



# DESIGN & ACCESS STATEMENT

October 2025

## 13 SOUTHCOTE RISE

Ruislip HA4 7LN

Metashape Job Ref: 2025-001

**METASHAPE** | ARCHITECTS



# 13 SOUTHCOTE RISE, RUISLIP HA4 7LN

## SITE LOCATION

### SITE LOCATION

This document has been prepared by Metashape Architects in support of a Planning Application submission to London Borough of Hillingdon. The application site is located at 13 Southcote Rise, Ruislip HA4 7LN.

The proposed works to the existing building include the erection of a single storey rear and side extension.

The site is not located within a Conservation area. The building is not Listed.

The application site, is approximately 0.095 hectares (0.24 acres) and comprises a detached dwelling with front garden and forecourt car parking, and large rear garden (614m<sup>2</sup>).

The site can be accessed by vehicles and pedestrians from Southcote Rise which is a public road.

The site is within close proximity to Ruislip High Street which includes many shops and amenities.

The site as a Public Transport Accessibility Level of 3. West Ruislip Rail and the London Underground Station West Ruislip served by the Central line is a 9 minute walk from the property. Bus stops are located on the Ickenham Road in close proximity to the site (2 minute walk) and served by bus no. 331, H13, U1 and U10.



Site Location Plan (Scale 1:1250@A3)

0 25 50 75 100 125  
Scale 1:1250 meters



Photograph looking west showing the front of 13 Southcote Rise



Photograph showing the front and side of 13 Southcote Rise



Photograph showing the front and side of 15 Southcote Rise next to 13 Southcote Rise

Photograph looking east showing the rear of 15 Church Avenue



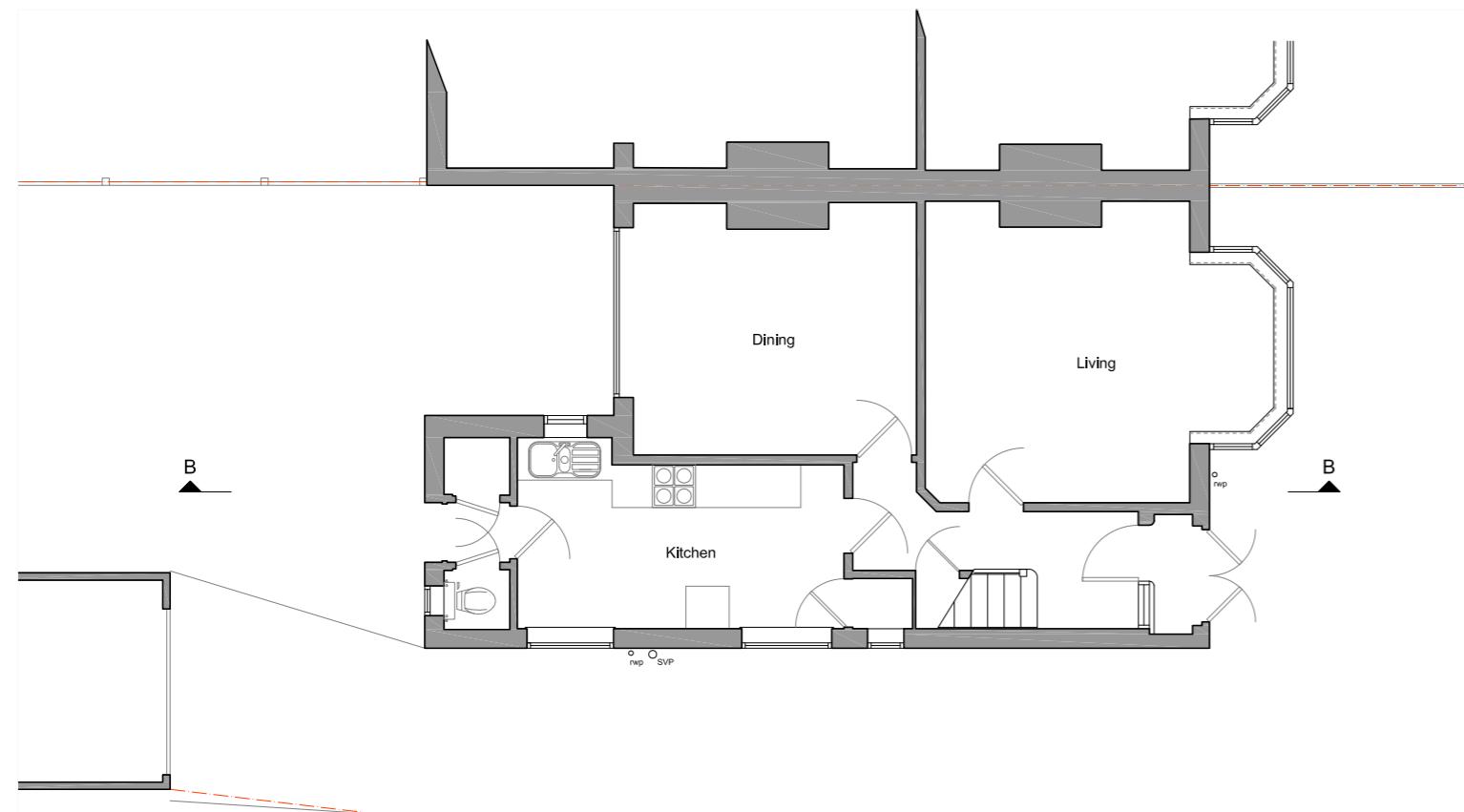
Photograph showing the rear of 13 Southcote Rise and 15 Southcote Rise on the right

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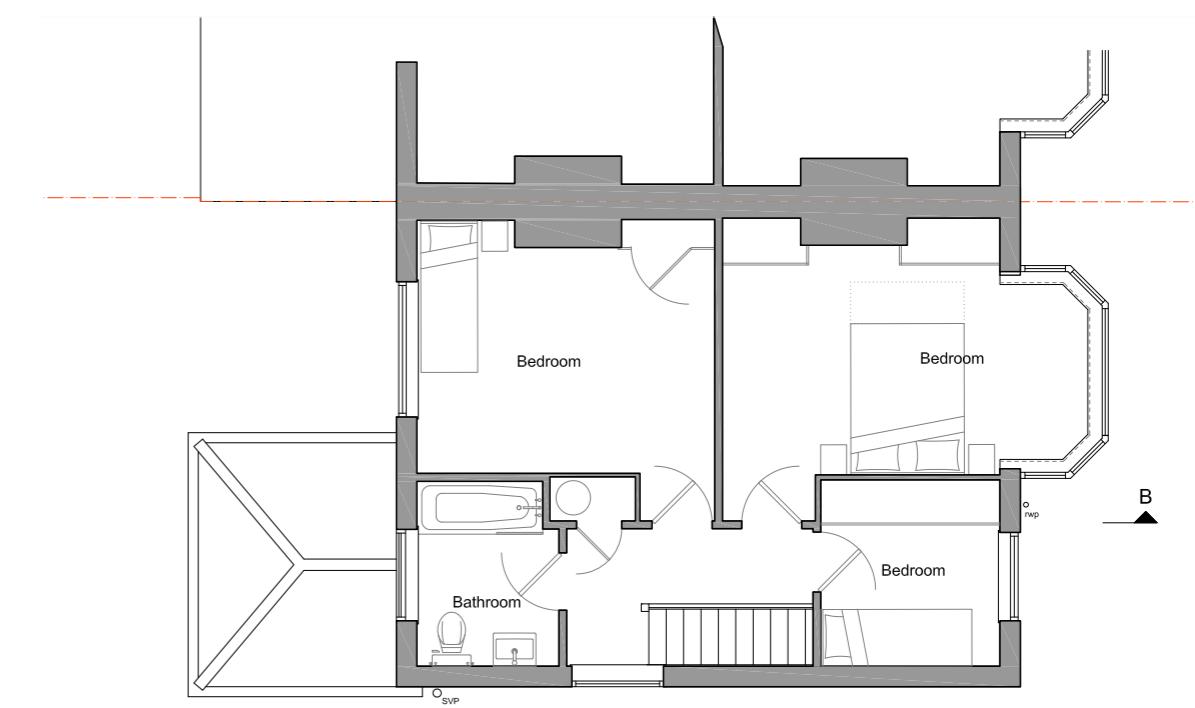
## SITE PHOTOGRAPHS



*Google 3D showing the rear of 13 Southcote Rise and the properties either side*



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



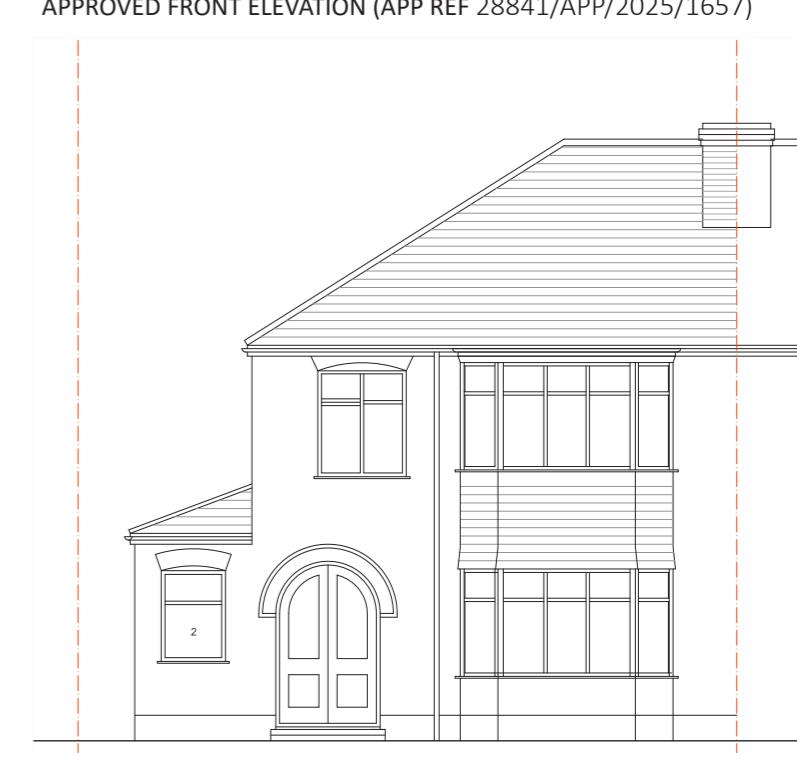
EXISTING FRONT ELEVATION

## Design Proposal

Planning permission was granted 12th August 2025 (Application Ref: 28841/APP/2025/1657) for

'Erection of a single storey wrap around extension to the side and rear'

This planning application is to change the side extension roof from a flat roof to a pitch hipped roof.



## Area Schedule (GIA)

Existing Ground Floor	53.5m <sup>2</sup>
Existing First Floor	47.2m <sup>2</sup>
<b>TOTAL</b>	<b>100.7m<sup>2</sup></b>

Proposed Ground Floor	87.2m <sup>2</sup>
Proposed First Floor	47.2m <sup>2</sup>
<b>TOTAL</b>	<b>134.4m<sup>2</sup></b>



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