

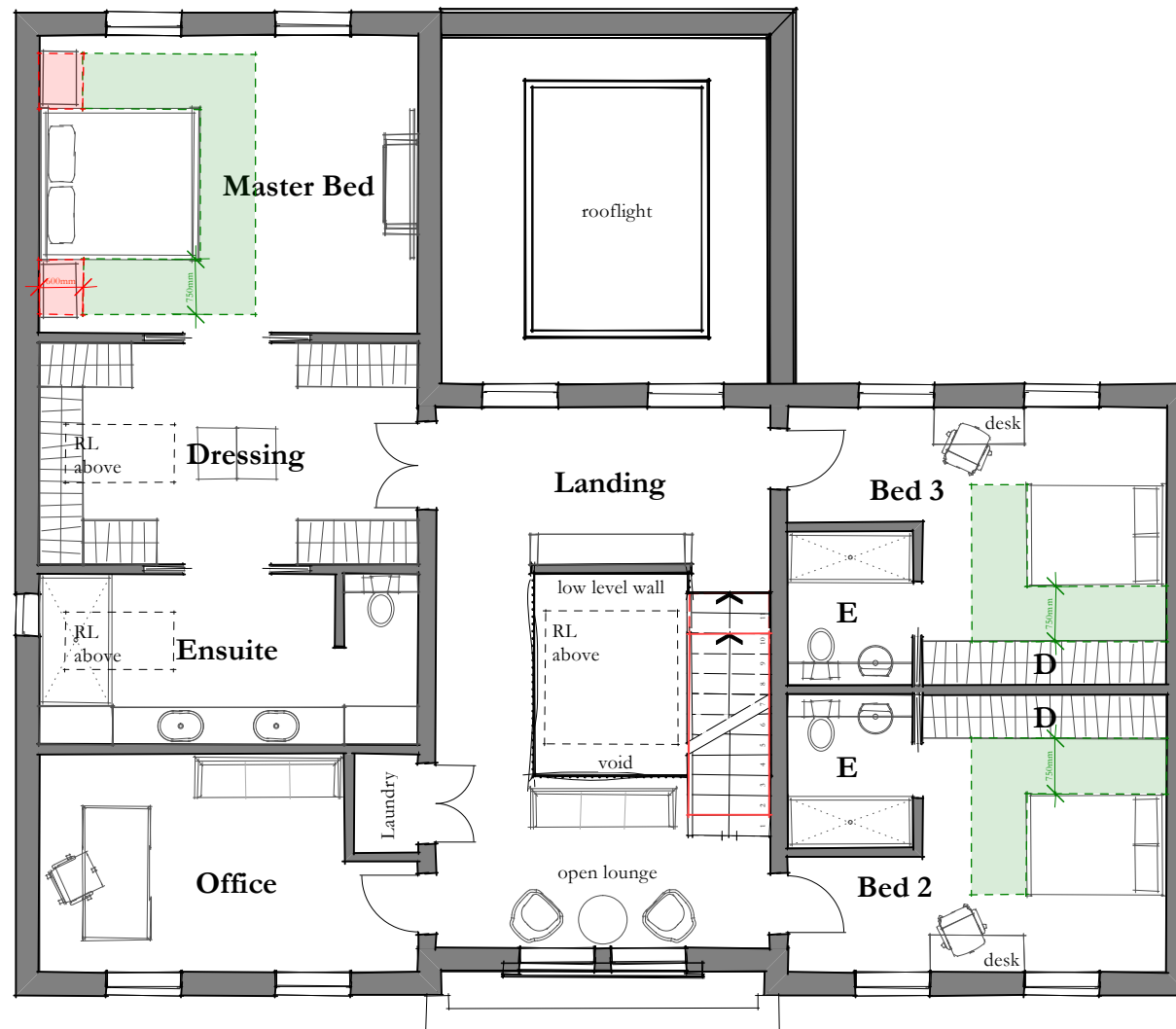
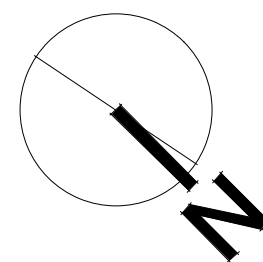
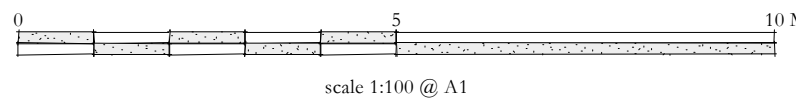
900 x 1200mm clear access zone, compliant with Part M of the Building Regulations.

Level threshold to front entrance door in compliance with Part M of the Building Regulations

Door clear opening of 800mm and 25mm opening to front of WC

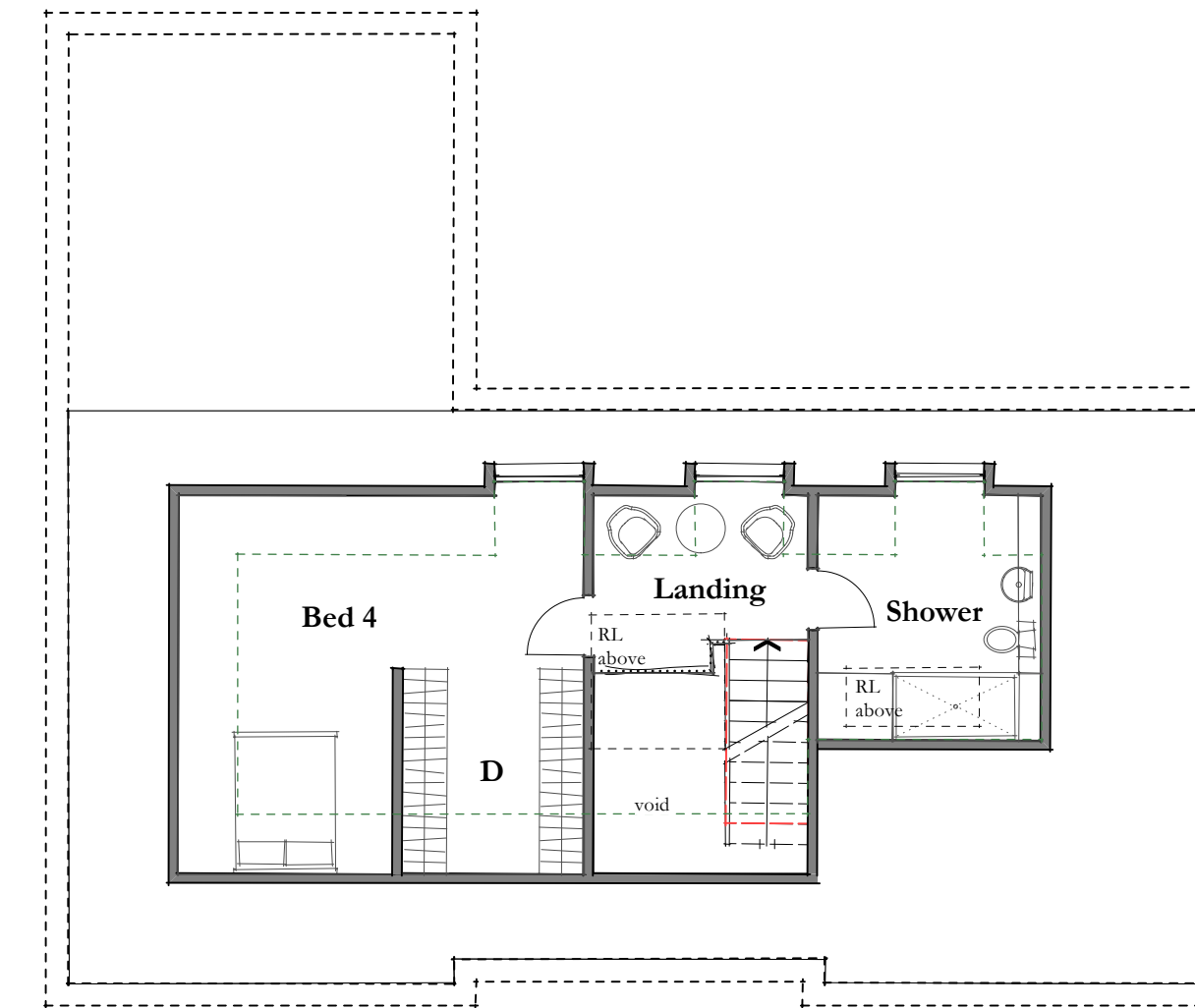
### GROUND FLOOR PLAN

Scale: 1:100



### FIRST FLOOR PLAN

Scale: 1:100



### SECOND FLOOR PLAN

Scale: 1:100



### PROPOSED FRONT ELEVATION

Scale: 1:100



### PROPOSED RHS ELEVATION

Scale: 1:100



### PROPOSED REAR ELEVATION

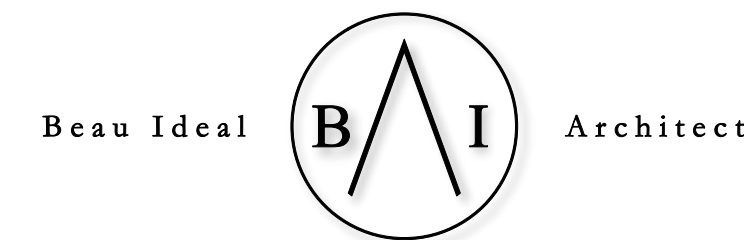
Scale: 1:100



### PROPOSED LHS ELEVATION

Scale: 1:100

E	13/02/2023	Apex window to master bedroom replaced with 2 traditional sash windows as per planning officer's request
D	24/11/2022	Ridge height increased and 2 front dormers and 3 rear dormers added to create a loft conversion
C	13/10/2022	Rear and LHS Elevation updated as per planning officer's requirements
Rev	Date	Notes



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scale: as stated | drawn: VM | status: PLANNING | date: 08/10/2021

drawing name: **PROPOSED PLANS  
& ELEVATIONS**

drawing ref: **CWNH PE01** | rev: **E**