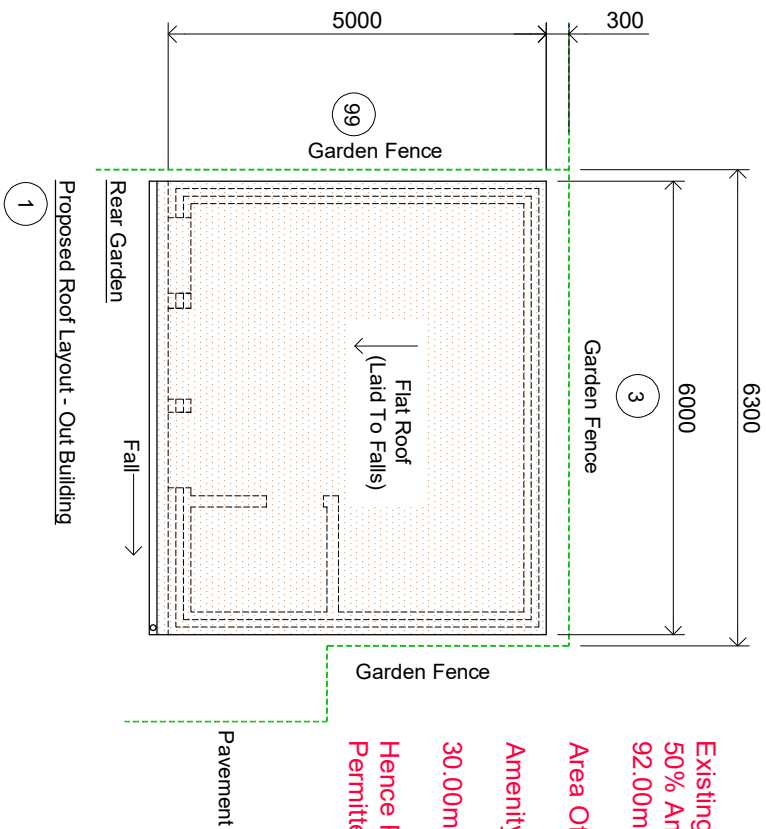


All New Facing
 Brickwork / Render, Flat Roof
 To Match Existing Dwelling
 Final Position Of New Doors &
 Windows To Clients Requirements
 Rain Water Guttering, Eaves &
 Foundations Not
 To Encroach Neighbours
 Property
**Out Building: Not To Be Used
 For Habitable Purposes**
 All Setting Out Of Works By Principal
 Builder & We undertake No
 Responsibilities Of Any Matters
 Arising From The Above
 (Land Scapping To Suit
 Natural Ground Profile)
**Final Position &
 Size Of Proposed
 Washroom To Clients
 Requirements**
 With Obscure Glass
 Window Pane
 Non Opening
 All Drawings Created
 Under The Instructions
 Of The Home Owner & Or
 Principal Builder

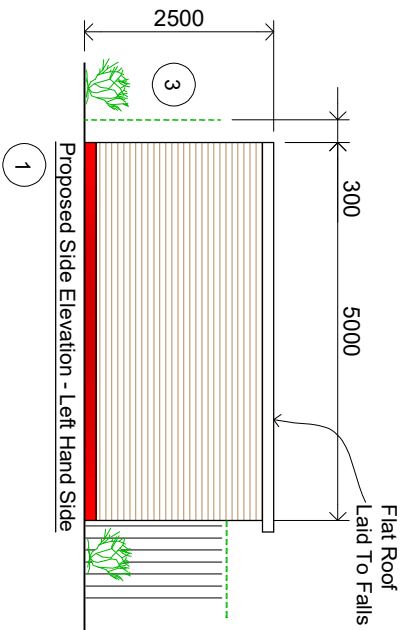
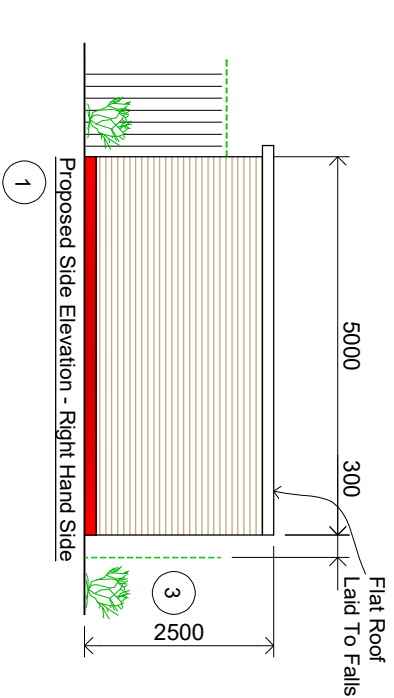
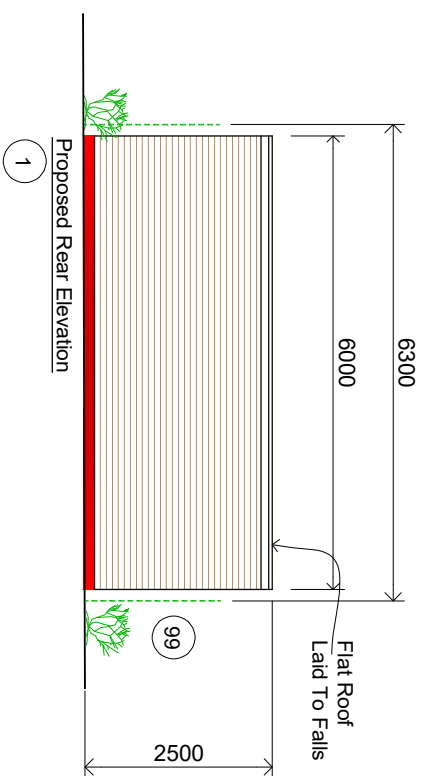
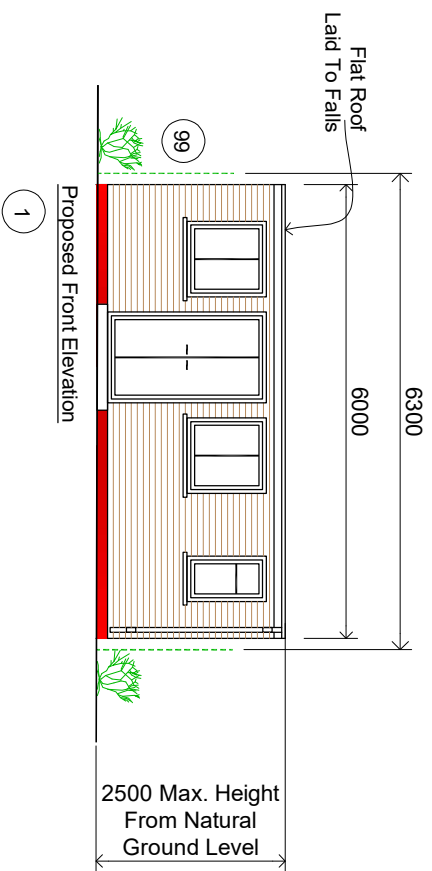


Existing Amenity Space : 184.00m²
50% Amenity Space Required After Proposal : 92.00m²
Area Of Proposed Outbuilding: 30.00m²
Amenity Space After Proposal: 62.00m²
30.00m² < 92.00m²
Hence Proposal Falls Within Permitted Development Rights

<p>CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS</p> <p>DO NOT SCALE FROM THIS DRAWING</p> <p>RS ATTRA COPYRIGHT</p>	<p>NOTES:</p> <ol style="list-style-type: none"> 1. Do not scale this drawing 2. All dimensions to be verified on site and any discrepancy reported to the client 3. This drawing to be read in conjunction with all relevant drawings <p>Prior To Commencement Of Any Works, Agree With Adjoining Neighbours</p> <p>Client/Builder To Obtain All Planning Permission Approvals From The Relevant Authority. Commencement Of Building Works Prior To The Planning & Building Control Approvals</p> <p>Is To Client/Builders Own Risk</p> <p>Client/Builder To Liaise With Local Water Board For Any New Works On Or Within The Public Sewer Or Drain Runs And Obtain Approval From The Local Authority Prior To Commencement Of Any Works</p>
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Proposed Ground Floor Layout - Out Building 1

Note: Existing Carport To be Completely Demolished With Disused Temporary Timber Garden Structures & Shed



Out Building:

REV	AMENDMENT	DATE	CHNO
A	Planning Issue	03.01.26	RS



CLIENT			
Khafeh O. Anvari			
PROJECT			
1 St. Luke Close Uxbridge - Middlesex UB8 3SN			
DRAWING TITLE			
Proposed Outbuilding Floor Layouts & Elevations Sheet 1			
SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1 1:100 @ A3	RS	RS	03.01.26
DRAWING NUMBER		REVISION	
2025 - 157 - 01		A	