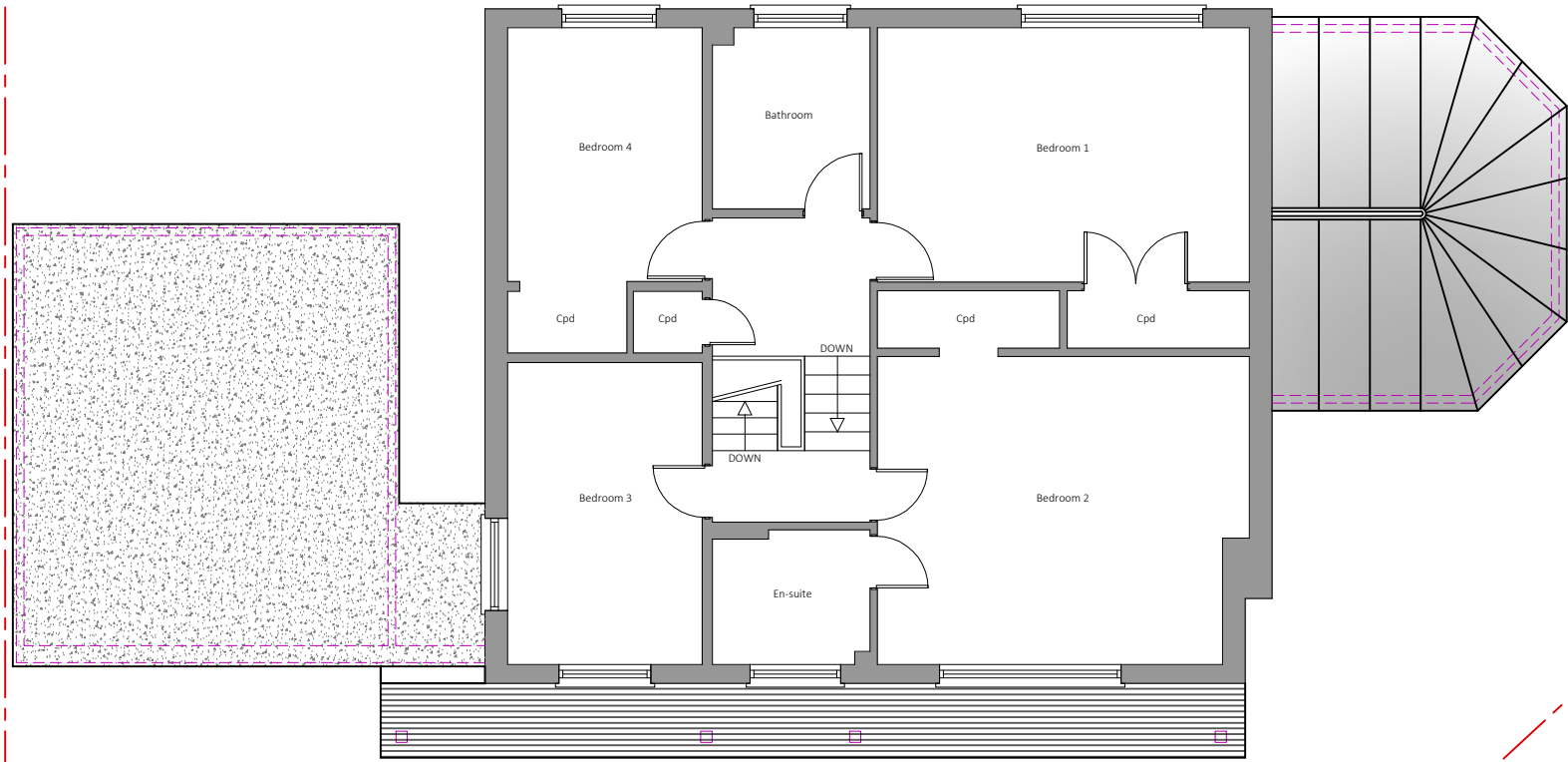


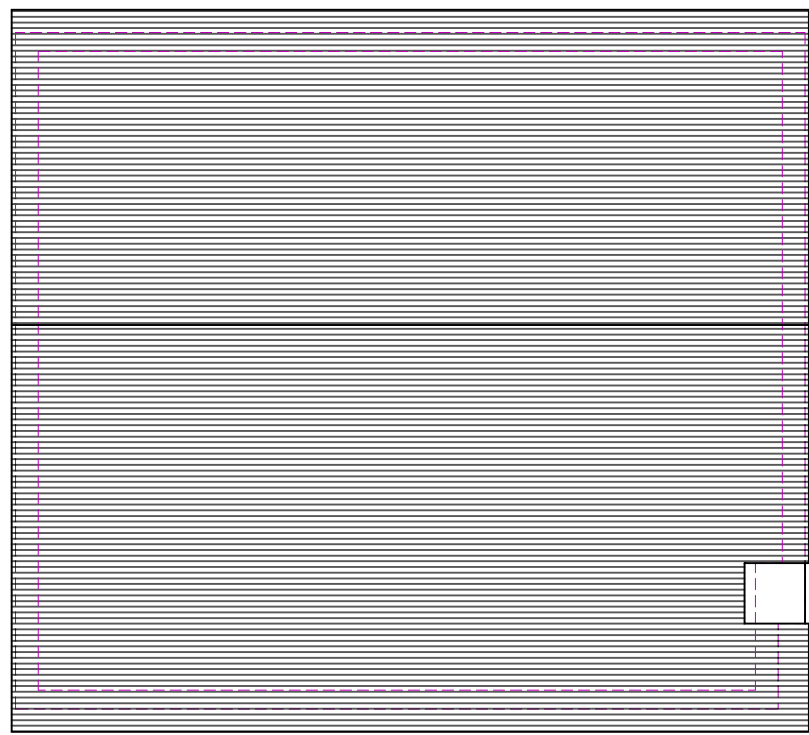
1 Existing Ground Floor Plan

Scale 1:100



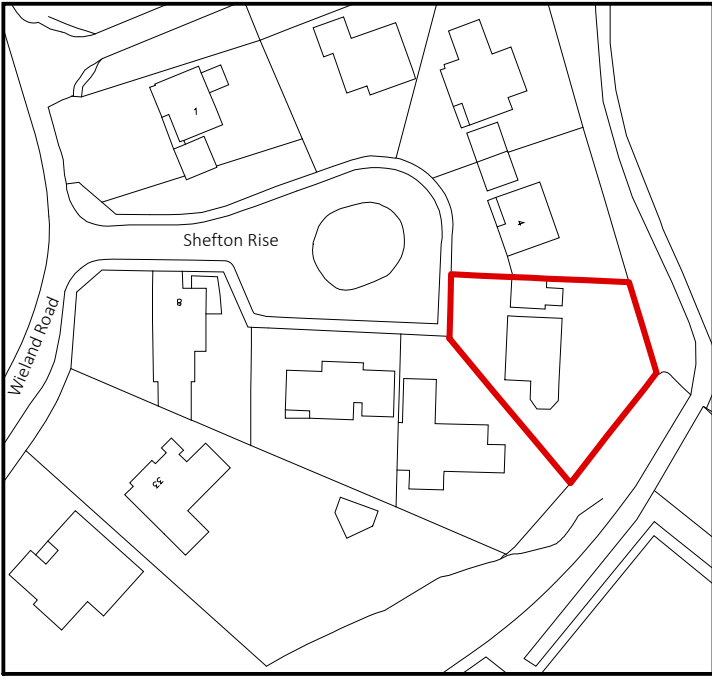
2 Existing First Floor Plan

Scale 1:100



3 Existing Roof Plan

Scale 1:100

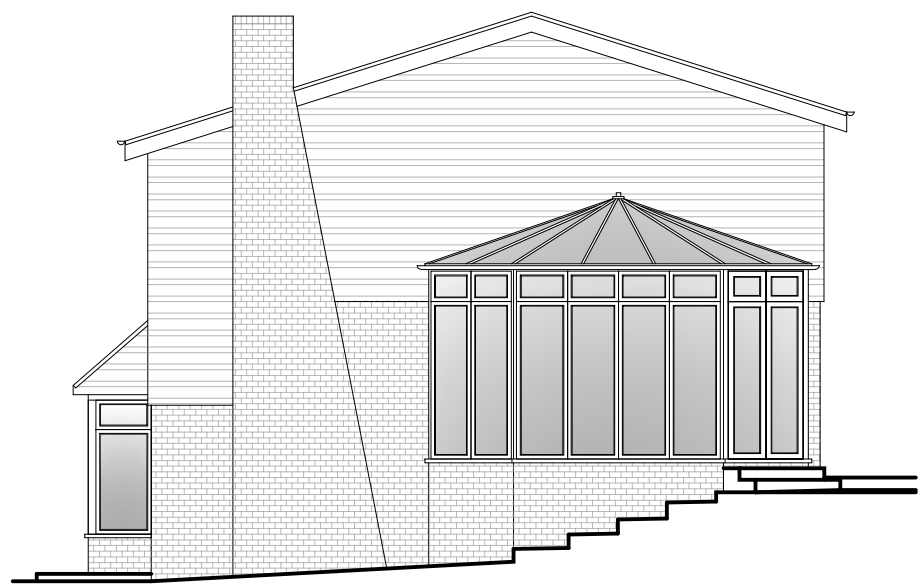


Location Plan Scale 1:1250



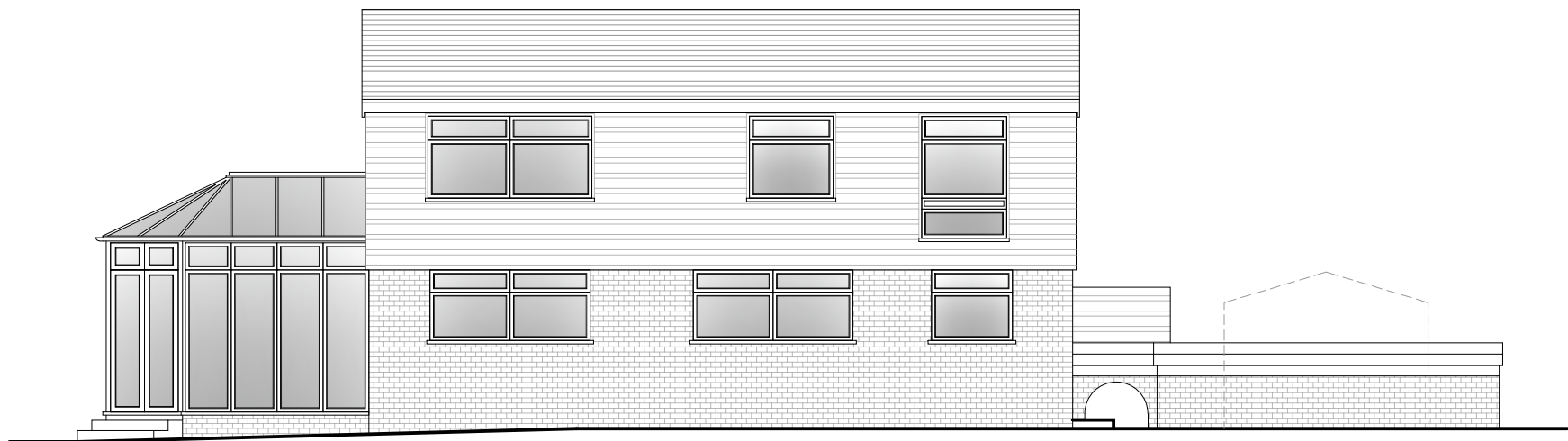
4 Existing Front Elevation

Scale 1:100



5 Existing Side Elevation

Scale 1:100



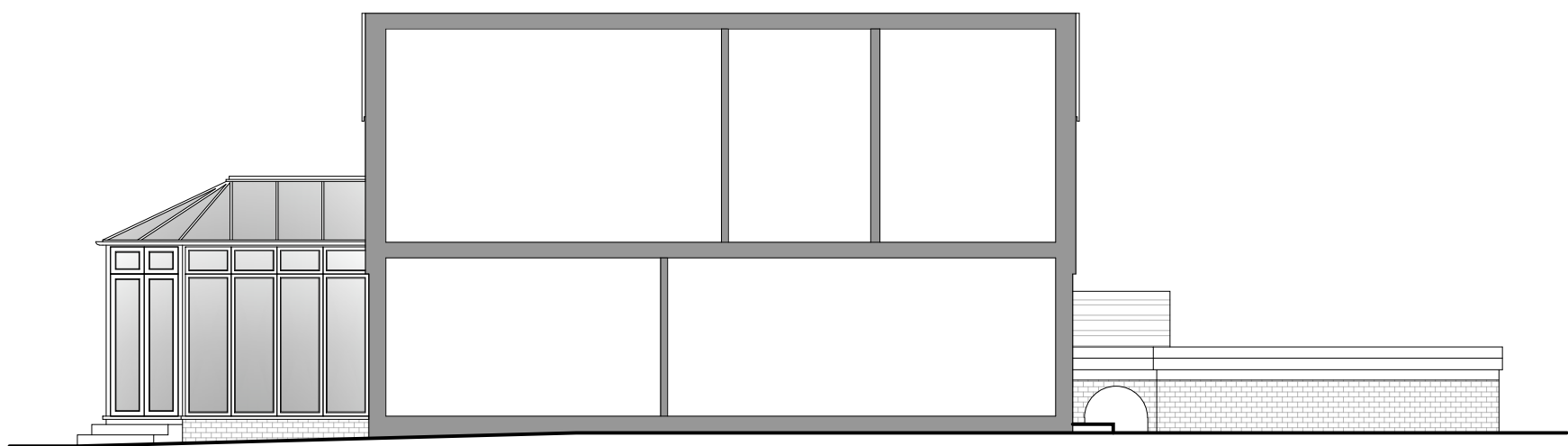
6 Existing Rear Elevation

Scale 1:100



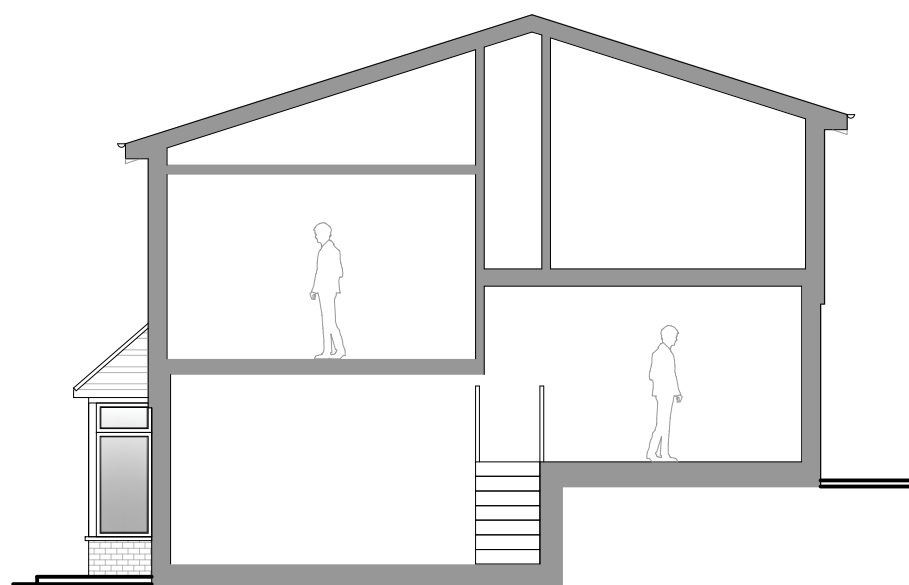
7 Existing Side Elevation

Scale 1:100



8 Existing Rear Section

Scale 1:100

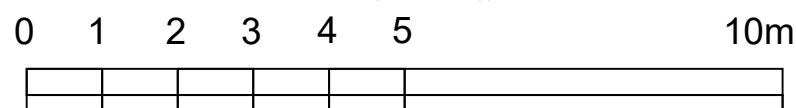


9 Existing Side Section

Scale 1:100

**PARTY WALL ACT 1996**  
OWNER/S MUST ENSURE ALL  
PARTY WALL AGREEMENTS ARE  
IN PLACE BEFORE ANY BUILDING  
WORKS ARE TO COMMENCE

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to  
commence prior to these approvals.



Legend	
Walls Removed	-----
New Walls	=====
Existing Walls to Remain	=====
Boundary Wall	=====
Bound Overlapping Walls	=====
Proposed Extensions	=====

**IMPORTANT GENERAL NOTE**  
The specification is to be read in conjunction with the plans/section details, and  
other associated structural details as may be provided.  
All work is to be carried out to the Local Authority Planning and Building Regulations  
Approval and the Code of Practice and British Standards as necessary.  
All dimensions, levels, area, position and location of structures as indicated on  
drawings are to be verified by the appointed Contractor on site prior to engaging in  
work. Any discrepancies must be reported to the Architect/Structural Engineer or  
responsible person immediately.  
The Contractor is responsible for ensuring compliance with the CDM Regulations,  
and appropriate Health & Safety on site procedures.  
The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS  
prior to engaging in the work on site.

Rev	Date	Description
1	2024-05-24	As Stated
2	2024-05-24	1st
3	2024-05-24	May-24
4	2024-05-24	NE
5	2024-05-24	AP

Planning Issue

As Stated

1st

May-24

NE

AP

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Northwood  
HA6 3RE

Existing  
Plans & Elevations

SR5-03-1001

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