driveway re-graded and extended to creat suitable level access into property, all as described elsewhere.

CONTRACT DRAWING



D ACJ 13.12.23 wetroom handed to suit specialist bath access door orientation.
C ACJ 23.10.23 CONTRACT ISSUE
B ACJ 21.09.23 Rear extension shown in lieu of conservatory, en-suite shower room extended/enlarged and denoted as en-suite bathroom.
A ACJ 16.6.23 TENDER ISSUE

Client
Mr Brandon Kennedy

Address
Magnolia House
Edinburgh Drive, Ickenham,
London

Drawing
Proposed Floor Layout Plans

Drawn by ACJ	Checked by TD	Date May 2023
Drawing No PS 4108 - 104D	Rev	Scale 1 : 100
		Size A3

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PROPOSED GROUND FLOOR PLAN

1 : 100