

Public Notices

Planning

LONDON BOROUGH OF EALING

TOWN AND COUNTRY PLANNING ACT 1990
THE COUNCIL OF THE LONDON BOROUGH OF EALING hereby gives notice that they propose to make an Order "the London Borough of Ealing (Stopping Up of Highways) (No. 8) Order 2022" under section 247 of the above Act to authorise the stopping up of the following areas of highway which are shown zebra hatched on the stopping up order plan:-

- Osborne Road south to north arm, the west side of this highway between its backline and a point 1.5 metres east of that backline extending from a point 3 metres north of the northern kerb-line of the east to west arm of Osborne Road to its northern extremity;
- An irregular area of Osborne Road south to north arm lying between the northern extremity and a point 10.7 metres west of the western kerb-line of that highway with a maximum width of 5.7 metres;
- The footpath on the western side Osborne Road south to north arm lying approximately 26.5 metres north of the northern kerb-line of the east to west arm of Osborne Road which has a width of 1.9 metres and a length of 24 metres;
- An irregular area of alleyway and footway lying to the east and north of Jerome Tower north of the northern kerb-line of the east to west arm of Osborne Road which lies north of the northern kerb-line of the east to west arm of Osborne Road and has a width of 3.9 metres and extends for an approximate distance of 55.5 metres and including a rectangular area lying to the north of Jerome Tower of 8.4 metres in width and a maximum length of 14.6 metres;
- Various areas to the south, east and west of Jerome Tower north of the northern kerb-line of the east to west arm of Osborne Road that has a length of approximately 56 metres and widths varying from 3.6 metres to approximately 10 metres.

IF THE ORDER IS MADE, the stopping up will be authorised only in order to carry out the development described in the Schedule to this notice in accordance with the planning permission granted on 24th December 2021 to Barton Willmott as agents for Acton Gardens LLP under reference 215892REM.

COPIES OF THE DRAFT ORDER AND RELEVANT PLAN MAY BE INSPECTED at all reasonable hours during the period of 28 days commencing on the 16 August 2023 at the offices of Ealing Council Customer Services Reception, Perceval House, 14-16 Uxbridge Road W5 2HL between 9:00am and 4:45pm on Monday to Friday or by e-mail to trafficnotices@ealing.gov.uk and may be obtained free of charge from the London Borough of Ealing (quoting reference 215892REM) by e-mail to trafficnotices@ealing.gov.uk

ANY PERSON MAY OBJECT to the making of the proposed order, within the period of 28 days commencing on the 16th August 2023 and ending on the 13th September 2023, by notice to the London Borough of Ealing quoting the above reference sent by e-mail to trafficnotices@ealing.gov.uk or posted to the Highways Service, Perceval House, 14-16 Uxbridge Road W5 2HL.

In preparing an objection it should be borne in mind that the substance of it may be imparted to other persons who may be affected by it and that those persons may wish to communicate with the objector about it.

Dated 16th August 2023

Tony Singh
Chief Highways Engineer
(The officer appointed for this purpose)

THE SCHEDULE

Remaining Area Of Acton Gardens Master Plan (South Acton Estate) Action W5 8TQ
Reserved matters application for Phases 9.3, 9.5 and 9.6 of the Remaining Acton Gardens Masterplan pursuant to conditions 7 (Reserved Matters) and 8 (Reserved Matters Details) of the Hybrid Outline Planning Permission Ref: 182579OUT (dated 24/12/2018) for the continued regeneration of the South Acton Estate. Application seeks approval for Means of Access, Appearance, Landscaping, Layout and Scale in relation to the construction of a new buildings varying in height from 3 to 9 storeys comprising 215 residential units including the retention and refurbishment of 8 no. terraced dwellings within Phase 9.3; with associated reconfiguration of the Jerome Tower Allotments; amenity space; refuse, recycling and bicycle storage; plant rooms; car parking; tree removal and public realm improvements; following the demolition of all other existing buildings. Application is accompanied by an Environmental Statement of Compliance.



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Planning

Local Planning Applications

London Borough of Hammersmith & Fulham



PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

I give notice that applications have been made to the Council of the London Borough of Hammersmith & Fulham as follows:

PLANNING (ALTERATION WHICH MAY AFFECT THE CHARACTER OR APPEARANCE OF A CONSERVATION AREA)

50 Britannia Road London SW6 2JP 2023/02025/FUL

Erection of an additional floor at main roof level, including the formation of a roof terrace to the front elevation.

34 Stevenage Road London SW6 6ET 2023/01994/FUL

Installation of 4no air conditioning units and 1no rooflight above the main flat roof at roof level; repositioning of 2no rooflights in the front roofspace; replacement of 1no rooflight with 2no rooflights at the rear of the single storey rear back addition; infilling of 1no window at ground floor level to the rear back addition; demolition and re-building of the rear boundary wall to include new railings on top of the boundary wall, and new metal gates to the front elevation; erection of bin and cycle stores in the front garden; alterations to the front and rear lightwells; installation of new aluminium framed triple sliding doors to replace the existing door and basement and ground floor level to the rear elevation.

St Michael's Centre Townmead Road London SW6 2SR 2023/01967/VAR

Variation of Condition 2 (approved drawings) to provide minor material amendments to the planning permission reference: 2020/1707/FUL dated 1st March 2020 for "the partial demolition of the existing St Michael's Centre with retention of the majority of building facades and the erection of one, three and four storey side extensions and roof extensions (including replacement of existing roof) resulting in a four storey building with rooms in the roof, for mixed use as a flexible community facility and 9 no. self-contained residential units, with associated cycle storage and refuse storage." Amendment sought the addition of a single external balcony area for the residential duplex unit No.07 at third floor level in the roof extension, with the installation of 0.07 metre high balcony railings to the rear of the part of the flat roof and the replacement of 2no. windows with French doors to provide access to the proposed balcony.

153 Hurlingham Road London SW6 3NN 2023/01844/FUL

Change of use of the existing building from retail warehouse (Class E) into storage use (Class B8) with associated cycle parking.

14 Edith Road London W14 9BA 2023/01901/FUL

Erection of front and rear roof extensions including the formation of a hip to gable roof extension, involving an increase in the ridge height of 1.5m, and the addition of a rear extension to the side of the main building at lower ground, upper ground, first, second and third floor levels; erection of a rear extension at third floor level, over part of the existing back addition; erection of a part single storey, part two storey extension to the side and rear elevations of the existing back addition at lower ground, upper ground, first and second floor levels; removal of existing windows to the side elevation of the existing back addition at first and second floor levels; provision of a roof terrace at upper ground floor level to the rear with privacy screen; formation of external rear garden steps at lower ground level; associated landscaping and a single storey outbuilding in the rear garden.

Re: 108 - 111 Fulham Palace Road London W6 8JA 2023/01943/VAR

Variation of condition 2 of planning permission ref: 2017/01548/FUL granted 9th July 2018 for "the demolition of the existing building and erection a three storey plus basement building for mixed use for one x one bedroom and two x two bedroom flats (Class C3 use), together with 70.4m2 of commercial office space (Class B1a use) and associated cycle and refuse stores" as amended by application ref: 2020/1704/VAR to include for the rear extension the rear plus basement building for mixed use for 1x one bedroom and 2x two bedroom flats (use class C3), together with commercial office space (use class E) and associated cycle and refuse stores' to allow amendments to the approved drawings to include: alterations to the front lightwells; internal reconfiguration of Flat 1 to change from a studio flat to a one bedroom flat, and re-location of the allocated bin and cycle store for Flat 2 into the communal bin and cycle store at ground floor level.

Flat B First And Second Floors 179 Hammersmith Grove London W14 0NN 2023/01950/FUL

Erection of a rear dormer roof extension, and erection of a rear extension at second floor level on top of the existing back addition, in connection with the creation of a self-contained maisonette at second and third floor level; bricking up an existing window, to the side elevation at first floor level.

Maisonette Second And Third Floors 15 Mornington Avenue London W14 8JU 2023/01989/FUL

Replacement of single-glazed timber sash windows to the front, rear and side elevations at second and third floor levels with double-glazed rear sash windows.

45 Ellsbury Street London SW6 6EU 2023/01976/FUL

Erection of 3no dormer windows to replace the existing windows in the front roofspace; erection of a rear extension at second floor level over part of the existing back addition; erection of a single storey rear extension, to the side and rear of the existing back addition; excavation of the front and rear garden to form lightwells in connection with the enlargement of the existing basement; installation of 15no solar panels and 1no rooflight at main roof level; infilling of 1no window at ground floor level; infilling of 1no window at second floor rear back addition; infilling of 1no window at the roof of second floor rear back addition; infilling of 1no window at the roof of the rear extension; infilling of 1no window at the roof of the rear extension at second floor level; erection of an air source heat pump, and 1no access door to the side of the main building; alterations to the roof of ground floor back addition to include the installation of new rooflights; lower the floor level of ground floor back addition; erection of external stairs at basement and ground floor levels to the rear of the property; erection of glass balustrade at ground floor level to the rear elevation; erection of furring in the rear garden; reinstatement of chequerboard tiled paving.

49 Orbain Road London SW6 7JZ 2023/02004/FUL

Installation of French doors with a Juliet balcony to replace the existing dormer window in the rear roofspace.

THE TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) ORDER 2013 NOTICES UNDER REGULATION 13

Mediaworks Building White City One Media Village Wood Lane London W12 7TG 2023/01995/FUL

I give notice to the Whitewood Media Village GP Ltd is applying to HAMMERSMITH & FULHAM COUNCIL for planning permission to carry out the following development: Installation of eight flues and a low-level balustrade at roof level of Mediaworks Building. Mediaworks Building White City One Media Village Wood Lane London W12 7TG 2023/01996/FUL

153 Hurlingham Road London SW6 3NN 2023/01844/FUL

I give notice to HAMMERSMITH & FULHAM COUNCIL for planning permission to carry out the following development: Change of use of the existing building from retail warehouse (Class E) into storage use (Class B8) with associated cycle parking.

The proposal constitutes a major development.

Anyone who wishes to make representations about these applications should do so by 6th September 2023. See below for ways of commenting on applications.

Signed: JOANNE WOODWARD

Hamersmith & Fulham Council

3 Rosebed Road London W6 9ET

2023/02006/FUL

Demolition of the existing ground floor rear back addition and erection of an enlarged replacement single storey rear extension; installation of a new rooflights above the roof of ground floor back addition.

63 Wandsworth Bridge Road London SW6 2TB 2023/01987/TPO

Sectional felling to ground level of a Sycamore (Acer) Tree (T1) in the rear garden, subject to Tree Preservation Order TPO/66/478, by using rigging equipment where necessary to safely lower branch sections to the ground in a controlled manner, due to large mature tree outgrown small terraced garden, structural damage to boundary wall and potential damage to the rear extension.

Flat First Floor 29 Petty Road London W6 8SU 2023/01991/VAR

Variation of conditions 2, 4 and 6 of planning permission reference: 2021/03417/FUL dated 18th January 2022 for "Erection of a rear extension at second floor level, over part of the existing back addition; removal of part of the pitched roof of the remaining existing building to the rear boundary wall; infilling of a new roof extension at the second floor level; erection of a new brick pier and timber screen; infilling of a new roof above the main flat roof at roof level; repositioning and replacement of 1no. existing rooflight with a new enlarged rooflight in the front roofspace; installation of an air source heat pump, on top of the proposed flat roof of the existing back addition; variation of conditions 2, 4 and 6 of planning permission reference: 2021/03417/FUL dated 18th January 2022 for "Erection of a rear extension at second floor level, over part of the existing back addition; removal of part of the pitched roof of the remaining existing building to the rear boundary wall; infilling of a new roof extension at the second floor level; 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