



# DESIGN AND ACCESS STATEMENT

March 2024

## 63 Lime Grove

Ruislip HA4 8RL

Metashape Job Ref: 2024-009







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# 1 THE SITE

- 1.1 Introduction and Site Location
- 1.2 Site Aerial Views
- 1.3 Local Context
- 1.4 Local Materiality
- 1.5 Site Photographs
- 1.6 Site Constraints and Opportunities

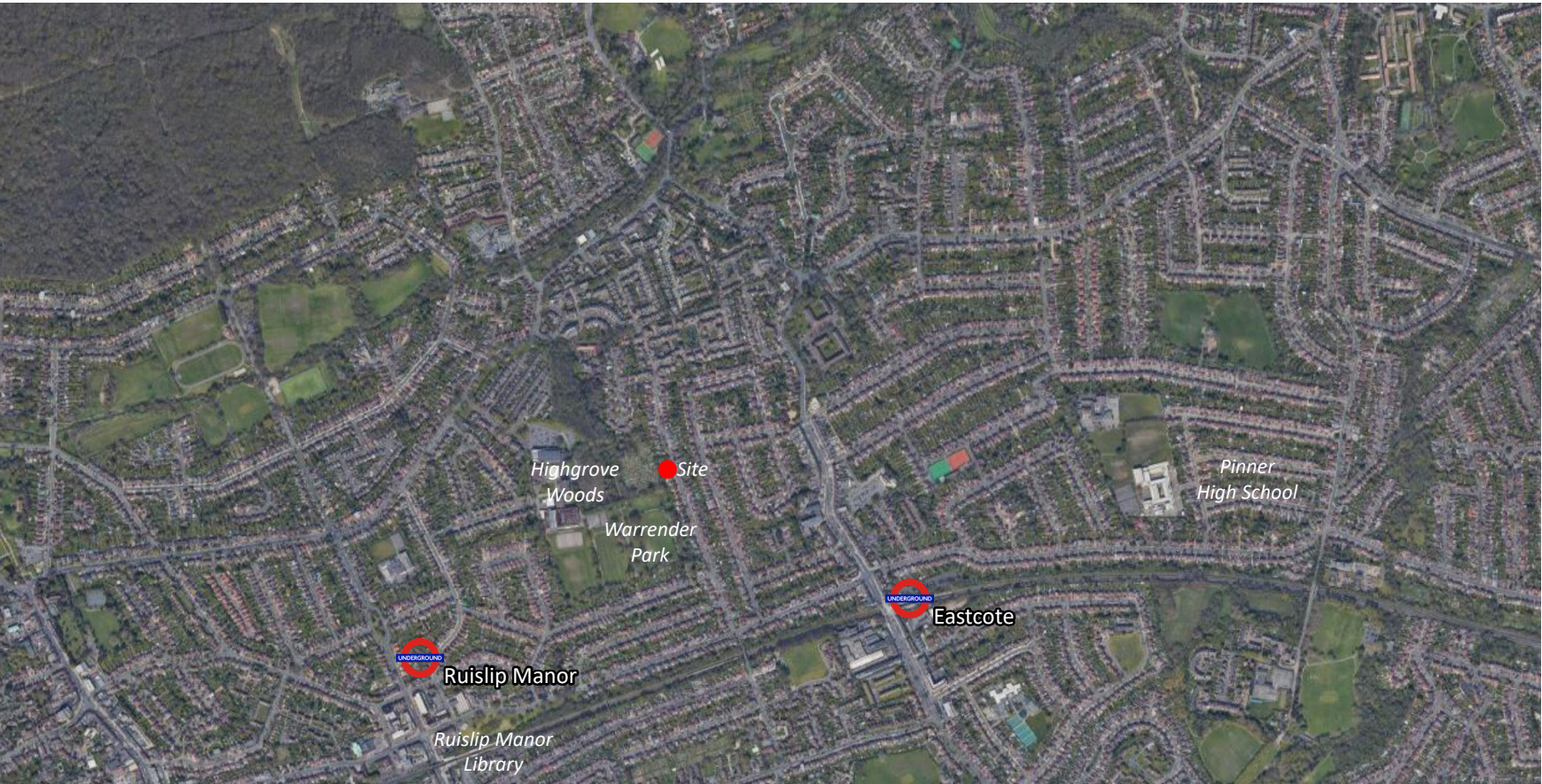
# 63 LIME GROVE, RUISLIP HA4 8RL

- 1.1 This Design and Access Statement has been prepared by Metashape Architects in support of a Planning Application to redevelop the site of 63 Lime Grove, Ruislip.
- 1.2 The site falls within the administrative boundary of London Borough of Hillingdon. The site area is approximately 0.0622 hectares (0.15 acres).
- 1.3 The site currently contains 1no. two storey house with 1no. detached garage. The applicant proposes to replace this with a new residential development that consists of 2no. houses.
- 1.4 The site is located on a residential road consisting of mainly detached and semi-detached houses. It is bounded by two semi-detached houses to the north and one detached house to the south.
- 1.5 The site is not located within a Conservation Area.

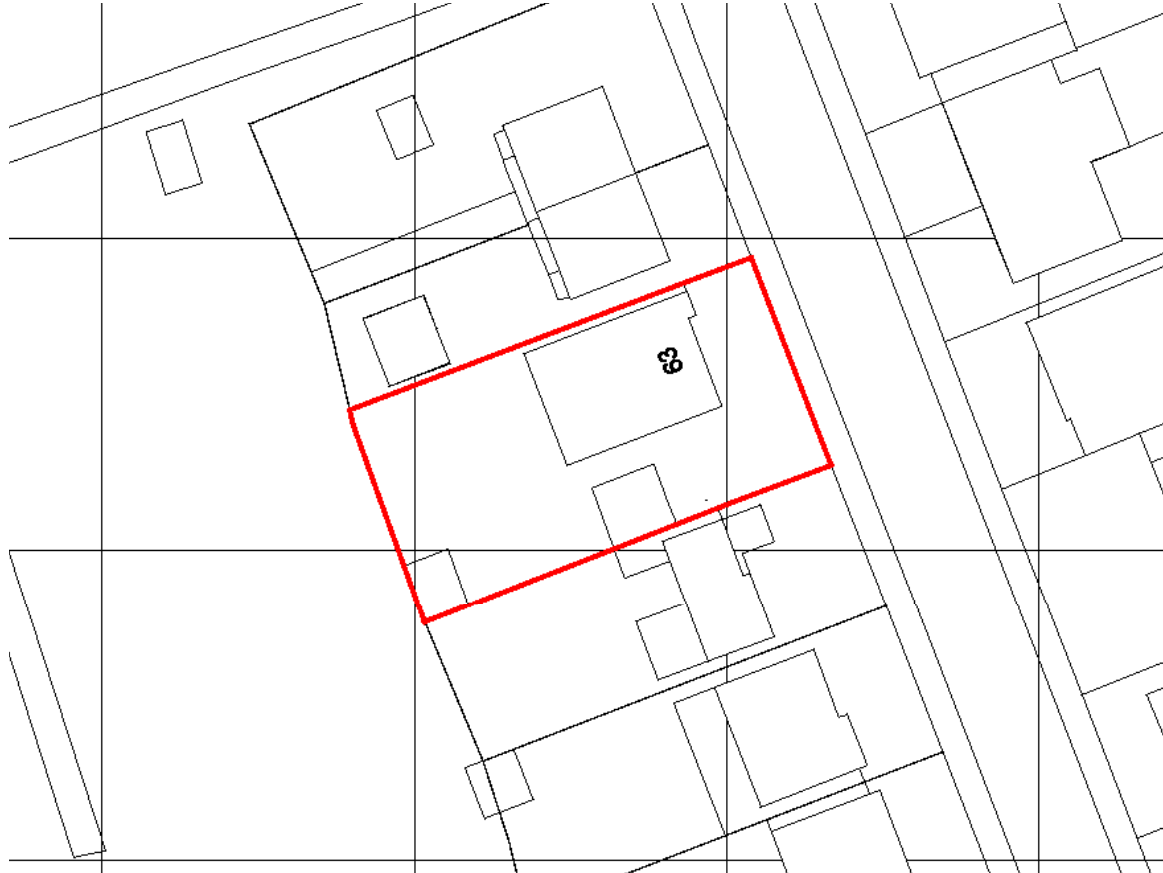
## 1.1 INTRODUCTION & SITE LOCATION



Map of London Boroughs



Site Wide Location (Google Maps)



Site Location at approx. scale 1:1250

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North Perspective



East Perspective



South Perspective



West Perspective



# 63 LIME GROVE, RUISLIP HA4 8RL

## 1.3 LOCAL CONTEXT

1.3.1 The local area is suburban in nature, with the surrounding buildings being entirely detached or semi-detached family homes.

1.3.2 The building massing is predominantly two storey, however there are examples of single storey or storey and a half houses along Lime Grove. The massing is traditional in nature, with several variations of the standard pitched roof.

1.3.3 The majority of the surrounding context is traditional brick construction, some with traditional finishes such as render or pebbledash applied.

1.3.4 The rear of the site of the site backs onto Warrender Park, a series of allotments adjacent to Highgrove Woods.

