



DESIGN AND ACCESS STATEMENT

Rev – DRAFT 03.08.2022

CONSTRUCTION OF DOUBLE STOREY SIDE RETURN AND PORCH EXTENSION

to

31 Swakeleys Drive, Ickenham, UB10 8QD

INTRODUCTION

This statement is written in support of an application for planning permission for the construction of a double storey side return and porch extension at the property.

This statement should be read in conjunction with the following:

Site location plan at a scale of 1:1250.

Existing and proposed drawings by The Market Design & Build, Ltd.

This statement firstly seeks to describe the site and the location context and explains the principles of the proposed development and the design approach adopted. It further explains how the proposed development complements the site and surrounding area and complies with relevant development plan policies and provides a general conclusion as to the acceptability of the scheme.

APPLICATION SITE AND SURROUNDING AREA

The application site is located within 31 Swakeleys Drive, Ickenham, UB10 8QD

The Sub Area consists of a 1930's housing estate of semi-detached bungalows

THE PROPOSED DEVELOPMENT

Amount of Development Proposed

Planning permission is sought for a double storey Side return extension to extend the existing kitchen/diner and reception area. Permission is also sought to add one rooflight on the flat roof. Porch extension. and New proposed crown roof with Skylight.

Scale and Appearance

The proposed double storey side return extension will be built in blockwork and rendered to match the existing at the property and seeks to increase the size of the kitchen area. Bifold doors and windows will be installed as part of the proposal. Plan to replace all the windows to match with the neighbours property Ho.No 29

Access

Access into the site would remain as existing.

PLANNING POLICY CONTEXT

The proposal has been assessed in relation to the adopted London Plan, the London Borough of Hillingdon Local Development plan.

Impact on Residential Amenity

The proposed works are minor in scale and therefore have no effect on neighbouring amenities.

Impact on Existing Trees and Vegetation

No trees or shrubs will be removed as part of this proposal.

PRE-APPLICATION OUTCOME

Below we have outlined and addressed the various comments from the pre-application meeting and subsequent advice.

Design

The two-storey side extension however needs to be set back behind the principal elevation by 1 metre and set away from the side boundary by 1 metre.

The 850mm width allows for a viable internal spatial arrangement and we consider that together with the scale and massing of the side extension will have little impact on the neighbour's property at No.33 as their ground and the first floor windows are obscured, secondary and are not original to the house.

There are numerous examples of properties in the immediate area where side extensions have been built right to the boundary line, including the neighbour at No.29 (below).



View of No.29



View of No.24 and No.26

The proposed large, crown roof above the extension is considered out of character with the original hipped roof form of the existing dwelling and this will need to be altered to a hipped roof.

We have now changed the roof to a hipped roof as advised by the pre-application.

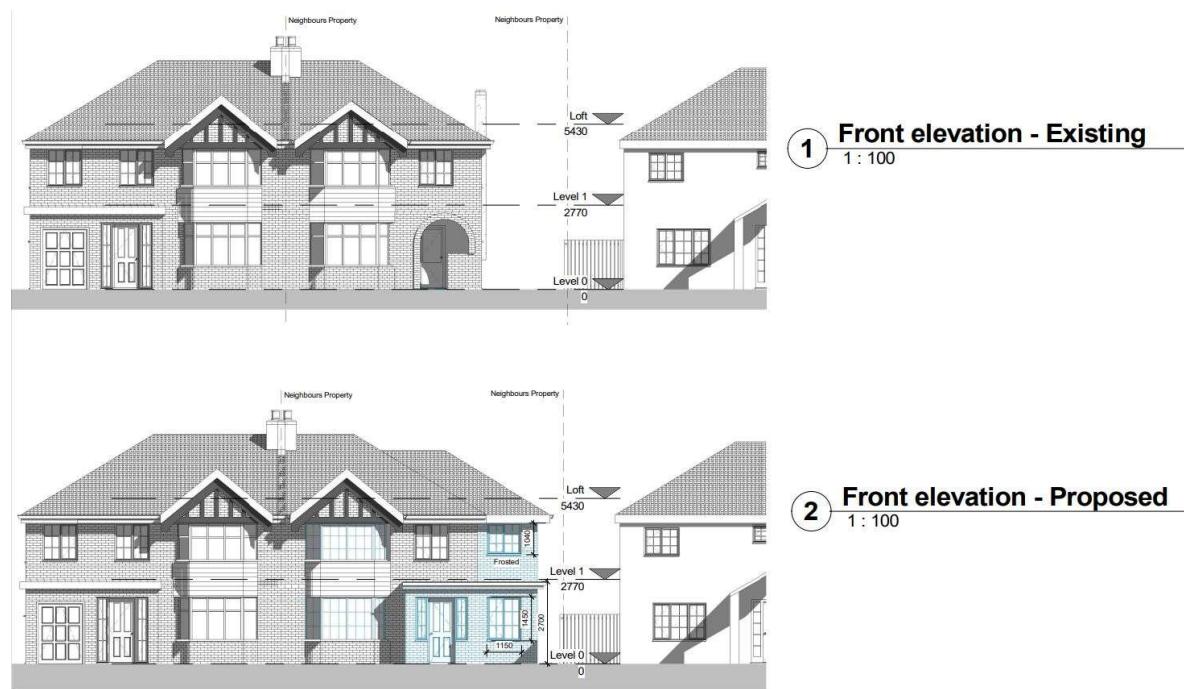
All roof lights will need to be conservation roof lights.

We don't have any roof lights.

The porch/front projection will not be supported as it detracts from the existing building and diminishes the appearance of the characteristic bay window. The porch projection will need to be reduced and set back behind the bay window. To take design cues from the adjoining neighbouring property to ensure the pair of semi-detached dwellings maintain their symmetry.

We have followed the design of the adjoining neighbouring property at No.29 which has the same projection relationship with the bay window. The same relationship can be found on the two neighbours on the opposite side of the road, No.26 and No.24 and numerous other properties in the area.

As shown in the drawings.





Amenity

The rear extension is built alongside the single storey rear extension of the neighbour No.29 and the two-storey element does not appear to breach the 45-degree line of sight.

Existing windows with 45-degree line of sights are shown on the drawings

CONCLUSION

The proposed works are considered minor in scale and have no impact on the character of the conservation area or adverse effect on neighbouring amenity so therefore we consider the works to be acceptable.

The proposal satisfies the relevant policies contained within the adopted local plan and in our judgement; no other material considerations weigh against it.

Accordingly we trust that London Borough of Hillingdon will determine that the application can be approved.

Supporting photos

Below are photos of other neighbouring properties which show similar detailing to our proposal, supporting our argument that our proposed plans would be acceptable.





