

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. ON-SITE DRAWINGS DO NOT SCALE FROM THIS DRAWING

RS ATPA COPYRIGHT

Notes:

1. Do not scale this drawing

2. All dimensions to be verified on site and any discrepancy reported to the client

3. This drawing to be read in conjunction with all relevant drawings

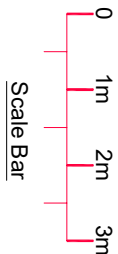
owners to serve party wall ad notice on owners of adjacent property and obtain written agreement, prior to commencement of any works

client/builder to obtain all planning permission approvals from the relevant authority, prior to the planning & building control approvals is to client/builders own risk

all rainwater guttering, down pipes locations to be confirmed by architect & not to encroach neighbors property

client/builder to liaise with local water board for any new works on or within the public sewer or drain turns and obtain approval from the local authority prior to commencement of any works

REV	AMENDMENT	DATE	CHD
A	Planning Issue	10.06.22	RS



Proposed Single Storey Rear & Side Extensions

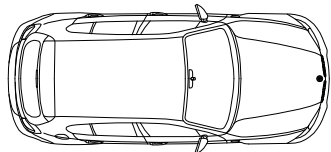
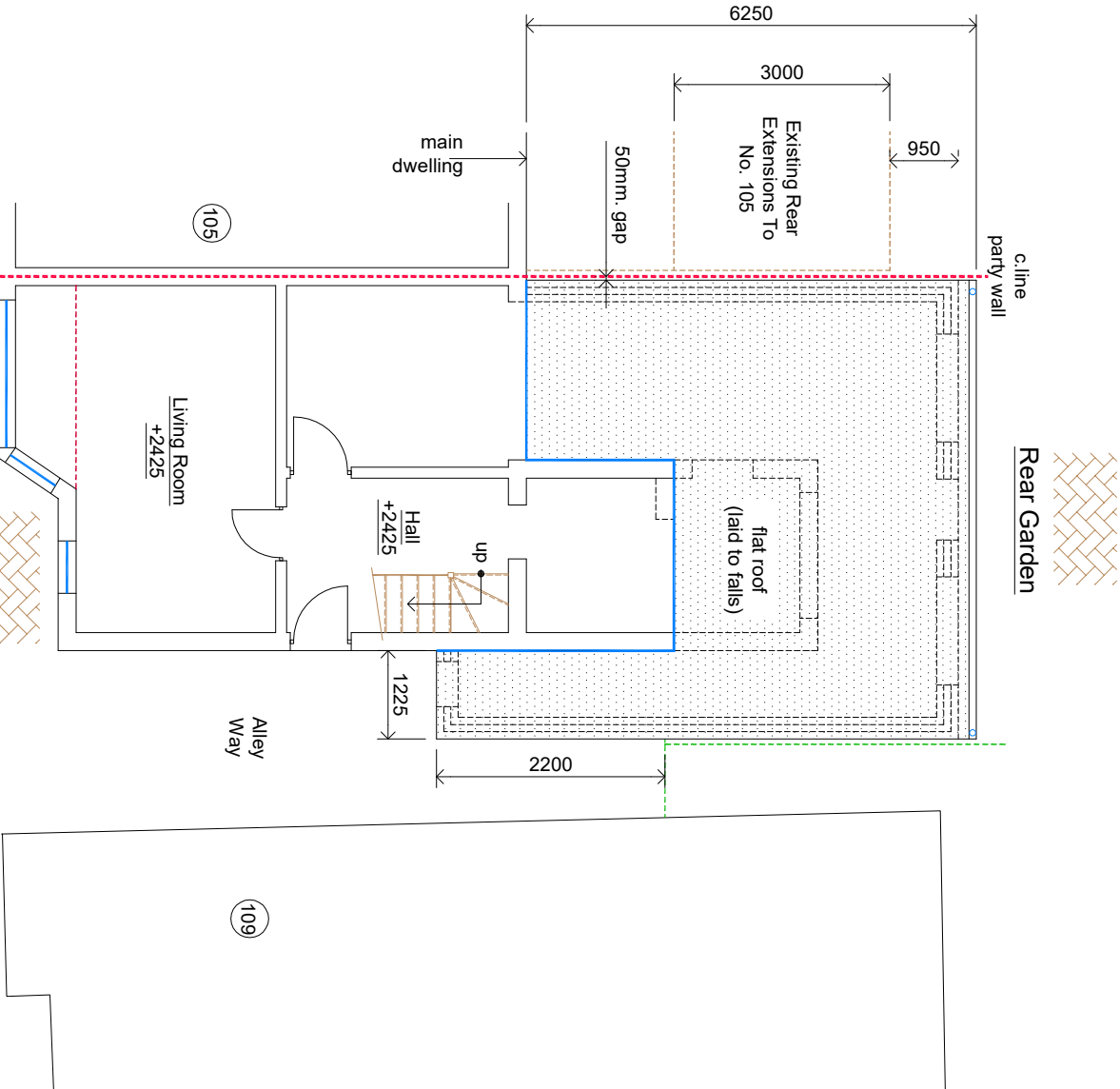
CLIENT
Anwar Chaudry

PROJECT
107 Ashford Avenue
Hayes (Middlesex)
UB4 0NB

DRAWING TITLE
Proposed Single Storey Rear & Side Extensions
Proposed Floor Layouts
Sheet 2

SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1 1:100 @ A3	RS	RS	10.06.22

DRAWING NUMBER	REVISION
2022 - 56- 02	A



new velux window not to protrude 150mm, beyond the plane of the slope of the original house measured perpendicularly with the external surface of the original roof.

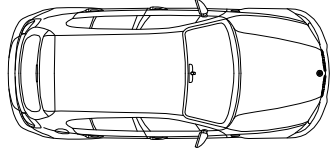
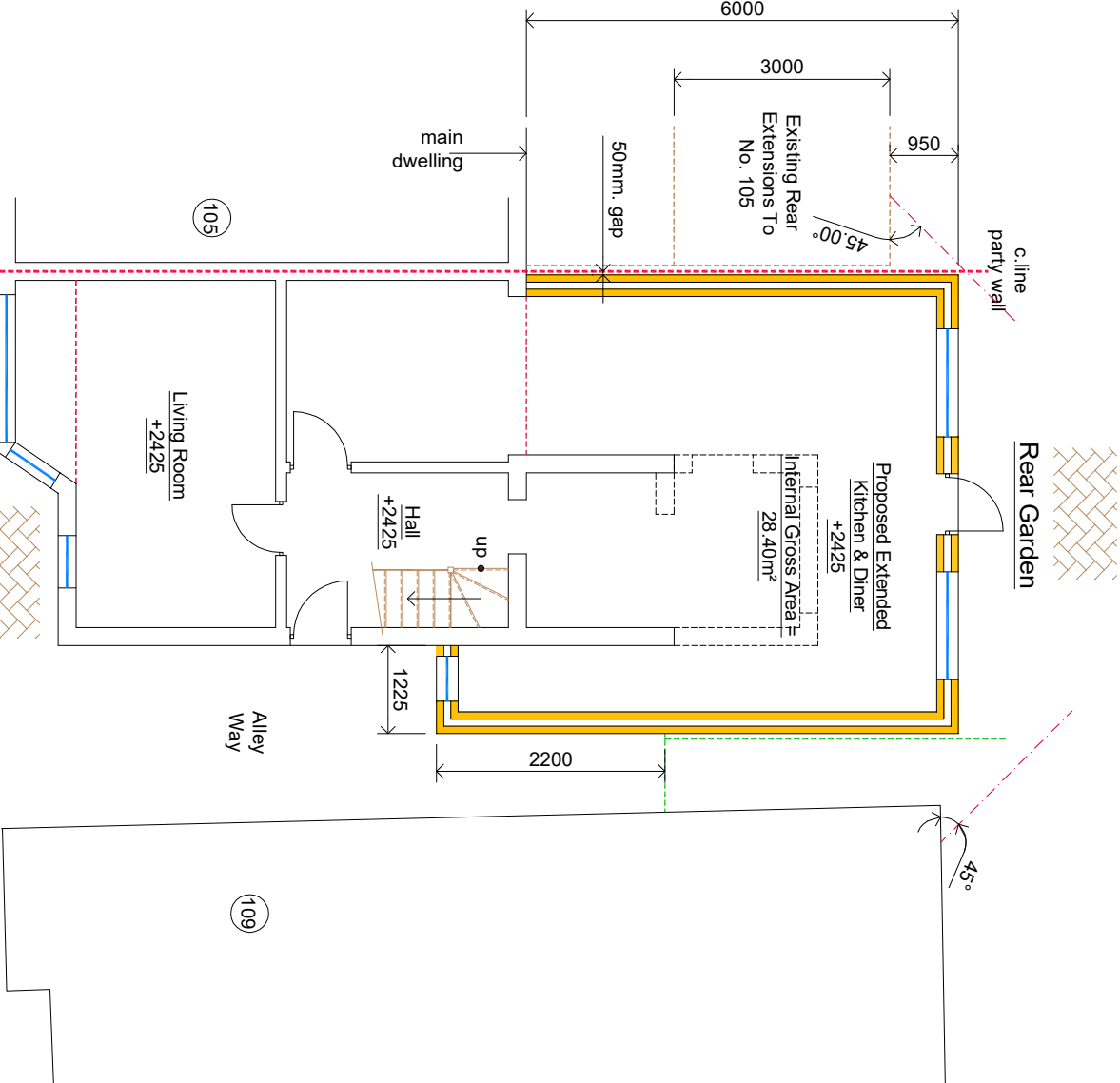
all new facing brickwork/render, flat roof to match existing dwelling

Final Position And Sizes Of New Sky Light Windows To Clients Requirements And To BCOs Approval

final position of new doors & windows to clients requirements

Rain Water Guttering Not To Encroach Neighbours Property

roof sky light windows (installed to Manufacturers requirements)



denotes mains operated, self-contained smoke alarms with battery back up all to be interlinked

denotes heat detector to proposed kitchen

denotes FD30 fire doors (all to BCOs approval)

(land scapping to suit natural ground profile)

+2425 denotes floor to ceiling height

Proposed Ground Floor Layout
Single Storey Rear & Side Extensions

DRAWING STATUS
Planning Issue