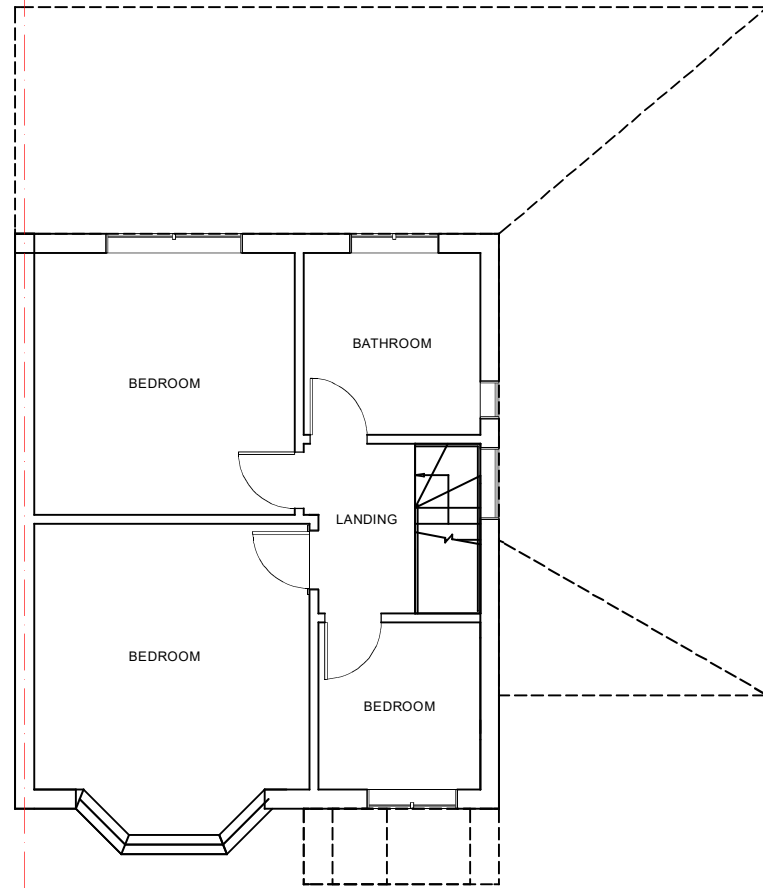
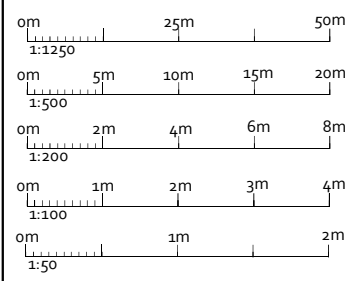


EXISTING (1:100)



EXISTING 1/F (1:100)



**EXISTING GF &  
1/F PLANS (1:100)**

AMENDMENTS	DATE:	REV.
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Dimensions, area and levels where given are only approximate and subject to site survey. All dimensions are to be checked onsite. Figured dimensions only are to be taken from this drawings. This drawing is to be read in conjunction with all relevant consultants' and /or specialists drawings / documents and any discrepancy or variations are to be notified to the designer before the affects works commences. This drawing is the intellectual property of OPS Chartered Surveyors and must not be copied, reproduced, modified or distributed without the author's consent.



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**ADDRESS:**  
32 Little Road, Uxbridge, UB3 3BT

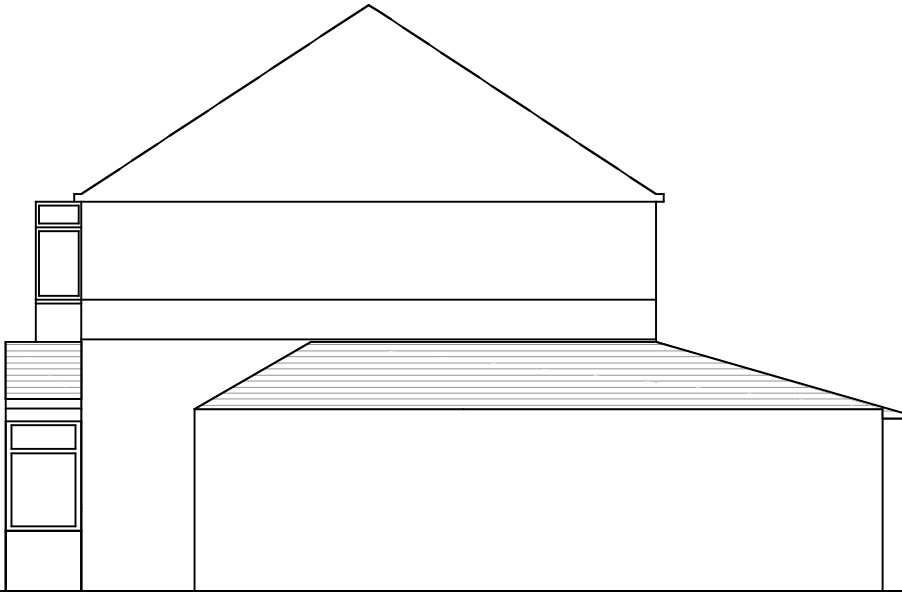
**CLIENT:**  
MR KARAN SEHDEV

**DRAWING:**  
**PLANNING**  
PROPOSAL: LOFT CONVERSION

@ISO A3 (297 x 420)			
DRAWN: SC	DRAWING NUMBER	REV.	
SCALE: AS SHOWN	2022-32LR-PP-2	1.0B	
DATE: 04/11/2022	SHEET: # 2 / 8		



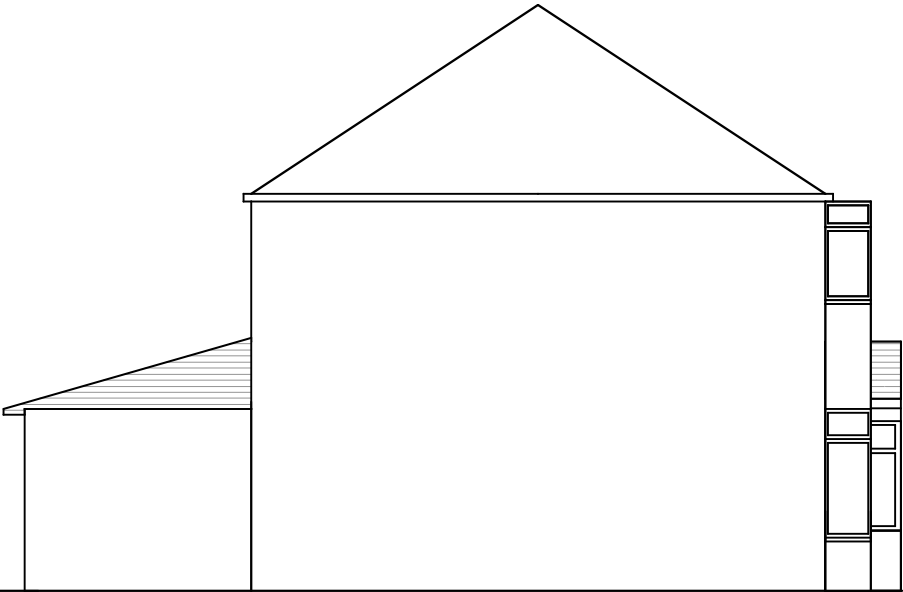
EXISTING FRONT (1:100)



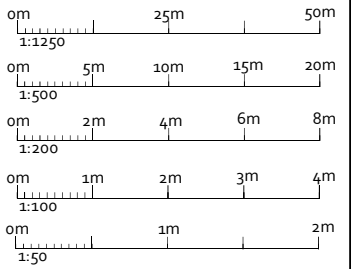
EXISTING SIDE (1:100)



EXISTING REAR (1:100)



EXISTING SIDE (1:100)



EXISTING  
ELEVATIONS  
(1:100)

AMENDMENTS	DATE:	REV.
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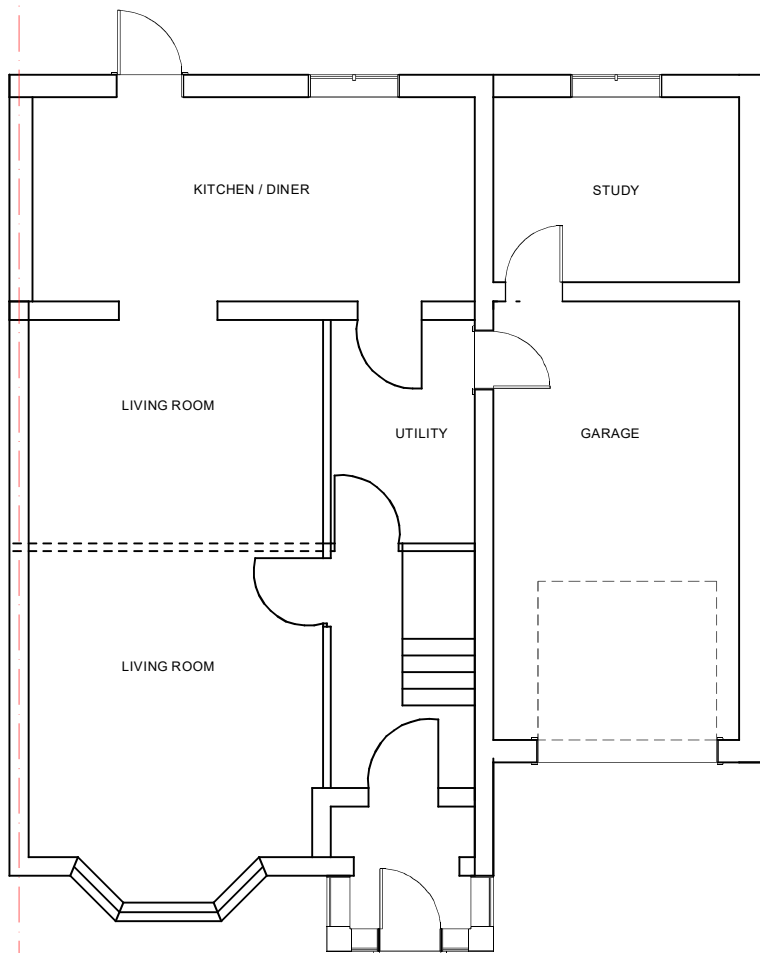


ADDRESS:  
32 Little Road, Uxbridge, UB3 3BT

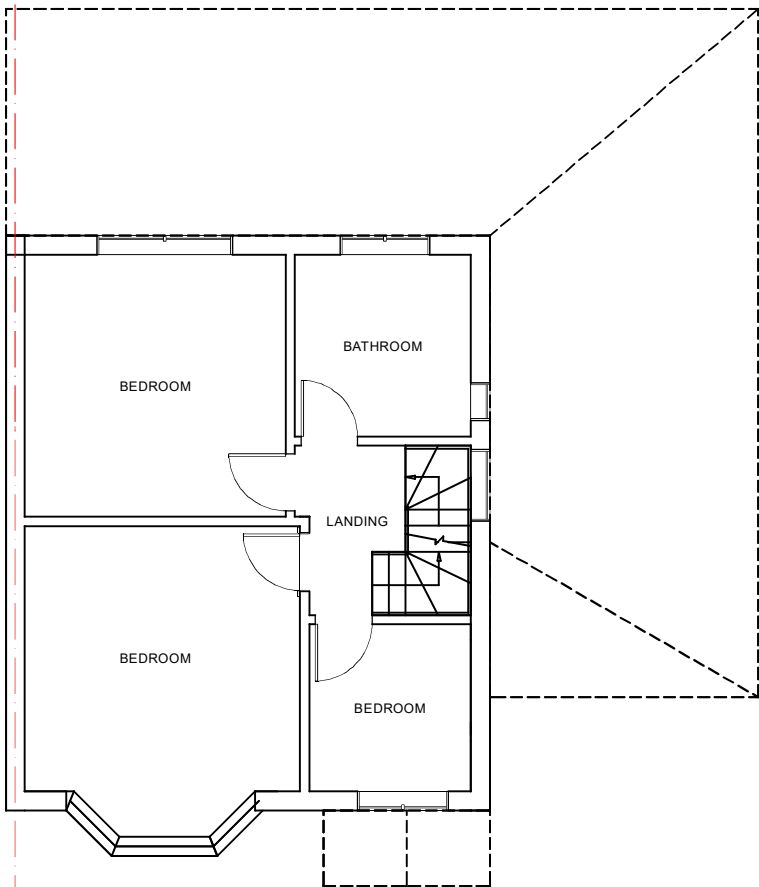
CLIENT:  
MR KARAN SEHDEV

DRAWING:  
**PLANNING**  
PROPOSAL: LOFT CONVERSION

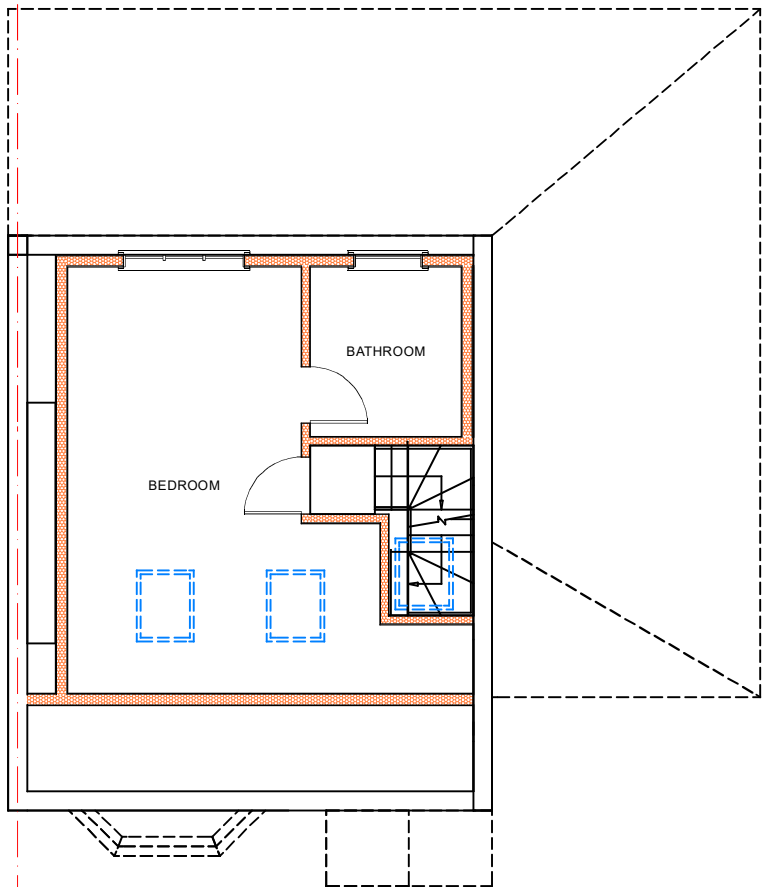
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SCALE: AS SHOWN	2022-32LR-PP-3	1.0B
DATE: 04/11/2022	SHEET:# 3 / 8	



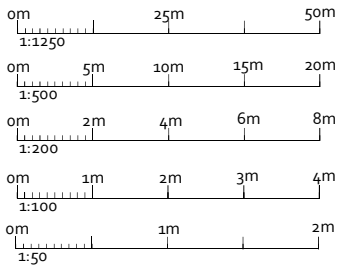
PROPOSED (1:100)



PROPOSED 1/F (1:100)



PROPOSED 2/F (1:100)



**PROPOSED GF, 1/F  
& 2/F PLANS (1:100)  
[ LOFT  
CONVERSION]**

**ALL MATERIALS  
USED WILL BE OF  
SIMILAR TO  
EXISTING**

AMENDMENTS	DATE:	REV.
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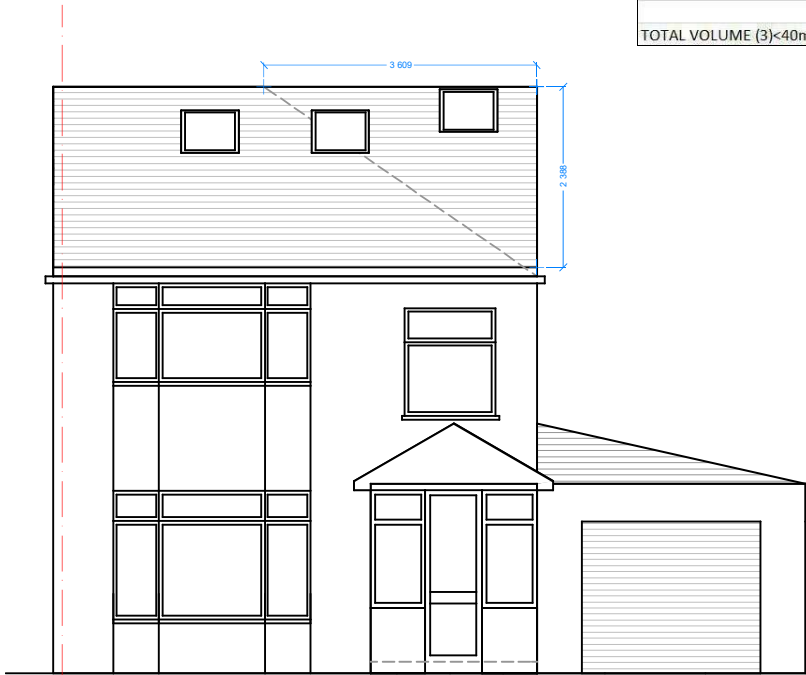
**ADDRESS:**  
32 Little Road, Uxbridge, UB3 3BT

**CLIENT:**  
MR KARAN SEHDEV

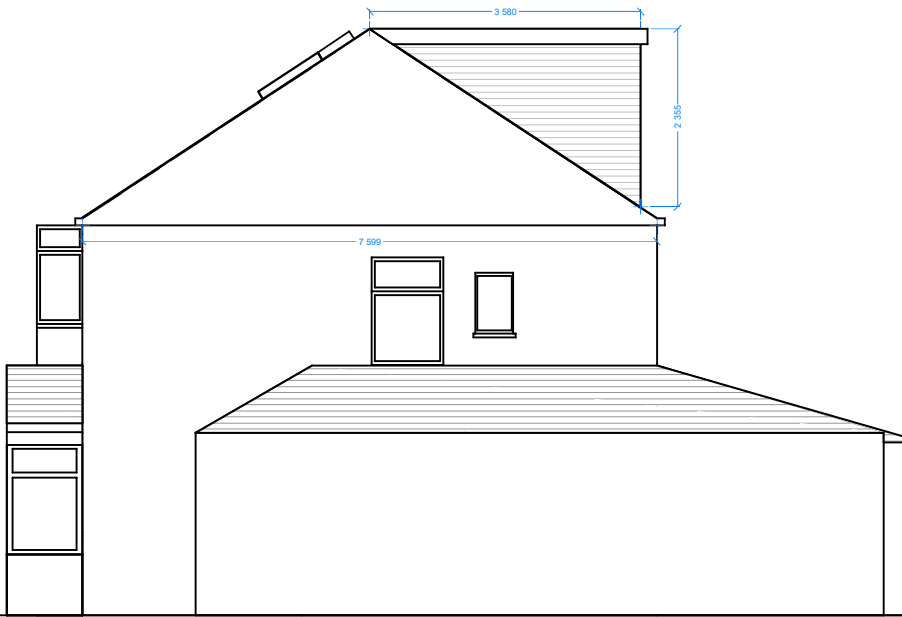
**DRAWING:**  
**PLANNING**  
PROPOSAL: LOFT CONVERSION

@ISO A3 (297 x 420)			
DRAWN: SC	DRAWING NUMBER	REV.	
SCALE: AS SHOWN	2022-32LR-PP-6	1.0B	
DATE: 04/11/2022	SHEET: # 6 / 8		

ROOF VOLUME CALCULATONS						
REAR DORMER	=	DxHxW/2	=	3.58X2.36X5.53/2	=	23.36 m3 .....(1)
HIP-TO-GABLE	=	DxHxW/6	=	3.61X2.39X7.6/6	=	10.93 m2 .....(2)
TOTAL	=	(1)+(2)			=	34.29 m2 .....(3)
TOTAL VOLUME (3)<40m3 HENCE PERMITTED DEVELOPMENT						



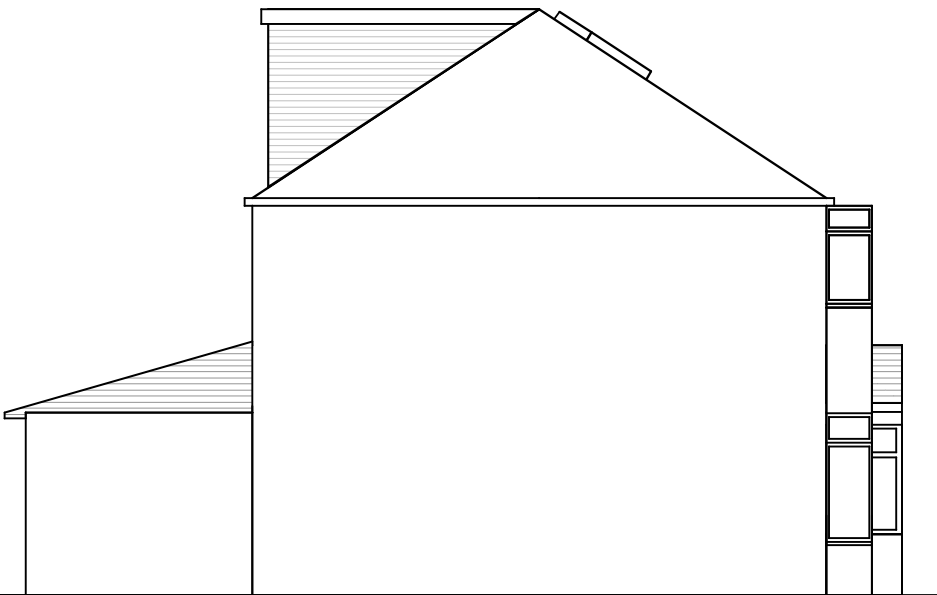
PROPOSED FRONT (1:100)



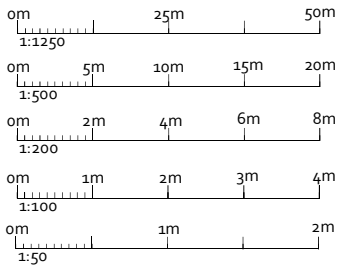
PROPOSED SIDE (1:100)



PROPOSED REAR (1:100)



PROPOSED SIDE (1:100)



**PROPOSED  
ELEVATIONS  
(1:100)  
[ LOFT  
CONVERSION]**

**ALL MATERIALS  
USED WILL BE OF  
SIMILAR TO  
EXISTING**

AMENDMENTS	DATE:	REV.
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**CLIENT:**  
MR KARAN SEHDEV

**DRAWING:**  
**PLANNING**  
PROPOSAL: LOFT CONVERSION

@ISO A3 (297 x 420)		
<b>DRAWN:</b> SC	<b>DRAWING NUMBER</b>	<b>REV.</b>
<b>SCALE:</b> AS SHOWN	2022-32LR-PP-7	1.0B
<b>DATE:</b> 04/11/2022	<b>SHEET:</b> # 7 / 8	