

Professional Plans

Submission to Hillingdon Council

**Construction Method Statement,
Tree Protection Measures
and
Landscaping Details**

(as permitted by Application Ref: 29771/APP/2021/4412)

Development at:

2 Manor Lodge

Church Road

Uxbridge

UB8 3ND

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1.0 INTRODUCTION

1.1 This Construction Method Statement, together with Tree Protection Measures and Landscaping Details seeks to clear condition 4 and 7 of planning permission 29771/APP/2021/4412. The location of the development is as follows:

2 Manor Lodge, Church Road, Cowley

(hereafter referred to as the “Site”), as shown on the Site Location Plan.

1.2 The description of the approved development is as follows:

‘Change of use of existing detached garage to residential use (Class C3) to provide one-bedroom, detached dwelling house with private garden and car parking’.

1.3 The wording of condition 4 and 7 is as follows:

Condition 4

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.
2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority. Such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details.

The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;
- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and.
- 2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

3. Where the arboricultural method statement recommends that the tree protection measures for a site will be monitored and supervised by an arboricultural consultant at key stages of the development, records of the site inspections / meetings shall be submitted to the Local Planning Authority.

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020)

Condition 7

No development shall commence until details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority.

These details shall include:

- i) hard and soft landscaping details
- ii) boundary treatments including pre-grown hedging and traditional timber five bar gate for the gated entrance;
- iii) vehicle parking layout and access;
- iv) cycle storage;
- v) Provision of an 'active' Electric Vehicle Charging Point.
- vi) an implementation programme;

The landscaping works shall be carried out in accordance with the approved details before any part of the development is first occupied in accordance with the agreed implementation programme. The completed scheme shall be maintained in accordance with an approved scheme of maintenance. Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies DMHB 11, DMHB 14, DMEI 1 and DMT 6 of the Hillingdon Local Plan Part 2 (2020).

2.0 PROFESSIONAL ADVISERS AND CONTRACTORS CONTACT

Client/Contractor:	Contact:
Harbans Nar	Harbans Nar
2 Manor Lodge	
Church Road	
Uxbridge	
UB8 3ND	
Design Services	Contact:
Professional Plans	TBC
Suite 312	
5 Spur Road	
Busch Corner	
Isleworth, Middlesex	
TW7 5BD	
Structural Engineer	Contact:
Professional Plans	TBC
Suite 312	
5 Spur Road	
Busch Corner	
Isleworth, Middlesex	
TW7 5BD	

3.0 TIMETABLE OF INSPECTIONS & WORKING HOURS

The following timetable is proposed thus far:

November 2024 to May 2025

Level, insulate and damp-proof the floor
Infill the garage door with a solid wall
Insulate the walls and the roof
Plasterboard and plaster
Plumbing and electrics
Decorate
Hard and soft landscaping

Site working hours are governed by the Control of Pollution Act 1974 which stipulate that construction activity should be restricted to:

Monday to Friday – 0800 to 1800
Saturday – 0900 to 1300
Sundays and Bank Holidays – No work allowed

4.0 SITE SET UP

- Prior to the commencement of any works on site, any open areas will be secured with 2m high 'Heras' fencing and will carry appropriate warning signs and be marked with red and white tape. The fencing will be checked daily and on leaving site, to ensure the site is secure and does not present any hazards to the general public.
- Prior to the commencement of any works on-site, tree protection fencing will be installed as shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.
- All loading and off-loading of materials will take place directly from St Peters Road using the existing pedestrian and vehicular gates with the established dropped kerb that is 4.7m wide.



The existing site access point off St Peters Road will be used during construction.

- The site manager will supervise delivery vehicles until they are safely away from the site and ensure that no damage is done to the highway.
- All roads and footpaths will be kept clear of mud and debris (resulting from site vehicle movement) at all times.
- In line with the Health & Safety requirements, PPE will be worn at all times by contractors and visitors. Visitors will be required to call the site manager before entering the site.
- All rubbish will be neatly stockpiled and separated into the skip provided (waste and recycling), before proper removal from site, which will take place regularly to ensure a safe working and site environment.
- Hazardous materials such as fuel will be separated from other materials and stored securely.

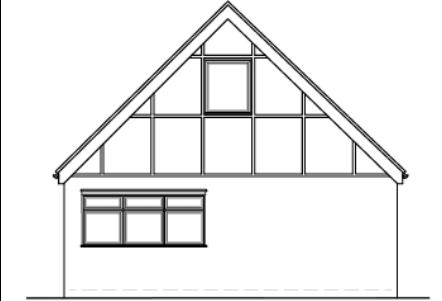
5.0 GROUNDWORKS

- Prior to the commencement of any works on site, all incoming services into the existing garage will be disconnected with temporary services created for site use prior to commencement of works.
- A structural engineer will be appointed to investigate whether the existing garage foundations, walls and roof need upgrading to take the new loads and comply with current building regulation post-conversion.
- Where structural repairs or strengthening work has been identified, a specialist structural repair company will be commissioned to complete the works as designed and specified by the structural engineer.
- The specialist structural repair company will engage with Building Control to ensure all work completed meets building regulation standards.
- All upgrading work will be finished accordance with the details shown on the external materials schedule .

6.0 EXTERNAL MATERIALS SCHEDULE - FOR PLANNING CONDITIONS (Application Ref: 29771/APP/2021/4412)

	   	<p>ROOF FINISH</p> <ol style="list-style-type: none"> Velux Roof lights GGL 2570H / centre-pivot / conservation https://roofwindows.veluxshop.co.uk/roof-windows/conservation/velux-gcl-2501h To gable ends and eves - uPVC Rosewood Fascia Boards https://www.eurocell.co.uk/fascia-and-soffits/fascia-boards/rosewood-fascia-board Clayhall Hamlet Mix Clay Roof Tiles https://heritagetiles.co.uk/index.php?p=tile-details-clayhall-hamlet-mix Rainwater goods Black uPVC half round gutters and circular downpipes https://www.selcobw.com/products/plastics-drainage/guttering/half-round-guttering
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	 	<p>BRICKWORK & RENDER</p> <ol style="list-style-type: none"> Camden Lock Blend – Handmade Brick Slip https://www.brickslip.co/product/camden-stock-handmade-brick-slip/ Monocouche through colour external render system Weberpral M Light Beige https://www.uk.weber/weberpral-m
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	 	<p>EXTERNAL DOORS & WINDOWS</p> <ol style="list-style-type: none"> Composite uPVC front door By Ideal Combi or similar, External finish Rosewood: RAL 8017 - https://idealcombi.com/doors/front-doors/ Composite uPVC windows By Ideal Combi or similar, External finish Rosewood: RAL 8017 - https://idealcombi.com/windows/traditional-windows/
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7.0 CONSTRUCTION PHASE

- A main contractor will be appointed to carry out the construction phase.
- In line with the Health and Safety Plan for the project (to be prepared by the main contractor), a Risk Assessment for these works will be carried out and reviewed by the employer and the site administrator before any construction works commence.
- Further checking will take place to ensure all underground services have been identified and are protected.
- The main contractor will engage with Building Control to carry out periodic inspections.
- All site rules as they relate to safety, vehicular movements, protection of the public and visitors, will be the responsibility of the main contractor.
- At all times, special attention will be given to maintaining the tidiness of the road and footpath outside the site, to ensure that disruption along St Peters Road and the surrounding public footpath is kept to a minimum.
- Again, no site works traffic is permitted to use Church Road entrance to the site.
- Once the works are complete, Building Control will be invited to carry out a final inspection.

8.0 DUST SUPPRESSION & POLLUTION MEASURES

No burning of any material is permitted on site for duration of build.

Specialist dust extraction vacuum and source extraction should be used to create a safe, clean and more productive working environment. Source extraction captures the dust as close to the point it is created by using a specialist vacuum cleaner and a hose connected to a purpose built guard attached to the power tool. With the right vacuum and guard it is an extremely effective way of removing dust and collecting it safely for disposal.

9.0 ENVIRONMENTAL POLICY STATEMENT

The contractor is to recognise that their activities on site have an impact on the environment and is committed to improve its environmental performance and minimise the harmful effects through careful policies and effective management. The contractor must accept and acknowledge the obligations and responsibilities under legislation and guidance dealing with environmental issues that affect or arise in consequence of its business.

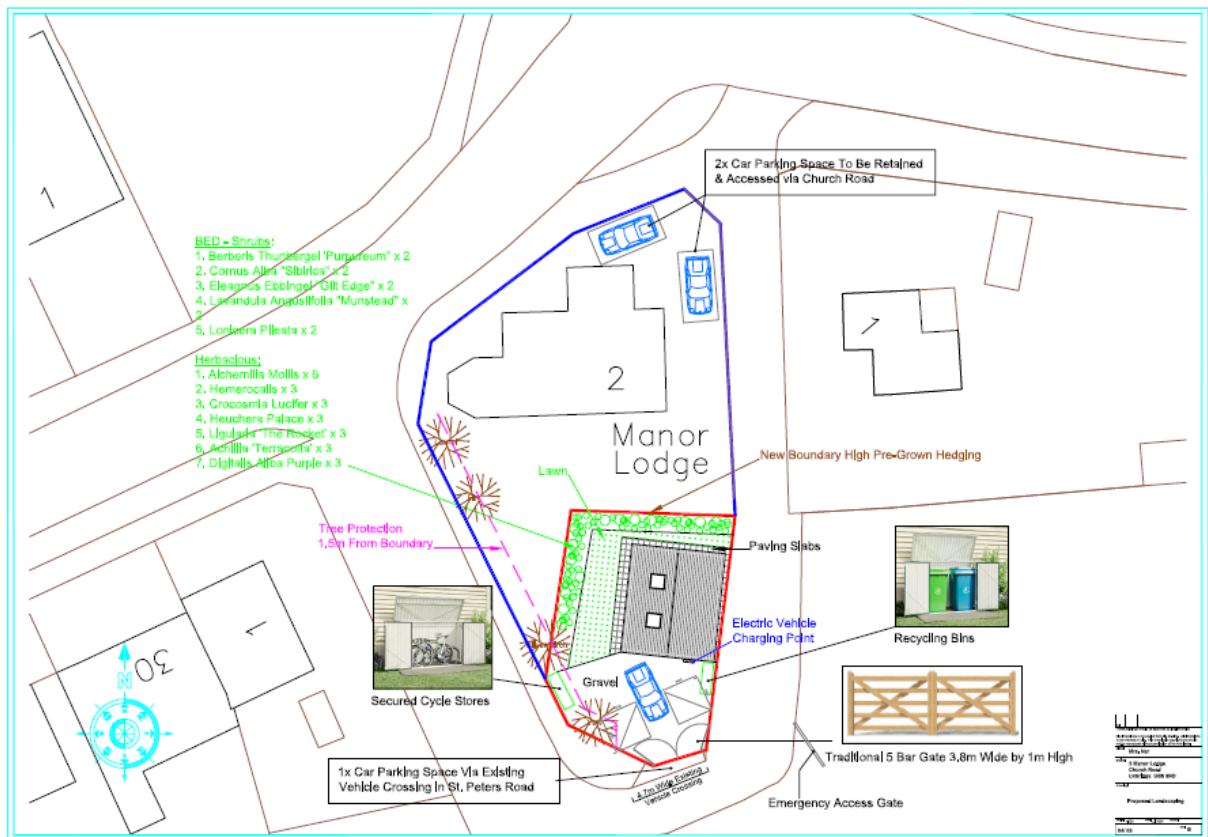
- The considerate use of land undergoing development having special regard to archaeology finds and the storage, treatment and disposal of any waste, hazardous or potentially toxic materials to avoid environmental harm.
- The use of appropriately licensed disposal facilities.

- The use and re-use of materials to minimize and curtail creating waste and, whenever practicable, using materials and products from sustainable sources.
- Control and emission of pollutants, noise and dirt, and the use of potentially harmful substances and treatments during construction activities.
- Conserve energy through sensible selection, use and management of resources, equipment, plant and transport on site.
- The use of vehicles and equipment that are well maintained, clean and are operated within legal limits, taking advantage wherever possible of engineering modifications to reduce pollution and emissions and to save unnecessary consumption of energy.
- The continued development, monitoring and investigation of systems, practices and procedures at each stage of construction to ensure the environment remain a foremost consideration.

10.0 TREE PROTECTION MEASURES

There are no tree proposed to be felled as part of this development. All the existing trees that are retained on the site are located along the opposite boundary to the existing garage. Accordingly, an arboricultural method statement is not deemed necessary given there is nil risk posed to trees.

These trees will be sectioned off with protective fencing erected prior to the commencement of any new building works as shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.



There is no existing shrubs on site to be retained.

The area opposite the boundary to the existing garage site that is protected by tree protection will not be subjected to the following works during the project –

- There shall be no changes in ground levels;
- No materials or plant shall be stored;
- No buildings or temporary buildings shall be erected or stationed following demolition of the existing property;
- No materials or waste shall be burnt; and
- No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

Tree Protective Fencing

Tree Protective Fencing should be from weld mesh panels, at least 2m high, securely fixed, with wire or scaffold clamps, to a rigid framework. This framework should be constructed from scaffold tubes with vertical tubes, at a maximum interval of 3m and driven into the ground at least 0.6m. The structure should be well braced to resist impacts, constructed as per Figure 1 of BS5837.

Protective fencing should be erected before any clearance or construction work commences on site.

Figure 1 – default tree protection barrier specification

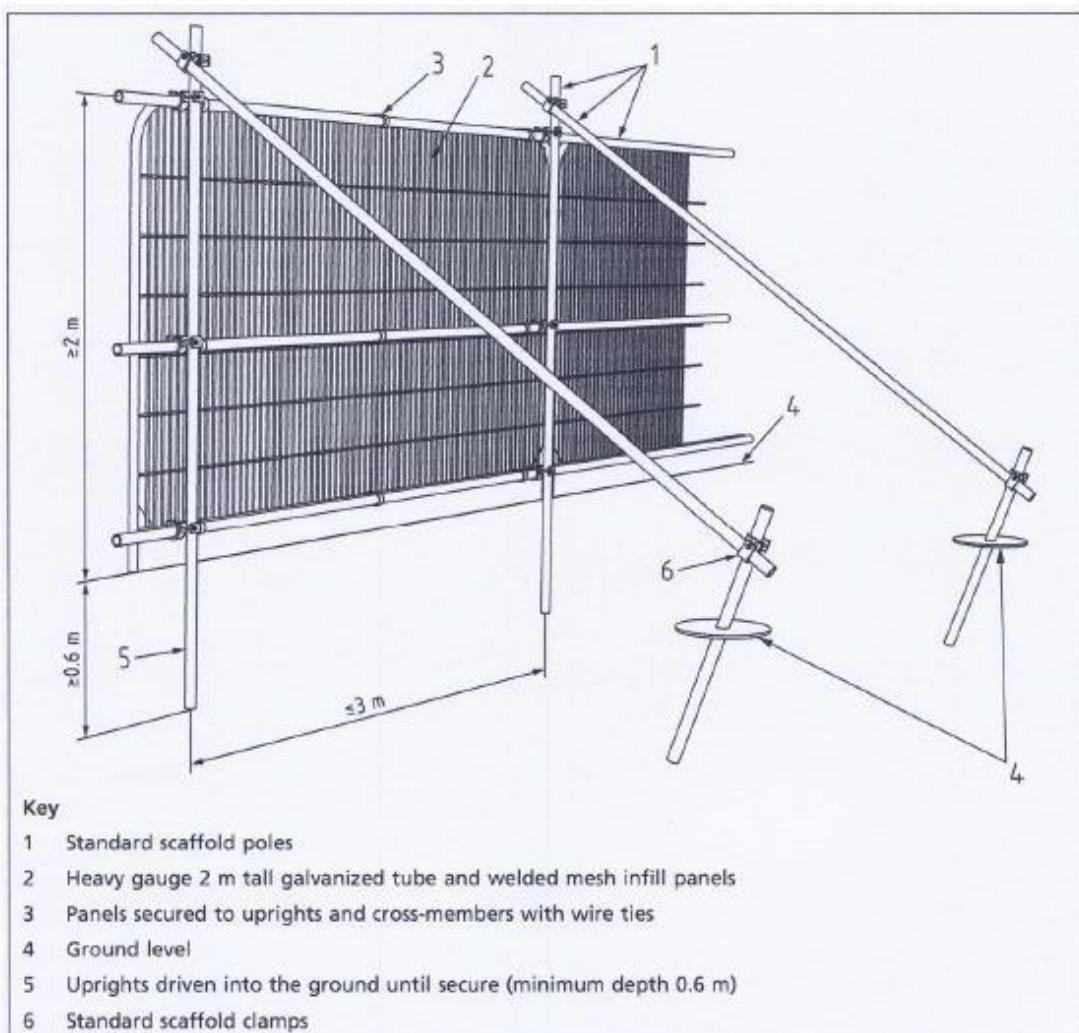
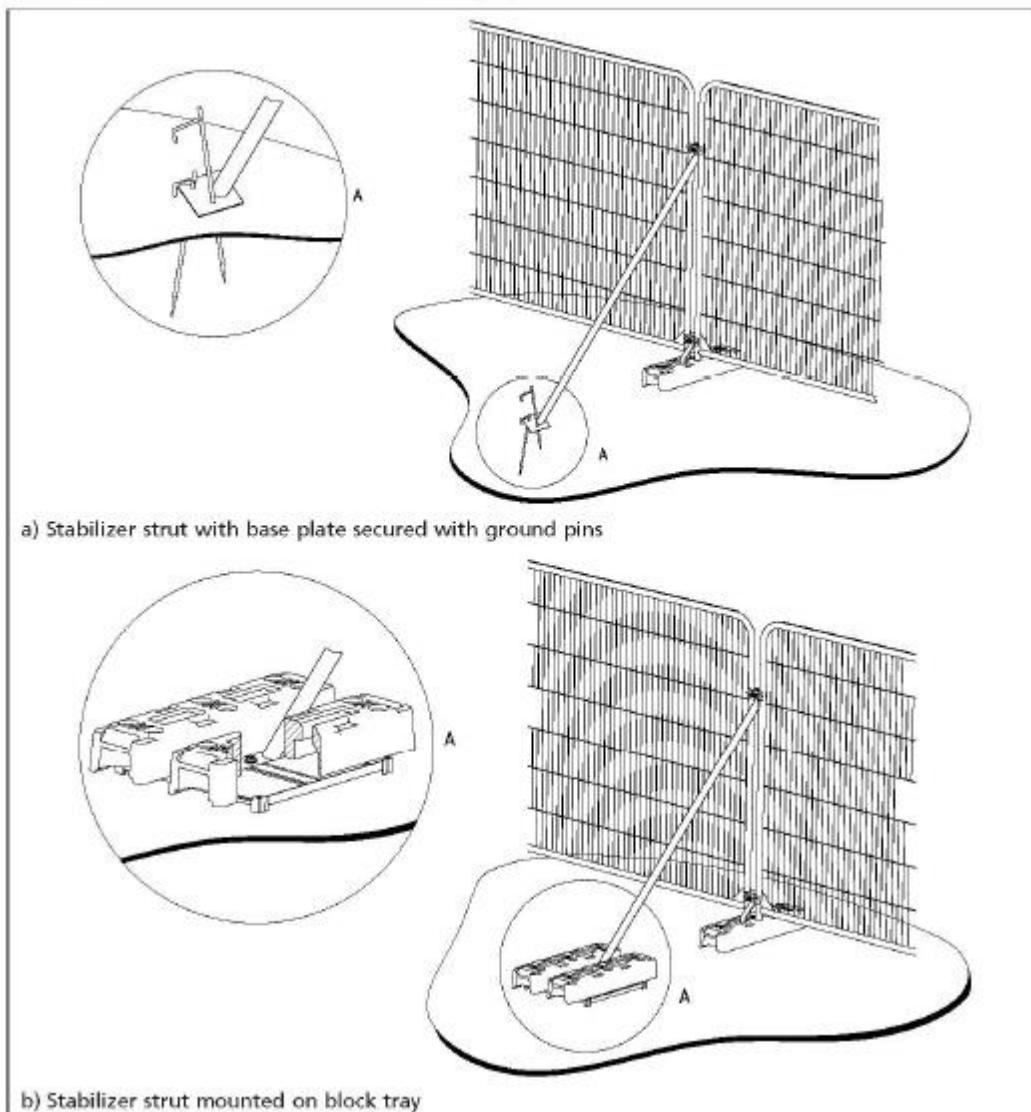


Figure 2 – above ground stabilising systems:



11.0 BOUNDARY TREATMENTS

Existing fencing

All existing close boarded timber fencing to side and rear boundaries to be retained and repaired or replaced as necessary.

Proposed boundary treatment

Pre-grown Photinia or Cherry Laurel hedging (see below) will be used as boundary treatment to divide the garden as shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1 and will be planted after construction works have completed, within the nearest appropriate planting season.



Entrance gate

The existing double garage doors (as shown below) will be replaced by a traditional timber five bar gate will be used for the gated entrance (as shown below).



Vehicle parking layout and access

The vehicle parking layout and access; cycle storage and the provision of an 'active' Electric Vehicle Charging Point are shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.

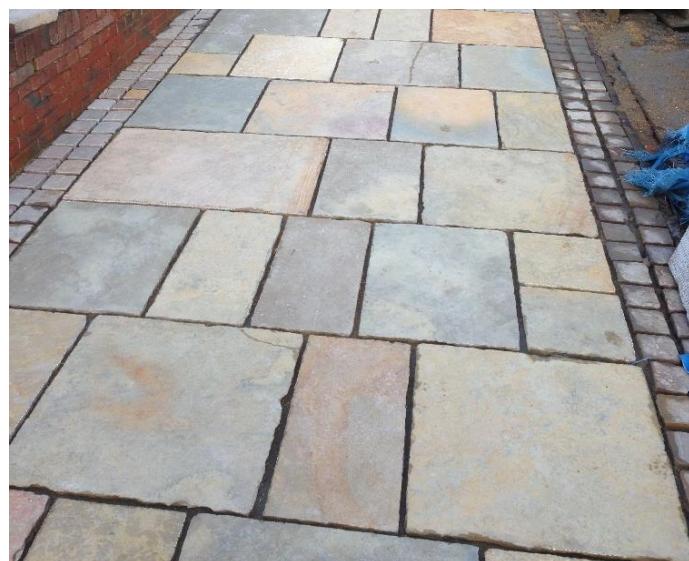
12.0 HARD AND SOFT LANDSCAPING DETAILS

The forecourt area behind the traditional timber five bar entrance gate that will provide one off street parking will be finished with a layer of Cotswold gravel laid over a 200mm permeable hardcore substrate with a geotextile membrane to the oversite. All areas to be edged in brick and laid on concrete base with sand cement pointing.



Cotswold Gravel

Access pathways to be formed with 25mm Limestone paving slabs of four sizes (900x 600, 600 x 600, 600 x 300 & 300 x 300) laid in random pattern on sand cement bed and edged each side with a single row of 100mm stone sets (similar as shown below) to provide a 1.0 m wide access pathway. Pathways laid with falls to each side.



Limestone paving

Retaining Walls

Retaining walls to be made good to the grassed terrace to reassemble new areas as shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.

Grassed Bank

Following the completion of the building works, the existing grassed bank is to be reinstated to the original levels. Grassed areas to be provided with a minimum of 100mm of good quality topsoil, graded and firmed to suitable levels. Turfs to be laid butted together with staggered joints and lightly firmed or rolled after laying.

Bed Shrubs

Soft landscaping (details below) to be planted to reassemble new areas as shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.

Bberberis Thunbergii Purpureum x 2

Cornus alba 'Sibirica' x 2

Elaeagnus Ebbingei gilt edge x 2

Lavandula Angustifolia munstead x 2

Lonicera Pileata x 2

Alchemilla Mollis x 6

Hemerocallis lilioasphodelus x 3

Crocosmia 'Lucifer' x 3

Heuchera villosa 'Palace Purple' x 3

Ligularia 'The Rocket' x 3

Achillea 'Terracotta' x 3

Digitalis purpurea 'Alba' x 3

Cycle Storage

Permanently install a lockable garden bicycle storage shed in the location shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.



<https://gardensanctuary.co.uk/products/210cm-wide-steel-lockable-garden-bike-shed-bicycle-storage-shed>

Bin Storage

Permanently install a lockable garden wheelie bin storage shed in the location shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.



<https://gardensanctuary.co.uk/products/176cm-wide-steel-lockable-garden-wheelie-bin-storage-shed>

Electric Vehicle Charging Point

Permanently install an electric vehicle charging point (By Evec or similar) in the location shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1.



<https://evec.co.uk/7-4kw-domestic-ev-charger-type-1-type-2-single-phase-untethered-vec01/>

13.0 PLANTING SHRUBS AND FEATHERED TREES

STANDARD :

The National Plant Specification

Plant Stock: Materially undamaged, sturdy, healthy and vigorous of good shape and without elongated shoots. Hardiness: Grown in a suitable environment and hardened off.

Health: Free from pests, diseases, discolouration, weeds and physiological disorders.

Root system and condition: Balanced with branch system.

Plant species: true to name and native species to be of local provenance as defined in the National Plant Specification.

PLANT HANDLING, STORAGE TRANSPORT AND PLANTING:

To CPSE 'Handling and establishing landscape plants' standard. Protect plants from frost and handle plants with care. Protect from mechanical damage and do not subject to shock, e.g. by dropping from a vehicle. Planting: Upright or well balanced with best side to front.

ORNAMENTAL SHRUBS/ HERBACEOUS PLANTS:

As shown on the proposed landscaping plan (ref: 04_06_B) attached as Appendix 1. Excavate 2 days (maximum) before planting. Pits to be 150 mm wider than roots when fully spread and 300 mm deep. Pit bottom improvement Break up to a depth of 150 mm, incorporating 25 g of approved slow release fertilizer per planting pit. Backfilling material: topsoil

CONTAINER GROWN PLANTS/ TREES :

Growing medium: With adequate nutrients for plants to thrive until permanently planted. Plants: Centred in containers, firmed and well watered. Root growth: Substantially filling containers, but not root bound, and in a condition conducive to successful transplanting. Hardiness: Grown in the open for at least two months before being supplied. Containers: With holes adequate for drainage when placed on any substrate commonly

AFTER PLANTING:

Watering immediately after planting, thoroughly and without damaging or displacing plants or soil. Lightly firm soil around plants and fork and/ or rake soil, without damaging roots, to a fine tilth with gentle cambers and no hollows.

AMENITY & LAWN GRASS TURFING:

Recommendations for Turf for General Purposes'. Subgrade crossripped min. 300mm deep at 300mm/cs. Remove stones and debris exceeding 50mm diameter. Cultivate existing topsoil. Additional top soil to be supplied and spread to make up level and to create even falls. Top soil to be cultivated to form a fine tilth prior to the laying of turf. Supply and lay selected turf. Turf should be laid in autumn or early winter when the weather is open. Turf should not be laid in very hot, waterlogged, frosted, cold or drying wind conditions. If summer turfing has to take place the turfs should be saturated on delivery and kept lightly watered during the day until temperatures fall. In the winter turf should be unrolled and laid out to prevent yellowing if it cannot be laid immediately. Turf to be supplied in rolls, not dried out or yellowed. Turf will be laid on the day of delivery. Turf rolls are to be undamaged without holes or torn or ripped edges. Turf grown on any nylon matting will not be accepted. Turf will be weed free and of a uniform size and thickness. Turf must be laid from suitably sized running boards. Walking over or standing on the turfs will not be allowed until fully established.

PROTECTION OF NATIVE TRANSPLANTS INCLUDING FEATHERED TREES:

Tubex shrub shelters colour green. Round Biopolymer and Oxo-bio polypropylene. 600m high x 144-200mm diameter supported by a single timber stake and two nylon ties. Ensure that protection methods do not impede natural movement of shrubs or restrict growth. Use larger diameter shelters for shrub species including holly and yew.

SPECIMEN TREES:

Tree pits 1500 x 1500 x 600mm in soft landscape.

Sides and base of pits cross ripped at 450mm/cs to open subgrade for rooting. Pits backfilled with loam topsoil ameliorated with 100 litres planting compost, 50 litres water retention granules and 900 gm slow-release fertiliser. All planting from boards to prevent puddling. Trees supported with underground guys.

MULCHING TREE PITS:

Form a 1m diameter bed around the base of each tree planted in grassland.

MULCHING SHRUB PLANTING BEDS:

Material: Medium grade bark mulch. - Purity: Free of pests, disease, fungus and weeds.
Preparation: Clear all weeds. Water soil thoroughly. Coverage: 75mm depth. Finished level of mulch: 30mm below adjacent grassed or paved areas.

TREATMENT OF TREE WOUNDS:

Cutting: Keep wounds as small as possible. Cut cleanly back to sound wood using sharp, clean tools. Leave branch collars. Do not cut flush with stem or trunk. Set cuts so that water will not collect on cut area. Fungicide/ Sealant: Do not apply unless instructed.