

Public Notices

Planning

LONDON BOROUGH OF EALING

TOWN AND COUNTRY PLANNING ACT 1990  
THE COUNCIL OF THE LONDON BOROUGH OF EALING hereby gives notice that they propose to make an Order "the London Borough of Ealing (Stopping Up of Highways) (No.1) Order 2023" under section 247 of the above Act to authorise the stopping up of the following areas of highway which are shown zebra hatched on the stopping up order plan: -

1. Osborne Road south to north arm, the west side of this highway between its backline and a point 1.5 metres east of that backline extending from a point 3 metres north of the northern kerb-line of the east to west arm of Osborne Road to its northern extremity.
2. An irregular area of Osborne Road south to north arm lying between its northern extremity and a point 10.7 metres west of the western kerb-line of that highway with a maximum width of 5.7 metres.
3. The footpath on the western side Osborne Road south to north arm lying approximately 26.5 metres north of the northern kerb-line of the east to west arm of Osborne Road which has a width of 1.9 metres and a length of 24 metres.
4. An irregular area of alleyway and footway lying to the east and north of Jerome Tower north of the northern kerb-line of the east to west arm of Osborne Road and has a width of 3.9 metres and extends for an approximate distance of 55.5 metres and including a rectangular area lying to the north of Jerome Tower of 8.4 metres in width and a maximum length of 14.6 metres.
5. Various areas to the south, east and west of Jerome Tower north of the northern kerb-line of the east to west arm of Osborne Road that has a length of approximately 56 metres and widths varying from 3.6 metres to approximately 10 metres.

IF THE ORDER IS MADE, the stopping up will be authorised only in order to carry out the development described in the Schedule to this notice in accordance with the planning permission granted on 24th December 2021 to Barton Willmors as agents for Acton Gardens LLP under reference 215892REM.

COPIES OF THE DRAFT ORDER AND RELEVANT PLAN MAY BE INSPECTED at all reasonable hours during the period of 28 days commencing on the 16 August 2023 at the offices of Ealing Council Customer Services Reception, Perceval House, 14-16 Uxbridge Road W5 2HL between 9.00am and 4.45pm on Monday to Friday or by e-mail to [trafficnotices@ealing.gov.uk](mailto:trafficnotices@ealing.gov.uk) and may be obtained free of charge from the London Borough of Ealing (quoting reference 215892REM) by e-mail to [trafficnotices@ealing.gov.uk](mailto:trafficnotices@ealing.gov.uk).

ANY PERSON MAY OBJECT to the making of the proposed order, within the period of 28 days commencing on the 16th August 2023 and ending on the 13th September 2023, by notice to the London Borough of Ealing quoting the above reference sent by e-mail to [trafficnotices@ealing.gov.uk](mailto:trafficnotices@ealing.gov.uk) or posted to the Highways Section, Perceval House, 14-16 Uxbridge Road W5 2HL.

In preparing an objection it should be borne in mind that the substance of it may be imparted to other persons who may be affected by it and that those persons may wish to communicate with the objector about it.

Dated 16th August 2023  
Tony Singh  
Chief Highways Engineer  
(The officer appointed for this purpose)

THE SCHEDULE

Remaining Area Of Acton Gardens Master Plan (South Acton Estate) Acton W3 8TQ  
Reserved matters application for Phases 9.3, 9.5 and 9.6 of the Remaining Acton Gardens Masterplan pursuant to conditions 7 (Reserved Matters) and 8 (Reserved Matters Details) of the Hybrid Outline Planning Permission Ref: 182579OUT (dated 24/12/2018) for the continued regeneration of the South Acton Estate. Application seeks approval for Means of Access, Appearance, Landscaping, Layout and Scale in relation to the construction of a new buildings varying in height from 3 to 9 storeys comprising 215 residential units including the retention and refurbishment of 8 no. terraced dwellings within Phase 9.3; with associated reconfiguration of the Jerome Tower Allotments; amenity space; refuse, recycling and bicycle storage; plant rooms; car parking; tree removal and public realm improvements; following the demolition of all other existing buildings. Application is accompanied by an Environmental Statement of Compliance.

LONDON BOROUGH OF HILLINGDON  
APPLICATIONS FOR PLANNING PERMISSION

CATEGORY B – Applications under the Planning (Listed Buildings and Conservation Areas) Regulations 1990

Ref: 29651/APP/2023/2230 & 29651/APP/2023/2235 213 Church Road Hayes. Proposal: Refurbishment and alterations to inside and outside of Grade II Listed detached office building to include replacement of sash windows, alterations to brickwork, front door and other fenestrations. Erection of fence. (Application for Planning Permission which would, in the opinion of the Council, affect the character or appearance and affect the setting of the Listed Building (s) in the Hayes Village Conservation Area)

Ref: 24561/APP/2023/2156 St Margarets Church Windsor Street. Proposal: Restoration of derelict outbuilding with minor alterations to fenestrations (Application for Planning Permission which would, in the opinion of the Council, affect the character or appearance and affect the setting of the Listed Building (s) in Old Uxbridge Windsor St. Conservation Area)

Ref: 4726/APP/2023/2218 Tudor Lodge Hotel, 50 Field End Road. Proposal: Alteration to car parking layout, resurfacing and expansion of hardstanding. Installation of a sunken paving area with pergola and a standalone outbuilding for WC and store. Installation of a Staff cycle shelter. Erection of a boundary fence & planting against Field End Rd. Various landscape planting and paving to extend pergola sitting area. (Application for Planning Permission which would, in the opinion of the Council, affect the setting of the Listed Building (s) in the)

Ref: 14199/APP/2023/2231 16 Rodney Gardens Eastcote Pinner. Proposal: Erection of a single storey extension to side and rear with rear patio. (Application for Planning Permission which would, in the opinion of the Council, affect the character or appearance of Eastcote Park Estate Conservation Area)

Ref: 28022/APP/2023/2240 31 Swakeleys Drive Ickenham. Proposal: Variation of Condition 2 (Approved plans) of planning permission ref 28022/APP/2022/2511 dated 05/10/2022 (Erection of two storey side and rear extensions, part single storey rear extension, single storey front extension and demolition of existing garage) to replace existing pebble dash on side and rear external wall with smooth finished walls painted white (Application for Planning Permission which would, in the opinion of the Council, affect the character or appearance of Ickenham Village Conservation Area)

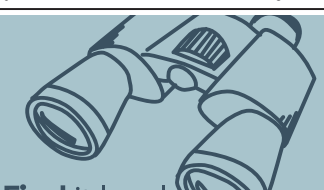
Ref: 46463/APP/2023/2279 Willowtree Marina West Quay Drive. Proposal: Conversion of the first floor and loft space to create 3 x 2 bed and 1 x 1 bed flats with ground floor extension for relocation of existing Chandlery. The proposed development does not accord with the provisions of the development plan in force in the area in which the land to which the application relates is situated.

Ref: 20568/APP/2023/2178 16 Victoria Road Uxbridge. Proposal: Replacement glass panel and feature lighting to building entrance. Replacement cladding to building frontage, installation of bicycle store for 20 cycles, 3 new EV chargers in the car park and retrospective permission for 4 existing EV chargers in the car park. (Application for Planning Permission which would, in the opinion of the Council, affect the character or appearance of Rockingham Bridge UX Conservation Area).

Copies of the applications and accompanying plans are available to view online at [www.hillingdon.gov.uk](http://www.hillingdon.gov.uk). Any representations on the applications should be submitted in writing to Planning Services, London Borough of Hillingdon, Civic Centre, Uxbridge, Middlesex, UB8 1UW, quoting the relevant reference number or online at [www.hillingdon.gov.uk](http://www.hillingdon.gov.uk) or by email to [applicationsprocessingteam@hillingdon.gov.uk](mailto:applicationsprocessingteam@hillingdon.gov.uk). Representations should be made by 6th September 2023 (21 days) for applications within CATEGORY A and CATEGORY B; Written or telephone enquiries may also be made to Planning Services at the above address (Tel: 01895 250230).

JULIA JOHNSON,  
Director of Planning,  
Regeneration & Public Realm

Date: 16th August 2023



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Planning

Local Planning Applications

London Borough of Hammersmith & Fulham



PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

I give notice that applications have been made to the Council of the London Borough of Hammersmith & Fulham as follows: FOR DEVELOPMENT WHICH MAY AFFECT THE CHARACTER OR APPEARANCE OF A CONSERVATION AREA

50 Britannia Road London SW6 2JP 2023/02025/FUL Erection of an additional floor at main roof level, including the formation of a roof terrace to the front elevation.

34 Stevenage Road London SW6 6ET 2023/01994/FUL Installation of 4no air conditioning units and 1no rooflight above the main flat roof at roof level; repositioning of 2no rooflights in the front roofspace; replacement of 1no rooflight with 2no rooflights above the roof of single storey rear back addition; infilling of 1no window at ground floor level to the side elevation; demolition and re-building of the front boundary wall to include new railings on top of the boundary wall, and new metal gates to the front elevation; erection of bin and cycle stores in the front garden; alterations to the front and rear lightwells; installation of new aluminium framed triple sliding doors to replace the existing door and basement and ground floor level to the rear elevation.

St Michael's Centre Townmead Road London SW6 2BR 2023/01967/VAR Variation of Condition 2 (approved drawings) to provide minor material amendments to planning permission reference: 2022/01707/FUL dated 1st March 2023 for the "Partial demolition of the existing St Michael's Centre with retention of the majority of building facades and the erection of one, three and four storey side extensions and roof extensions (including replacement of existing roof) resulting in a four storey building with rooms in the roof, for mixed use as a flexible community facility and 9 no. self-contained residential units, with associated cycle storage and refuse storage." Amendment sought is the addition of a single external balcony area for the residential duplex unit No.07 at third floor level in the roof extension, with the installation of a 1.7 metre high translucent glazed balustrade around part of the flat roof and the replacement of 2no. windows with French doors to provide access to the proposed balcony.

153 Hurlingham Road London SW6 3NN 2023/01844/FUL Change of use of the existing building from retail warehouse (Class E) into storage use (Class B8) with associated cycle parking.

14 Edith Road London W14 9BA 2023/01991/FUL Erection of front and rear roof extensions including the formation of a hip to gable roof extension, involving an increase in the ridge height to match no. 16 Edith Road; erection of an extension to the side of the main building at lower ground, upper ground, first second and third floor levels; erection of a rear extension at third floor level, over part of the existing back addition; erection of a part single storey, part two storey extension to the side and rear elevations of the existing back addition at lower ground, upper ground, first and second floor levels; removal of existing windows to the side elevation of the existing back addition at first and second floor levels; provision of a roof terrace at upper ground floor level to the rear with privacy screen; formation of external rear garden steps at lower ground level; associated landscaping and erection of a single storey outbuilding in the rear garden.

Rear Of 109 - 111 Fulham Palace Road London W6 8JA 2023/01943/VAR Variation of condition 2 of planning permission ref: 2017/01548/FUL granted 9th July 2018 for the "Demolition of the existing building and erection of a three storey plus basement building for mixed use for one x one bedroom and two x two bedroom flats (Class C3a use), together with 70.4m<sup>2</sup> of commercial office space (Class B1a use) and associated cycle and refuse stores" as amended by application ref: 2023/01656/NMAT to read as follows: "Erection of a three storey plus basement building for mixed use for 1x one bedroom and 2x two bedroom flats (use class C3), together with commercial office space (use class E) and associated cycle and refuse stores" to allow amendments to the approved drawings to include: alterations to the front lightwells; internal panels and 1no rooflight above the roof of a studio flat to a one bedroom flat, and re-location of the allocated bin and cycle store for Flat 2 into the communal bin and cycle store at ground floor level.

Flat B First And Second Floors 179 Hammersmith Grove London W6 0NL 2023/01952/FUL Erection of a rear dormer roof extension, and erection of a rear extension at second floor level on top of the existing back addition, in connection with the creation of a self-contained maisonette at second and third floor level, bricking up an existing window, to the side elevation at first floor level.

Maisonette Second And Third Floors 15 Morningside Avenue London W14 8UJ 2023/01989/FUL Replacement of single-glazed timber sash windows to the front, rear and side elevations at second and third floor levels with double-glazed timber sash windows.

43 Elberly Street London SW6 6EU 2023/01976/FUL Erection of 3no dormer windows to replace the existing windows in the front roofspace; erection of a rear extension at second floor level over part of the existing back addition; erection of a single storey rear extension, to the side and rear of the existing back addition; excavation of the front and rear garden to form lightwells in connection with the enlargement of the existing basement; installation of 15no solar panels and 1no rooflight at main roof level; installation of 8no solar panels and 1no rooflight above the roof of second floor rear back addition; infilling of 1no window and installation of a new window to the side of rear back addition at first floor level; installation of 3no air conditioning units, 1no air source heat pump, and 1no access door to the side of the main building; alterations to the roof of ground floor back addition to include the installation of new rooflights; lower the floor level of ground floor back addition; erection of external stairs at basement and ground floor levels to the rear of the property; erection of glass balustrade at ground floor level to the rear elevation; erection of fencing in the rear garden; reinstatement of chequerboard tiled entrance.

49 Orbrain Road London SW6 7JZ 2023/02004/FUL Installation of French doors with a Juliet balcony to replace the existing dormer window in the rear roofspace.

3 Rosedew Road London W6 9ET 2023/02006/FUL Demolition of the existing ground floor rear back addition and erection of an enlarged replacement single storey rear extension; installation of a new rooflights above the roof of ground floor back addition.

63 Wandsworth Bridge Road London SW6 2TB 2023/01986/TPO Section felling to ground level of a Sycamore (Acer) Tree (T1) in the rear garden, subject to Tree Preservation Order TPO/864/78, by using rigging equipment where necessary to safely lower branch sections to the ground in a controlled manner, due to large mature tree outgrowth small terraced garden, structural damage to boundary brick wall, and potential structural damage to house and glass-roofed extension.

Flat First Floor 29 Pettley Road London W6 9SU 2023/01991/VAR Variation of conditions 2, 4 and 6 of planning permission reference: 2021/03418/FUL dated 18th January 2022 for "Erection of a rear extension at second floor level, over part of the existing back addition; removal of part of the pitched roof of the remaining existing back addition at second floor level, to form a new flat roof enclosed with a new brick pier and timber screen; installation of a new rooflight above the main flat roof at roof level; repositioning and replacement of 1no. existing rooflight with a new enlarged rooflight in the front roofspace; installation of an air source heat pump, on top of the proposed flat roof of the existing back addition at second floor level; replacement of all existing single glazed sash windows with new double glazed timber framed windows at first floor level." Amendments sought are for the roofing material of the approved rear extension at the second floor level over part of the existing back addition to be changed from slates to zinc standing seam and for the roofing material of the existing rear mansard roof (as altered by the consent) to also be changed from slates to zinc standing seam; variation of conditions 4 and 6 is to reflect revised drawing numbers which are referenced within these conditions as a result of the changes to the drawings referenced in condition 2.

73 Wandsworth Bridge Road London SW6 2TA 2023/02000/FUL Erection of a single storey rear extension, to the side and rear of the existing back addition.

252 Wandsworth Bridge Road London SW6 2UD 2023/02002/FUL Replacement of existing timber windows to the front elevation at ground floor level with new UPVC double-glazed casement windows.

22 Rowan Road London W6 7DU 2023/01876/VAR Erection of a single storey rear conservatory extension including a lantern rooflight, following the demolition of the non-original 1950's kitchen extension and storage shed; restoration of the front of the property to its original appearance in keeping with the other properties in the terrace, by replacement of the 1950's front windows with new glazed French windows configured to match the originals and seen in the majority of villas within the terrace; reinstatement of a round headed window in the blocked-up archway next to the front door, as at other villas; removal of the existing drainage pipes from the front elevation; removal of redundant brick chimney stack and installation of a rooflight and a secondary access hatch to the flat roof of the two storey side extension; internal alterations and reconfiguration to include: installation of a WC under the stairs; re-setting the kitchen in the dining room; fitting out the remaining half of the old kitchen as a utility/store room; lowering the upstairs bathroom into the third bedroom (hence the drainage pipes on the front of the house are no longer needed); and reconfiguring the tiny existing bathroom into a single guest bedroom/study; and internal alterations to include re-plumbing and re-wiring throughout the house.

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FOR DEVELOPMENT WHICH MAY AFFECT THE SETTING OR CONTEXT OF A LISTED BUILDING

3 Rosedew Road London W6 9ET 2023/02006/FUL Demolition of the existing ground floor rear back addition and erection of an enlarged replacement single storey rear extension; installation of a new rooflights above the roof of ground floor back addition.

63 Wandsworth Bridge Road London SW6 2TB 2023/01986/TPO Section felling to ground level of a Sycamore (Acer) Tree (T1) in the rear garden, subject to Tree Preservation Order TPO/864/78, by using rigging equipment where necessary to safely lower branch sections to the ground in a controlled manner, due to large mature tree outgrowth small terraced garden, structural damage to boundary brick wall, and potential structural damage to house and glass-roofed extension.

Flat First Floor 29 Pettley Road London W6 9SU 2023/01991/VAR Variation of conditions 2, 4 and 6 of planning permission reference: 2021/03418/FUL dated 18th January 2022 for "Erection of a rear extension at second floor level, over part of the existing back addition; removal of part of the pitched roof of the remaining existing back addition at second floor level, to form a new flat roof enclosed with a new brick pier and timber screen; installation of a new rooflight above the main flat roof at roof level; repositioning and replacement of 1no. existing rooflight with a new enlarged rooflight in the front roofspace; installation of an air source heat pump, on top of the proposed flat roof of the existing back addition at second floor level; replacement of all existing single glazed sash windows with new double glazed timber framed windows at first floor level." Amendments sought are for the roofing material of the approved rear extension at the second floor level over part