

CONDITION SCHEDULE

Condition 1: Informative – No action

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Condition 2: Informative – No action

The development hereby permitted shall be carried out in accordance with the following approved plans and documents: 2021-4CC-SGHMO-1; 2021-4CC-SGHMO-3; 2023-4CC-SGHMO-4; 2021-4CC-SGHMO-5; Design and Access Statement; Site Supervision Management Plan; HMO Management Supervision Plan

Condition 3 - Informative – No action

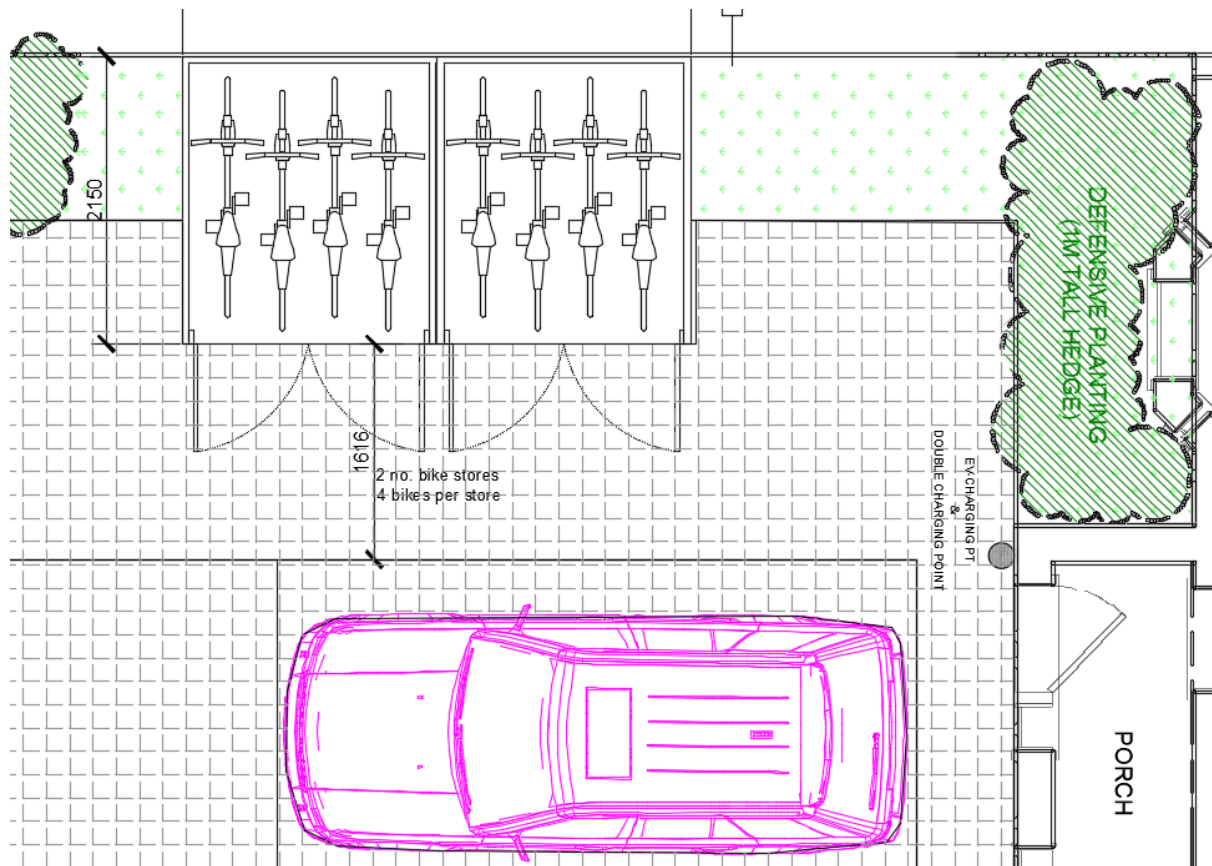
The property shall only be used as an HMO for no more than seven (7) people at any one time.

Condition 4 – EV Charging

The development hereby permitted shall not be occupied until details of electric vehicle charging point(s) have been submitted to and approved in writing by the Local Planning Authority. One active, double socket, EV charging point shall be provided for the HMO. Thereafter, the development shall not be occupied until the approved charging point(s) have been implemented in accordance with the approved plan and shall be permanently retained for the life of the development.

Refer to Appendix A – 1 no. wall mounted Pod point EV Charger fixed to porch front elevation and double socket

Refer to revised drawing: 1536-P-001 for location of charger with a double socket below.



Condition 5: Car Parking Layout

Notwithstanding condition 2) above and the details of the car parking layout shown on the submitted plans, no development shall take place until a revised car parking layout plan, showing the provision of three parallel car parking spaces fronting onto Church Close, has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Refer to revised drawing: 1536-P-001

Condition 6: Landscaping Scheme

No development shall take place until a landscaping scheme has been submitted to and approved in writing by the Local Planning Authority. This shall include: -

- Planting plans (at not less than a scale of 1: 100)

Refer to attached landscaping plan

- Planting schedules, species, densities and cultivation work to be undertaken

Refer to attached landscaping plan

- Refuse storage (inc. elevations if appropriate)

On other similar schemes, the council's waste officer has requested the following:

Hillingdon Council is not a wheeled bin borough, so adequate internal storage space should be designed for each resident to store a weeks refuse and recycling before placing sacks out on collection day at front boundary of property.

A store has been provided in the house which can be used for storage internally, this will be ventilated. Additional space is available in the rear garden for storage of bin bags which can be brought to the front of the house on collection day.

- Cycle storage (inc. elevations if appropriate)

Refer to appendix B for details of bin store

- Boundary treatments (inc. elevations if appropriate)

Retain existing. No changes proposed.

- Car parking layout and pedestrian access

Refer to revised drawing: 1536-P-001

- Hard surfacing materials and external lighting

Refer to attached landscaping plan

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- Landscape maintenance schedule

Refer to attached landscaping plan

Proposals for the replacement of any tree, shrub, or area of turfing/seeding within the landscaping scheme which dies or becomes seriously damaged or diseased within a minimum period of 5 years following the completion of the landscaping scheme.

Refer to attached landscaping plan

APPENDIX A

Refer to attached product data sheet

To be reviewed in conjunction with drawing 1536-P-001

Pod Point Solo 3S

Universal – 3.6kW



APPENDIX B

TIME TABLE FOR IMPLEMENTATION

Within 28 days of discharge of planning condition.

BIKE STORE

Supplier: The Bike Shed Co.

Product: 2 no. Roll in 4 bike store to fit 4 no. bikes in each.

Colour: Zinc Grey



The Roll-in comes with a wheel rack keeping the bikes upright and in their own place. Each bike can be reached without moving others. As with all of our bike sheds, we offer a number of additional security measures to fully protect your bikes within.

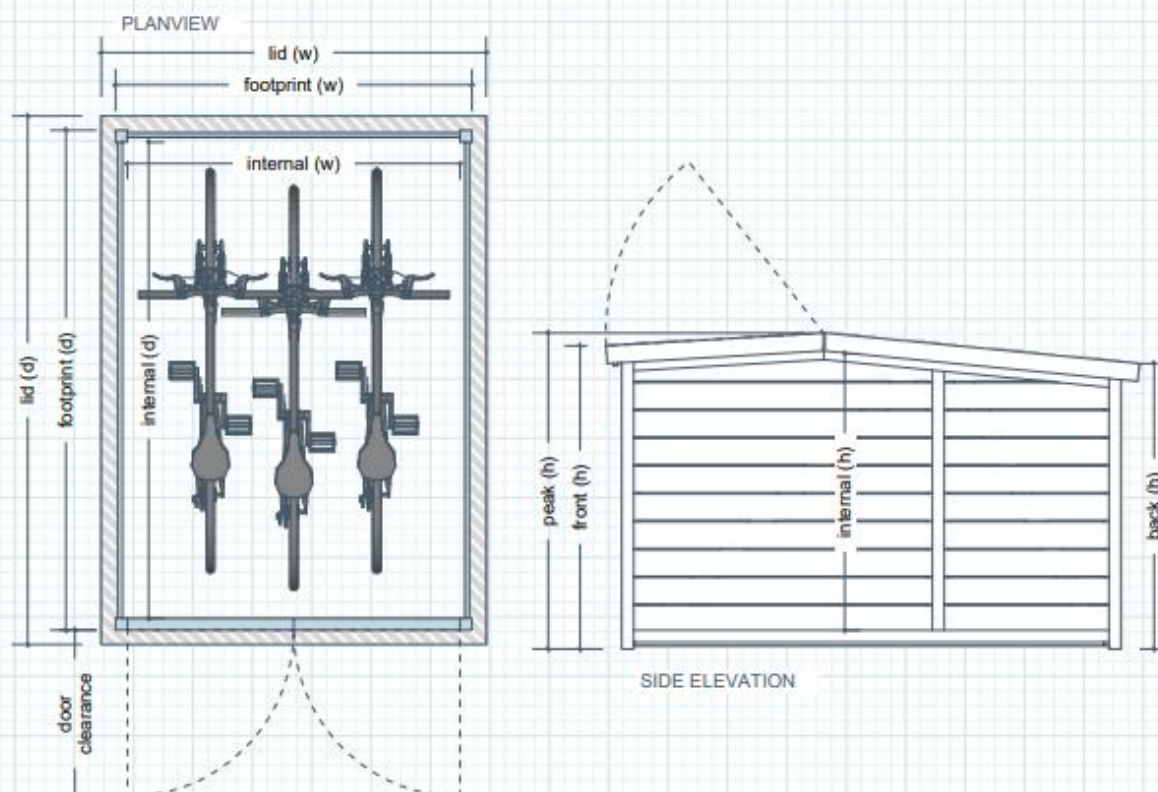




Colour: Zinc Grey

ROLL-IN RANGE

THE
BIKESHED
CO



ROLL-IN	FOOTPRINT		LID		HEIGHT			INTERNAL			DOOR CLEARANCE	
	WIDTH	DEPTH	WIDTH	DEPTH	BACK	FRONT	PEAK	HEIGHT	WIDTH	DEPTH	STD DOORS	BIFOLD DOORS
3	1500	2100	1620	2245	1200	1275	1330	1140	1400	2000	715	-
4	1800	2100	1920	2245	1200	1275	1330	1140	1700	2000	865	425
5	2100	2100	2220	2245	1200	1275	1330	1140	2000	2000	1015	500
6	2400	2100	2520	2245	1200	1275	1330	1140	2300	2000	-	575

All timber is UK Grown Kiln Dried Douglas Fir.
Exterior High Grade Plywood Floor (Painted), Shelf & Roof.
Tough, Flexible EPDM Rubber Roof Membrane

Hardware included in all Roll-in Models:

- Adjustable Metal Feet
- Gas Strut Stays
- Stainless Steel Hinges
- Strong Door Drop Bolts
- Heavy Duty Hasp & Staple
- Anti-Tampering Plate
- Round Shackless Padlock

SOLID BASE REQUIRED			TYPES OF BASE:
ROLL-IN	WIDTH	DEPTH	
3	1600	2200	
4	1900	2200	
5	2200	2200	
6	2500	2200	

- Concrete Pad
- Eco Grid & Shingle
- Paving Slabs/Brick
- Tarmac/Resin Bound Surfacing

Unsuitable Bases include soil or loose shingle - anything that is not compact & solid.