

40 STATION APPROACH

SECTION 73 - PLANNING DRAWINGS AMENDMENTS



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GENERAL NOTES

A thorough analysis of the approved planning scheme undertaken by the new consultant team (structural engineer, M&E engineers, architect, landscape architect, Approved Inspector etc.) has highlighted compliancy issues which need resolving to render the scheme viable/buildable.

The required amendments are highlighted in this document and summarised below:

PART B - FIRE

External Wall Build-Up

- As per the Hackett report non-combustable materials should be used to all cladding materials.
- This infers using mineral fibre insulation regardless of whether this is below or above 18 metres.
- The external wall thickness therefore has to increase from 300mm to 508mm to meet NHBC and Part B standards.

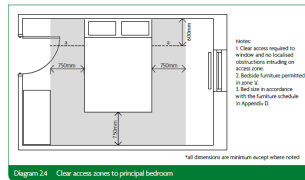
Open plan layouts

- The Client has advised the flats will not be sprinklered nor will a mist system be installed.
- Therefore all flats require protected corridors and cannot be open plan. Changes to the layouts need to be made to comply.

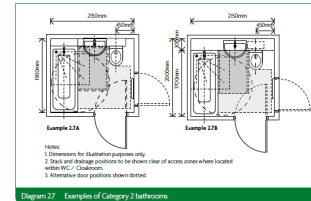
PART M - ACCESS

As per Planning Condition No. 10, all flats need to meet Category 2 M4(2) – accessible and adaptable dwellings standards. All flats need to have:

- A minimum 300mm nib to the leading edge of doors.
- A minimum 1500mm diameter clear turning circle behind the closed front door of the flat.
- Doors to bathrooms/WCs opening outwards.
- Every bedroom to provide a minimum clear access route of 750mm from the doorway to the window.



Bedroom Requirements
Part M4(2)



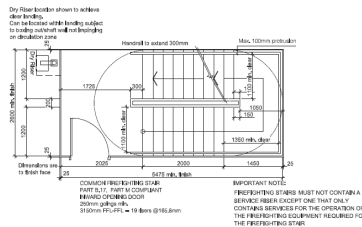
Sanitary Requirements
Part M4(2)

Communal Areas

- Clear landing (1500mm x 1500mm) directly in front of the lift door **on every floor** is to be provided.

PART K

- Staircase needs to be widened/lengthened to comply with minimum standards.
- The staircase/lift needs to shift further south to allow for the flats on the upper floors to meet minimum space standards.
- Provision for a chairlift needs to be made to provide access to the roof.



Staircase Requirements- Part K

MINIMUM SPACE STANDARDS

- As a result of the increased external wall thickness the flats and balconies no longer meet minimum space standards.

Minimum space standards for flats:

NUMBER OF BEDROOMS	NUMBER OF BED SPACES	MINIMUM NIA (SQM)	BUILT-IN STORAGE (SQM)	BALCONY (SQM)
1B	2P	50	1.5	5
2B	3P	61	2.0	6
2B	4P	70	2.0	7
3B	5P	86	2.5	8

- To provide compliant flats sizes the footprint on the first and second floor has to increase slightly to the south and east.
- Furthermore, minimum required storage spaces need to be included in the flat layouts.

LANDSCAPE

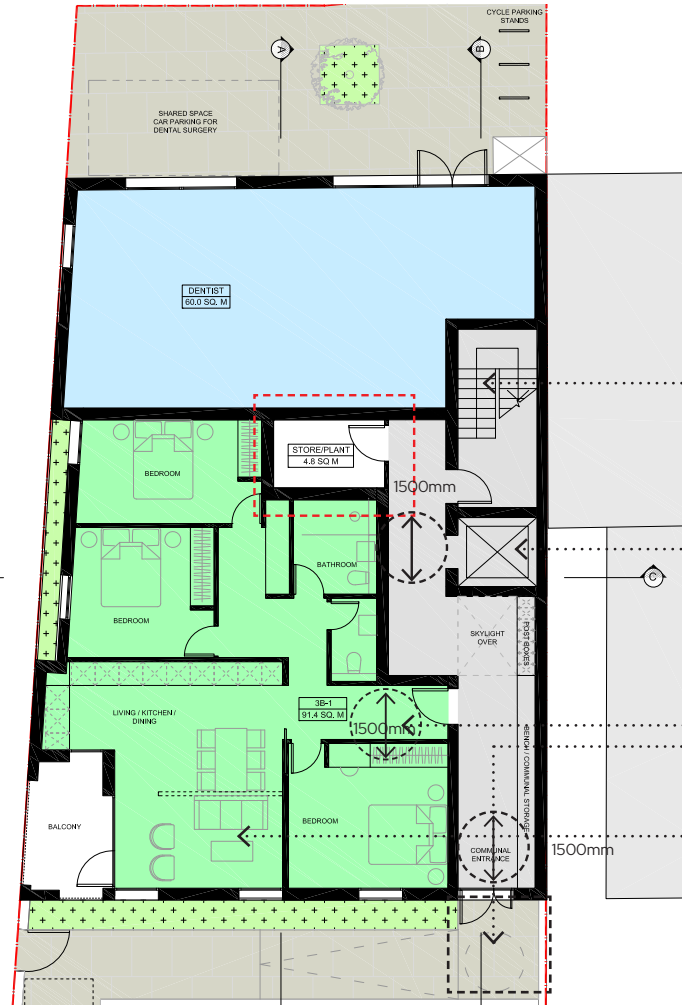
- A similar analysis of the landscaping has resulted in a number of changes in order to comply with Building Regulations.
- These are highlighted in the relevant chapters of this document.

DRAWING ISSUE SHEET

	CONSENTED PLANNING DRAWINGS PLANNING REF. 27345/APP/2021/1291	SECTION 73 PROPOSED DRAWINGS
PROPOSED GROUND FLOOR PLAN	001_2000 REV.03	21002-STY-00-DR-A-P01-100-A
PROPOSED FIRST FLOOR PLAN	001_2001 RE.02	21002-STY-01-DR-A-P01-101-A
PROPOSED SECOND FLOOR PLAN	001_2002 REV.02	21002-STY-02-DR-A-P01-102-A
PROPOSED ROOF PLAN	001_2003 REV. 02	21002-STY-03-DR-A-P01-103-A
PROPOSED SITE PLAN	001_2005 REV. 03	21002-STY-00-DR-A-P00-001-A
PROPOSED SITE CONTEXT PLAN	001_2006 REV. 02	21002-STY-00-DR-A-P00-002-A
PROPOSED NORTH ELEVATION	001_2020 REV. 03	21002-STY-ZZ-DR-A-P03-301-A
PROPOSED WEST ELEVATION	001_2021 REV. 04	21002-STY-ZZ-DR-A-P03-302-A
PROPOSED SOUTH ELEVATION	001_2022 REV. 03	21002-STY-ZZ-DR-A-P03-303-A
PROPOSED EAST ELEVATION	001_2023 REV. 03	21002-STY-ZZ-DR-A-P03-304-A
PROPOSED STREET SCENES	001_2030 REV. 03	21002-STY-ZZ-DR-A-P03-300-A
PROPOSED STREET SECTIONS	001_2031 REV. 03	21002-STY-ZZ-DR-A-P02-200-A
PROPOSED SECTION A-A	001_2040 REV. 01	21002-STY-ZZ-DR-A-P02-201-A
PROPOSED SECTION B-B	001_2041 REV. 01	21002-STY-ZZ-DR-A-P02-202-A
PROPOSED SECTION C-C	001_2042 REV. 01	21002-STY-ZZ-DR-A-P02-203-A
WEST ELEVATION OVERLAY	001_2050_REV. 00	21002-STY-ZZ-DR-A-P03-305-A

GROUND FLOOR

1.1.1 BUILDING REGULATIONS



COMMUNAL STAIRCASE

Part K:

- Non fire-fighting stair: 900mm (between handrails)
- Fire-fighting stair: 1100mm (between walls/balustrade).

COMMUNAL LIFTS

Part M4(2):

- A clear landing, a minimum of 1500mm long x 1500mm wide, needs to be provided directly in front of the lift door at **every floor level**.

LAYOUT

Part B - Open plan layouts require sprinkler systems.

- If spinkler systems are not intended then the layout cannot be open plan as cooking facilities need to be remote from the main entrance door and do not impede the escape route from anywhere in the flat.

COMMUNAL ENTRANCES

Every communal door along the approach route should have:

- Canopy covering a minimum of width and depth of 1200 x 900mm for M4(2).
- Clear turning circle 1500mm in diameter inside the entrance area behind the entrance door.

SPACE REQUIREMENTS

- Minimum 1500mm diameter clear turning circle behind closed front door of flat.

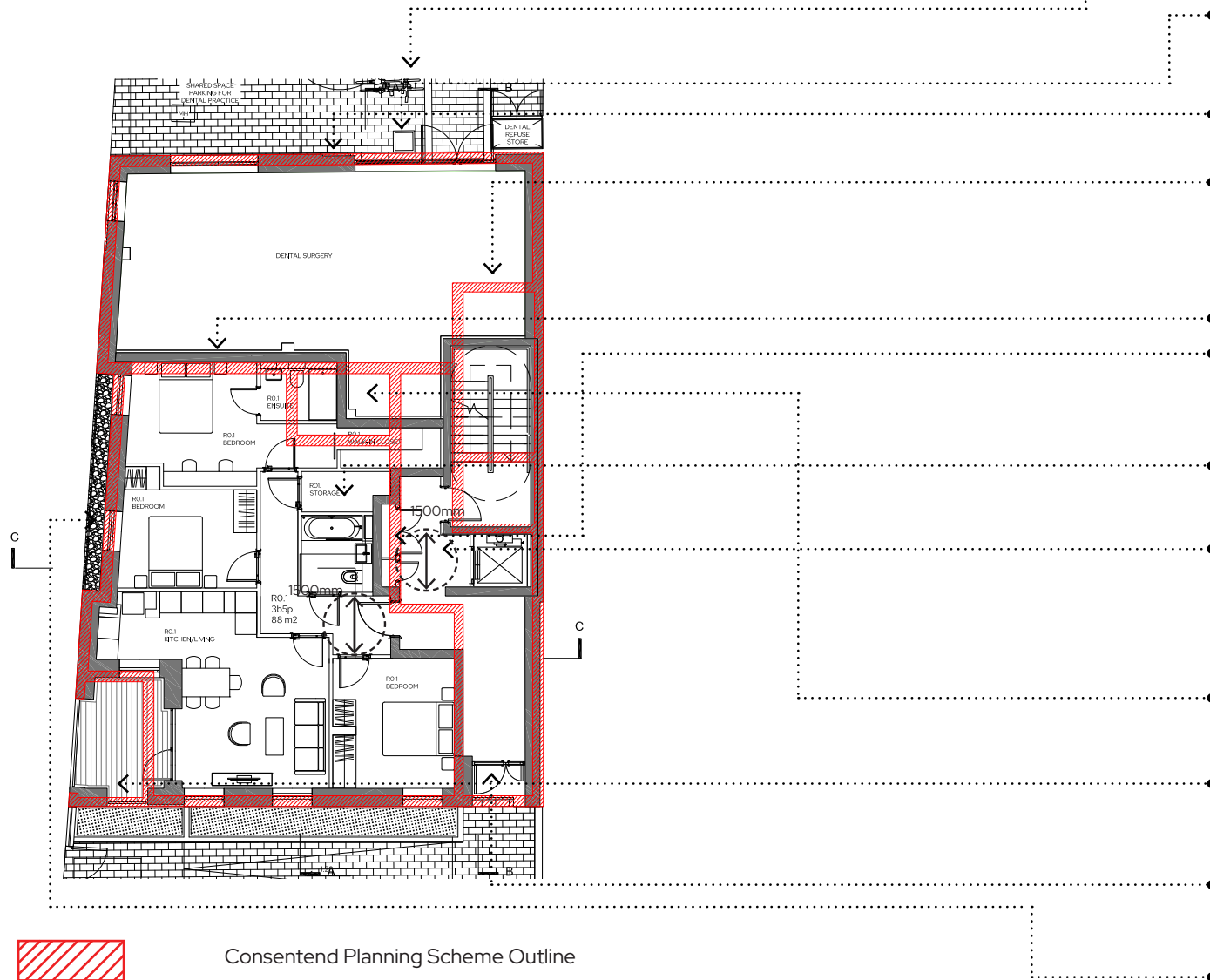
SERVICES

- Risers within the bathroom/cloakroom have not been included and the bathrooms and kitchens are not stacked.
- The size and requirement of the plant room had not been assessed by an M&E consultant.

Approved Planning Drawing
001_2000 Rev. 03_Proposed Ground Floor Plan

GROUND FLOOR

1.1.2 OVERLAY WITH APPROVED PLANNING DRAWINGS



Cycle storage relocated west of dental practice entrance to allow sufficient space for when stands are in use and for access and use of dental waste bin.

Free standing planter added outside dental practice door to prevent door opening onto pedestrians.

External wall thickness increased from 300mm to 508 mm to meet NBHC and Part B standards

Staircase and lift had to shift further south so flats on the upper floor can meet minimum space standards. Staircase increased in width and length to comply with Part K.

Party wall shifted to allow stacking with wall above.

Risers in the communal area and flats have previously not been included. These have been added and stacked.

Minimum in-built storage space requirements included.

Circle indicates 1500mm x 1500mm space required in front of lift doors on all floors.

Flat layout revised to provide protected routes out in the event of a fire without the need of sprinklers.

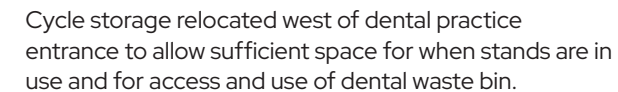
Plant room not required. Space added in parts to the dental surgery and the 3 bedroom flat to comply with minimum space standards.

Balcony was previously 6 sqm. Needed to be increased to 8 sqm to meet minimum space standards for 3b5p.

Entrance door shifted inwards to avoid adding a 'clip on' canopy which would change the design of the scheme.

Replacing the raised planter with gravel and balustrade. This is due to maintenance and security reasons.

1.1.3 PROPOSED LANDSCAPE CHANGES



Free standing planter added outside dental practice door to prevent door opening onto pedestrians.

Subtle paving band introduced to demarcate pedestrian entrance of dental practice.

Paving and surface finishes to front and rear areas clarified based on hierarchy of use. Block paving to frontage with a mix of sizes to delineate use and tarmac/concrete used for 'back of house' areas. Block paving has been selected for its suitability for lightly trafficked areas (car parking and wheelie bin use).

Residential bin and cycle stores are shown with a sedum roof (2990-LA-02). The introduction of the sedum roof is in compensation for its removal from the roof above the residential corridor which would have been very difficult to maintain.

Lighting bollards included to ensure sufficient levels of lighting for escape routes and amenity.

Ramp to residential access revised to have a shallower gradient, therefore forming a slope and improving the approach route.

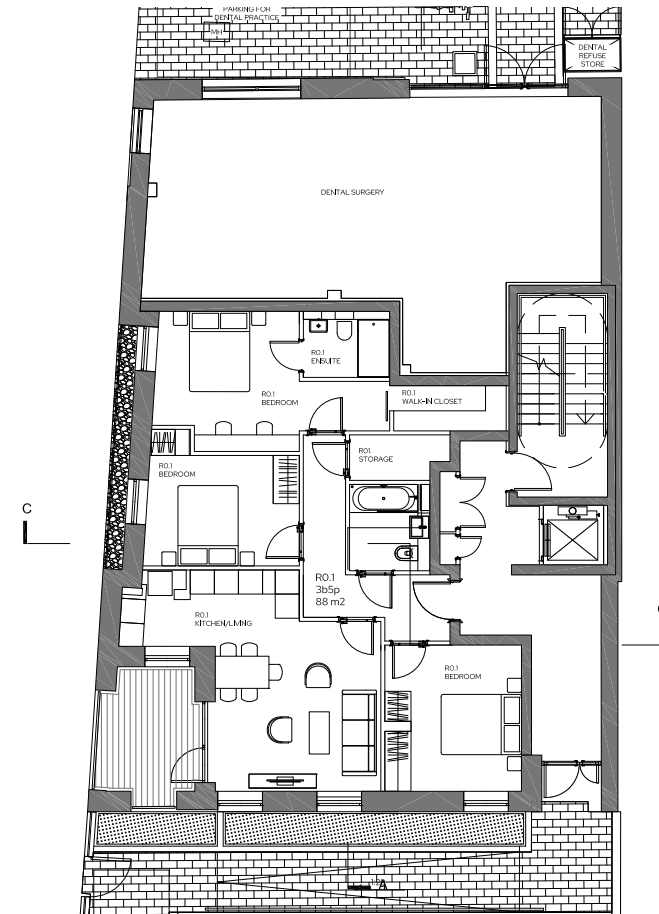
Residential cycle store walls increased in height to allow for double stacking product and a roof (roof not allowed for in consented scheme). A wall has also replaced a section of railing to provide more security to the cycle store and consistency of the elevation with the main building. The increase in height is from circa 2.3m at bin store to 3m.

GROUND FLOOR

1.1.4 COMPARISON PLANNING DRAWING VS REVISED DRAWING



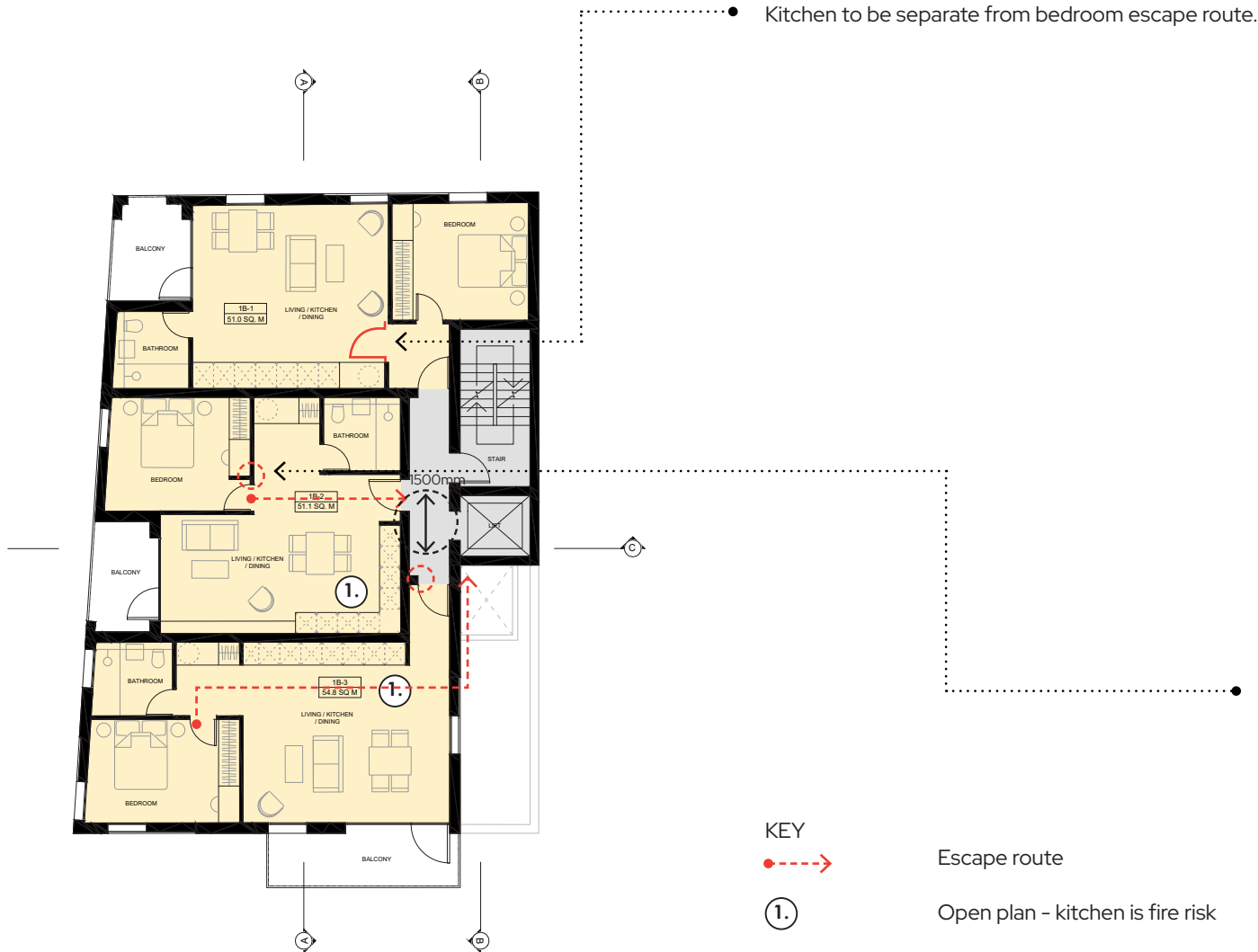
Approved Planning Drawing
001_2000 Rev. 03_Proposed Ground Floor Plan



Revised Drawings
21002-STY-00-DR-A-P01-100-A_PROPOSED GROUND FLOOR PLAN

FIRST FLOOR

1.2.1 BUILDING REGULATIONS



Approved Planning Drawing
001_2001 Rev. 02_Proposed First Floor Plan

APPROVED DOCUMENT B VOLUME 1 - DWELLINGHOUSES

Inner Rooms - A room whose only escape route is through another room is termed an inner room. Such an arrangement is only acceptable where the inner room is a kitchen, a laundry or utility room, a dressing room, a bathroom/WC/shower room.

Typically open plan flat layouts are only acceptable when the building is sprinklered. An alternative solution could be a water misting fire suppression system. If a water misting system is deemed unacceptable then the layout will need to include a safe corridor to the flat entrance.

From the flat entrance door, a single escape route is acceptable in either of the following cases:

- The flat is on a storey served by a single common stair and both of the following apply:
- Every flat is separated from the common stair by a **protected lobby** or common protected corridor.
- The maximum travel distance for escape in one direction only, is not exceeded.

SPACE AND LAYOUT REQUIREMENTS

A minimum 300mm nib is provided to the leading edge of the door and the extra width created by the nib is maintained for a min. distance of 1200mm beyond it.

- Risers within the bathroom/cloakroom have not been included and the bathrooms and kitchens are not stacked.
- Minimum space standards in bedrooms need to be taken into consideration to meet PartM4(2).

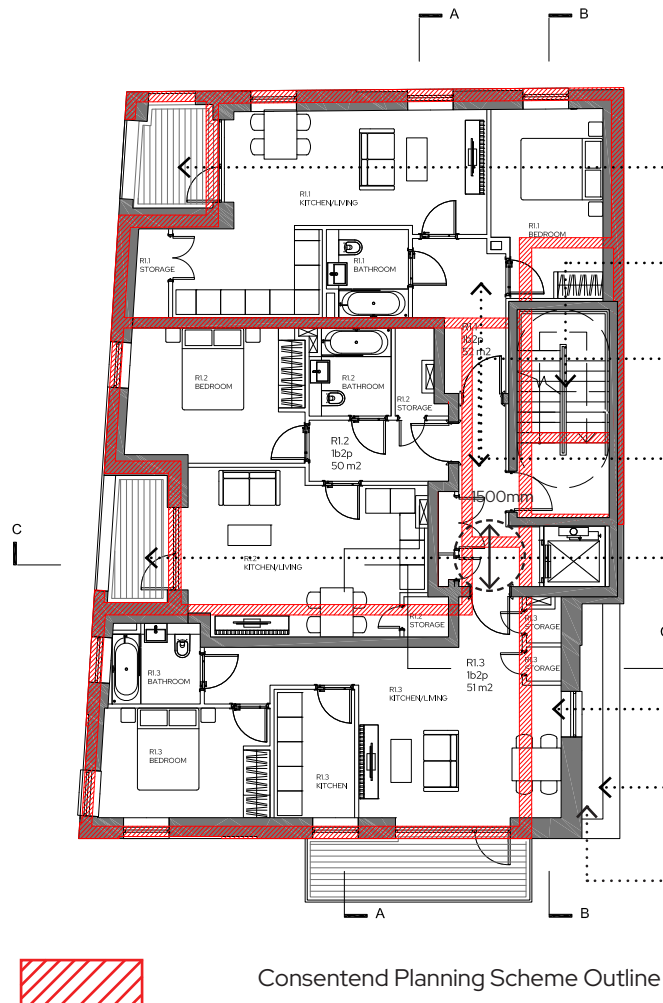
COMMUNAL LIFTS

Part M4(2):

- A clear landing, a minimum of 1500mm long x 1500mm wide, needs to be provided directly in front of the lift door at **every floor level**.

FIRST FLOOR

1.2.2 OVERLAY WITH APPROVED PLANNING DRAWINGS



External wall thickness increased from 300mm to 508 mm to meet NBHC and Part B standards.

To comply with minimum space standards the core has to shift to the south and the building slightly increased to the east so that every 1 bedroom flat has a minimum NIA of 50 sqm.

Balcony sizes increased to meet minimum space standards.

Staircase increased in width and length to comply with Part K.

Circle indicates 1500mm x 1500mm space required in front of lift doors on all floors.

Protected corridors in all flats as open plan layouts are only possible with a mist or sprinkler system.

Minimum storage space requirements included.

Risers in the communal area and the flats have previously not been included. These have been added and stacked.

Massing of the building has increased in order to comply with minimum space standards for each flat.

Roof light and sedum roof above the communal corridor removed as the building has to increase.

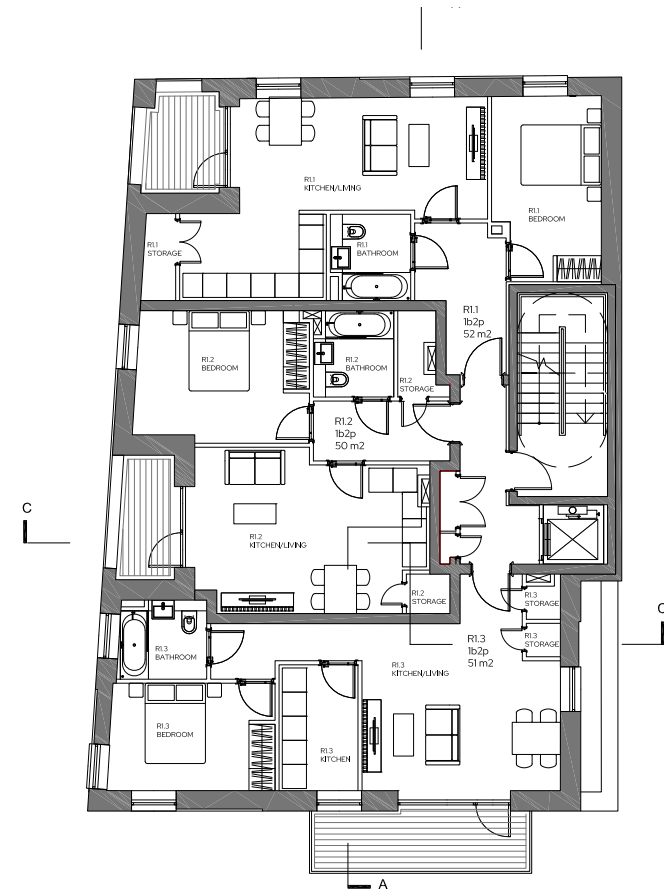
Sedum roof replaced with pebble roof at lower level above residential entrance as maintenance access is restricted.

FIRST FLOOR

1.2.3 COMPARISON PLANNING DRAWING VS REVISED DRAWING



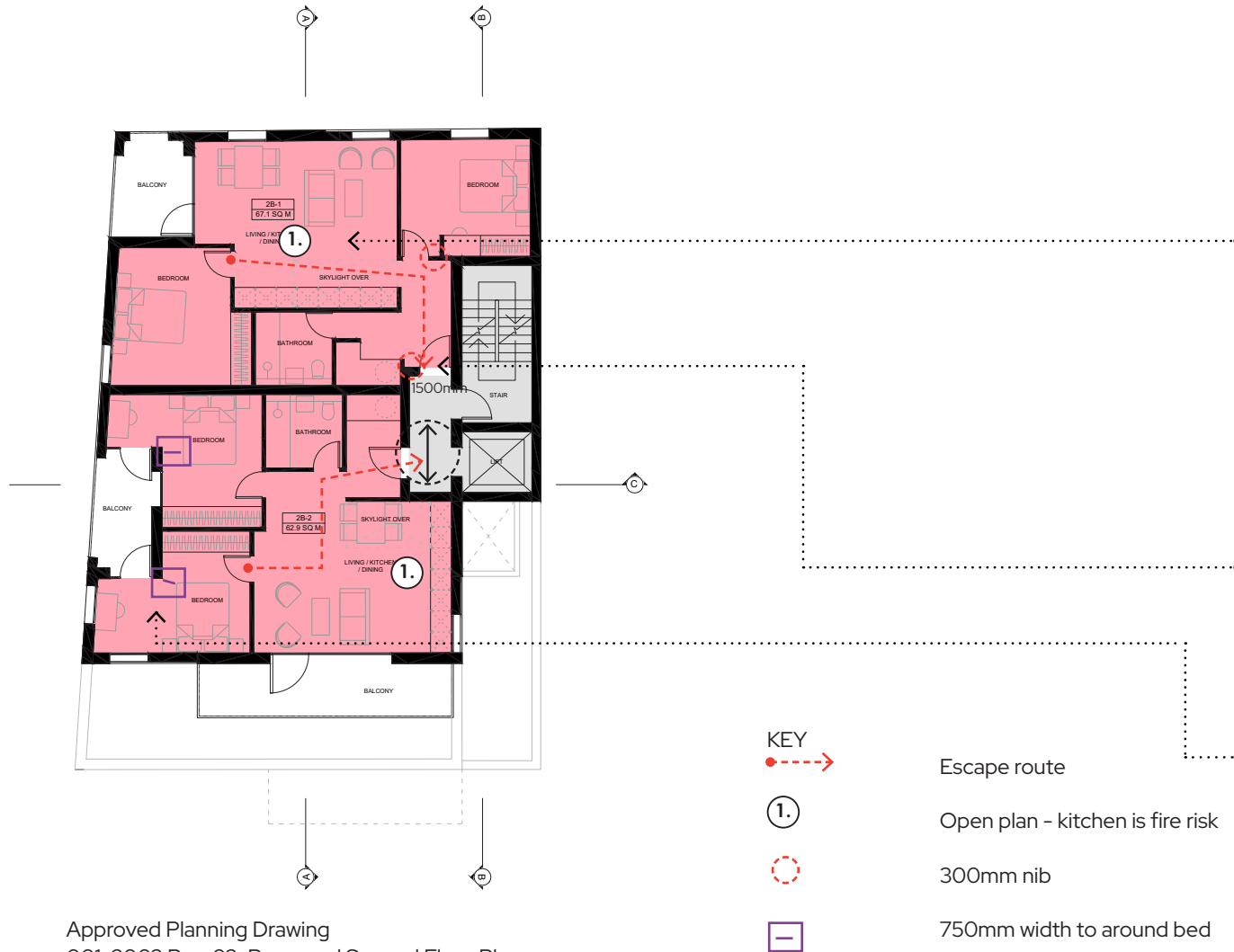
Approved Planning Drawing
001_2001 Rev. 02_Proposed First Floor Plan



Revised Drawings
21002-STY-01-DR-A-P01-101-A_PROPOSED FIRST FLOOR PLAN

SECOND FLOOR

1.3.1 BUILDING REGULATIONS



APPROVED DOCUMENT B VOLUME 1 – DWELLINGHOUSES

Inner Rooms – A room whose only escape route is through another room is termed an inner room. Such an arrangement is only acceptable where the inner room is a kitchen, a laundry or utility room, a dressing room, a bathroom/WC/shower room.

Typically open plan flat layouts are only acceptable when the building is sprinklered. An alternative solution could be a water misting fire suppression system. If a water misting system is deemed unacceptable then the layout will need to include a safe corridor to the flat entrance.

From the flat entrance door, a single escape route is acceptable in either of the following cases:

- The flat is on a storey served by a single common stair and both of the following apply:
- Every flat is separated from the common stair by a **protected lobby** or common protected corridor.
- The maximum travel distance for escape in one direction only, is not exceeded.

SPACE AND LAYOUT REQUIREMENTS

A minimum 300mm nib is provided to the leading edge of the door and the extra width created by the nib is maintained for a min. distance of 1200mm beyond it.

- Risers within the bathroom/cloakroom have not been included and the bathrooms and kitchens are not stacked.
- Minimum space standards in bedrooms need to be taken into consideration to meet PartM4(2).

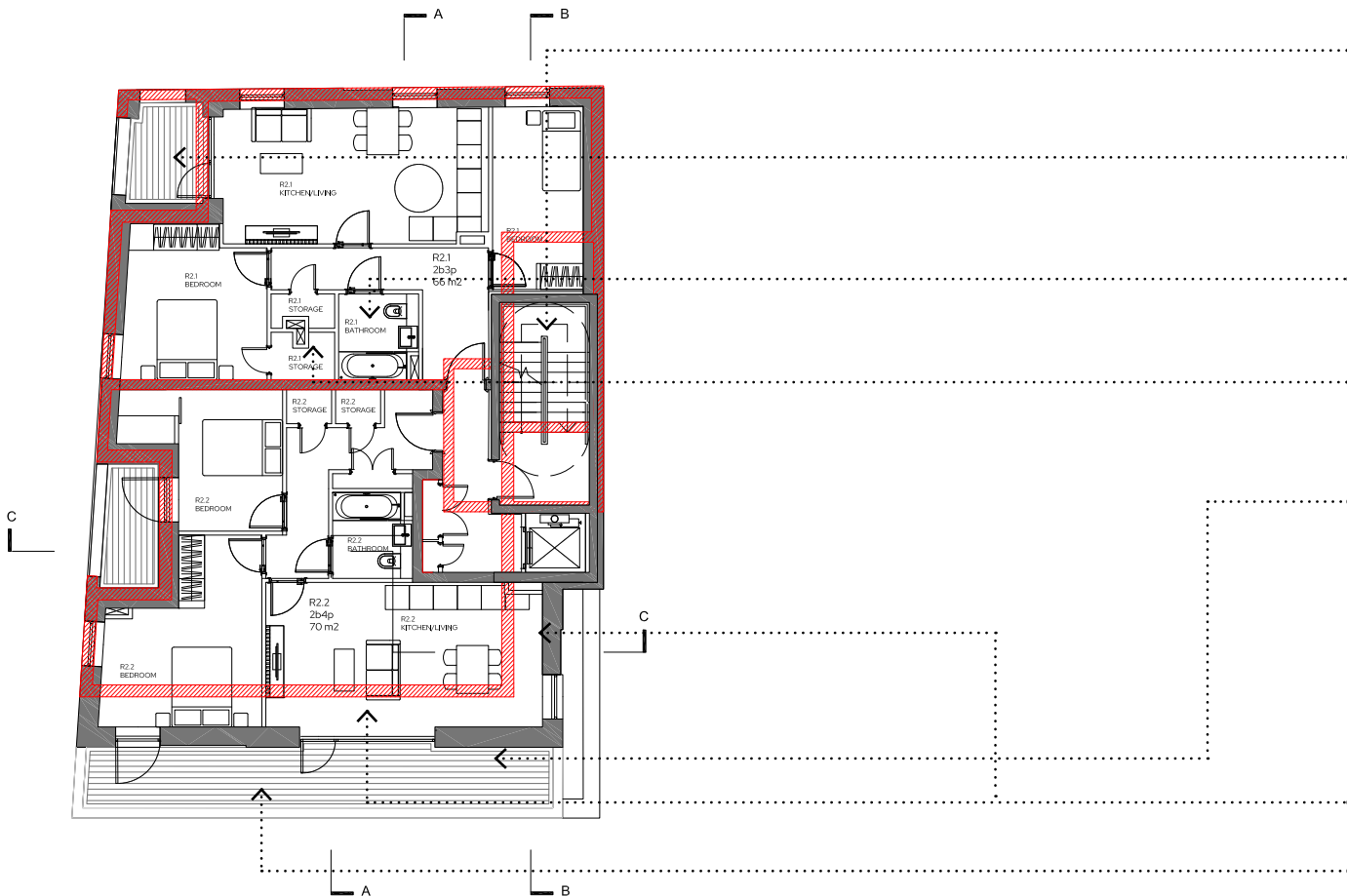
COMMUNAL LIFTS

Part M4(2):

- A clear landing, a minimum of 1500mm long x 1500mm wide, needs to be provided directly in front of the lift door at **every floor level**.

SECOND FLOOR

1.3.2 OVERLAY WITH APPROVED PLANNING DRAWINGS



Consentend Planning Scheme Outline

External wall thickness increased from 300mm to 508 mm to meet NBHC and Part B standards.

Staircase increased in width and length to comply with Part K.

Balcony size had to increase to meet minimum space standards.

Position of bathrooms on all floors had to shift in order to be able to stack risers.

Internal built-in storage has been included as per the minimum space standard requirements.

Terrace is extended as the proposed sedum roof cannot be maintained efficiently.

Risers in the communal area and the flats have previously not been included. These have been added and stacked.

Massing of the building has increased in order to comply with minimum space standards for each flat.

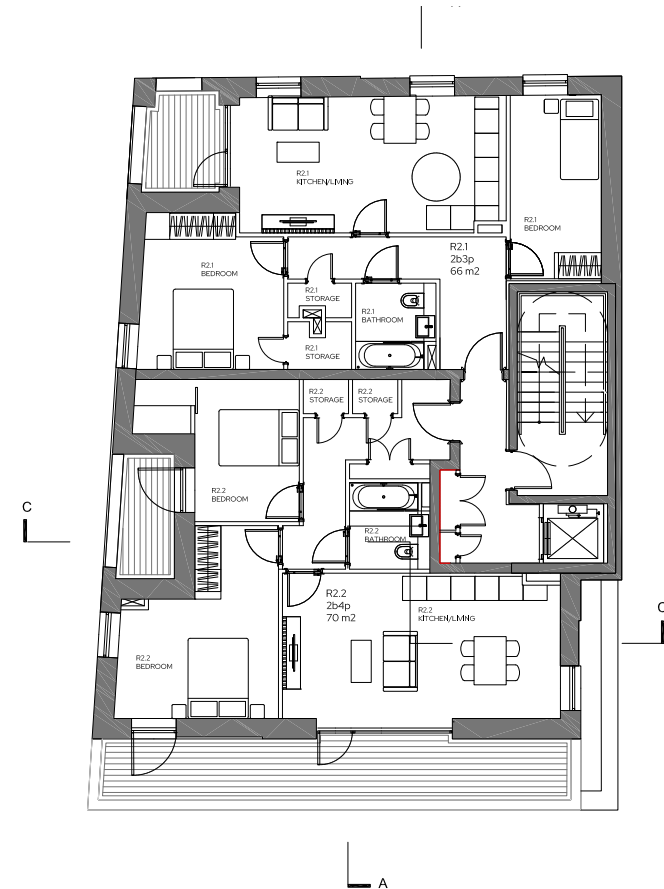
Terrace extended to provide bedroom with access to external amenity space.

SECOND FLOOR

1.3.3 COMPARISON PLANNING DRAWING VS REVISED DRAWING



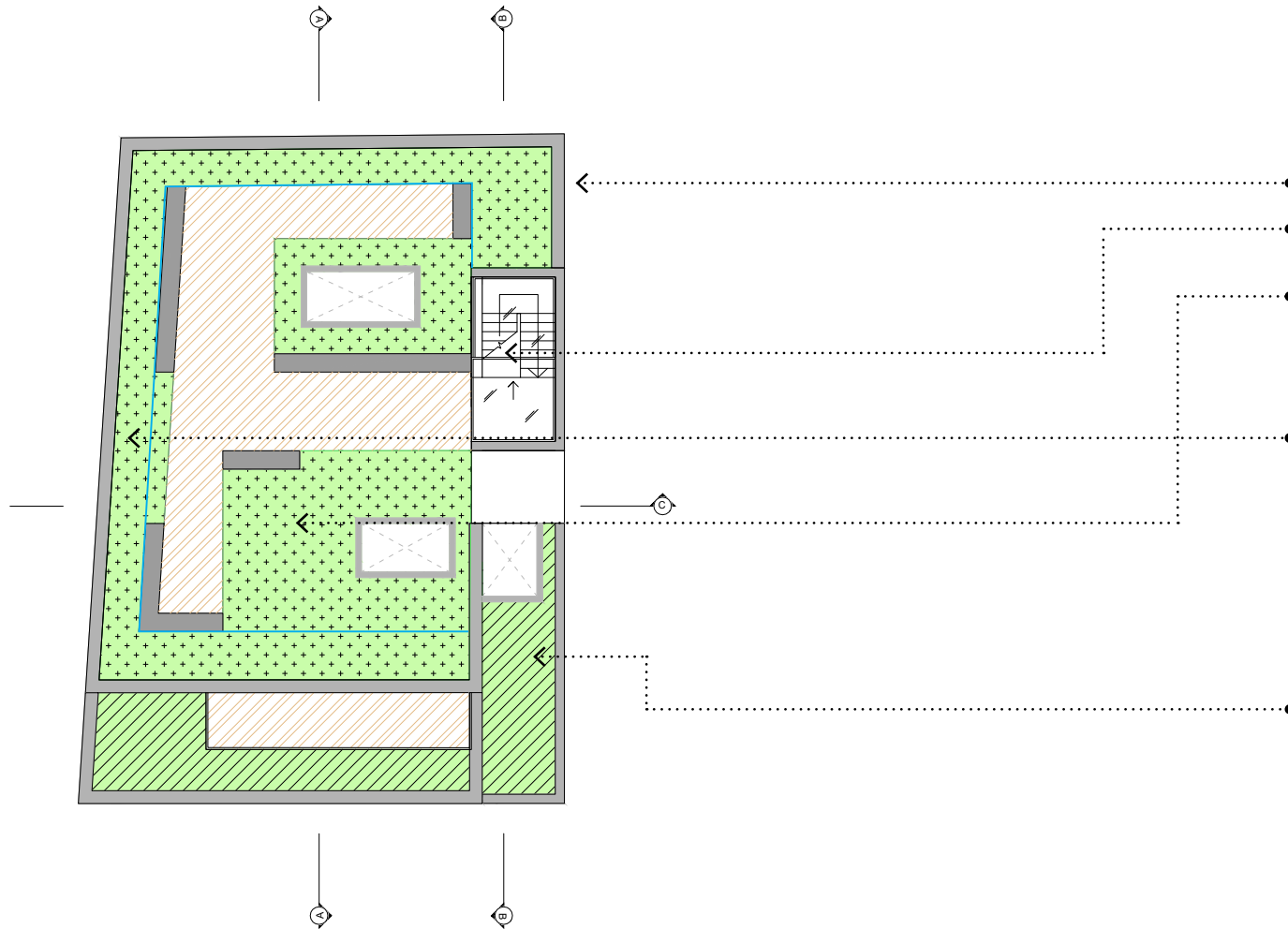
Approved Planning Drawing
001_2002 Rev. 02_Proposed Second Floor Plan



Revised Drawings
21002-STY-02-DR-A-P01-102-A_PROPOSED SECOND FLOOR PLAN

ROOF PLAN

1.4.1 BUILDING REGULATIONS



External wall thickness increased from 300mm to 508 mm to meet NBHC and Part B standards.

Staircase increased in width and length to comply with

To achieve the level of soft landscaping as per the consented scheme a minimum of 500mm build-up above FFL is required. This is higher than currently proposed.

The consented planning drawings propose a strip of planting between the parapet and the balustrade. This makes maintenance very complicated and requires the balustrade to be raised by 1100mm above the 500mm of soft landscaping to comply with Part K.

To avoid this the balustrade can be fixed directly to the inside of the parapet.

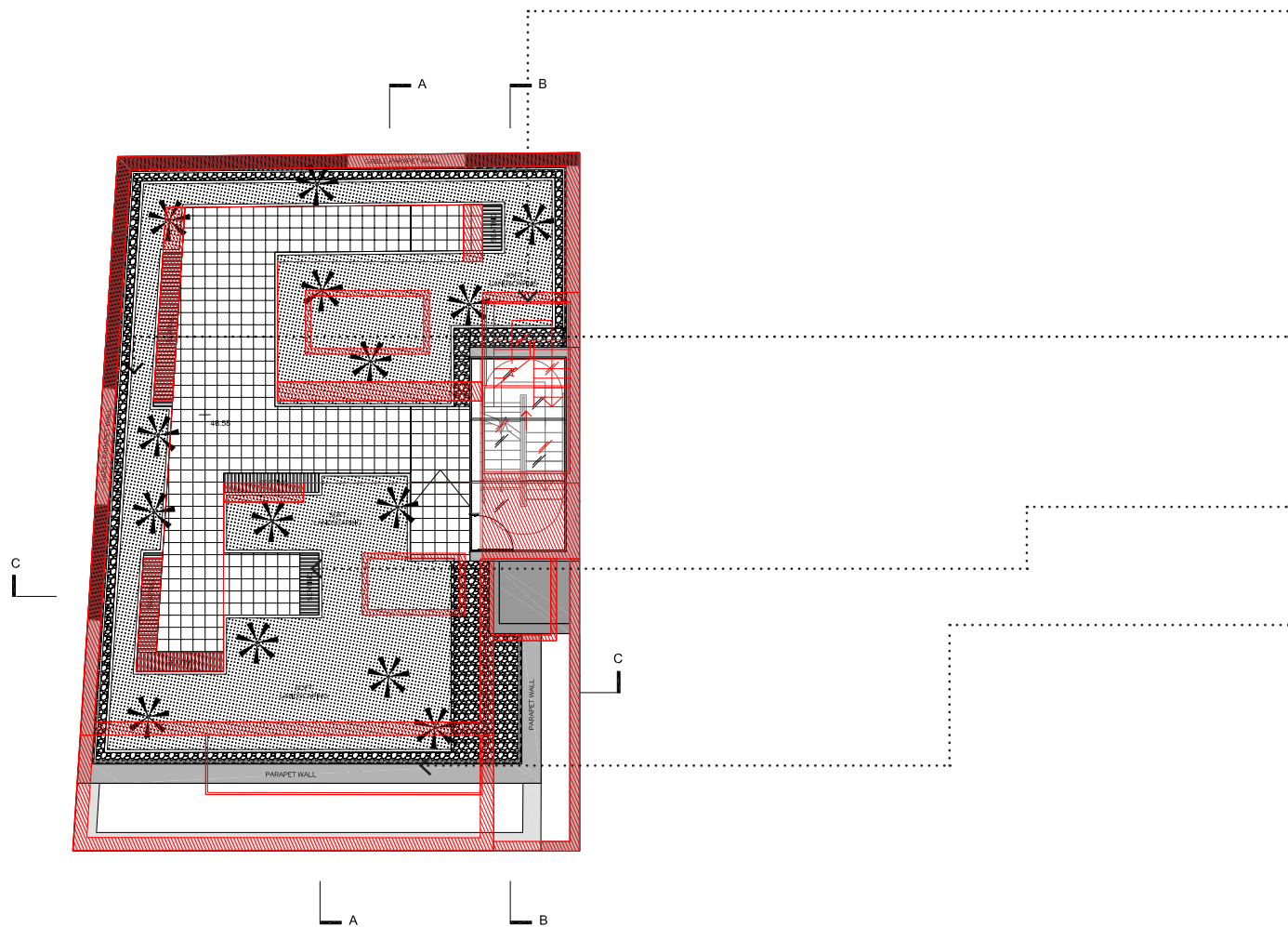
Sedum roof replaced with pebble roof at lower level above residential entrance as maintenance access is restricted.

No lighting has been included in the proposal. Minimum recommended lighting level needs to be provided for safety reasons.

Approved Planning Drawing
001_2003 Rev. 02_Proposed Roof Plan

ROOF PLAN

1.4.2 OVERLAY WITH APPROVED PLANNING DRAWINGS



Consentend Planning Scheme Outline

Staircase increased in width and length to comply with Part K.

Due to the footprint of the second floor slightly increasing, the size of the terrace has also increased and therefore delivers more communal amenity space for the residents.

Massing of the building has increased in order to comply with minimum space standards for each flat.

Fire breaks have been integrated around the perimeter of the roofs and any penetrations in line with The GRO Green Roof Code. This does slightly reduce the area of planting.

Lighting added.

Integrated benches rationalised to maximise planting space where it has been reduced by the inclusion of fire breaks.

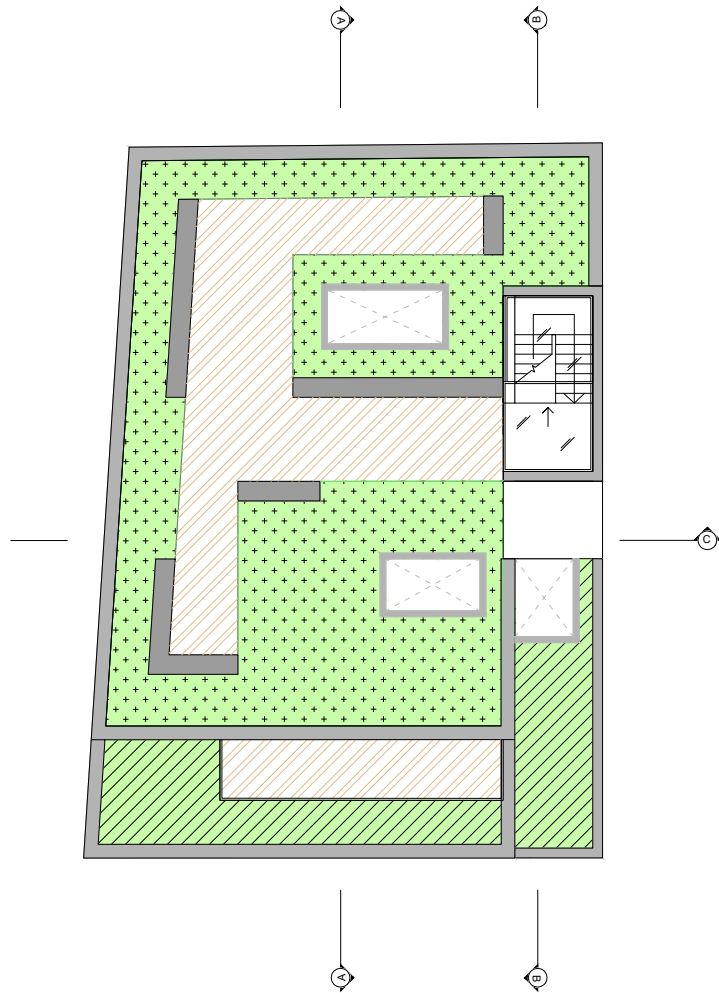
Balustrade relocated to parapet for a more robust detail and for ease of maintaining both balustrade and the plants.

Zone between parapet and balustrade changed to gravel margin to provide a safer and simpler maintenance strategy.

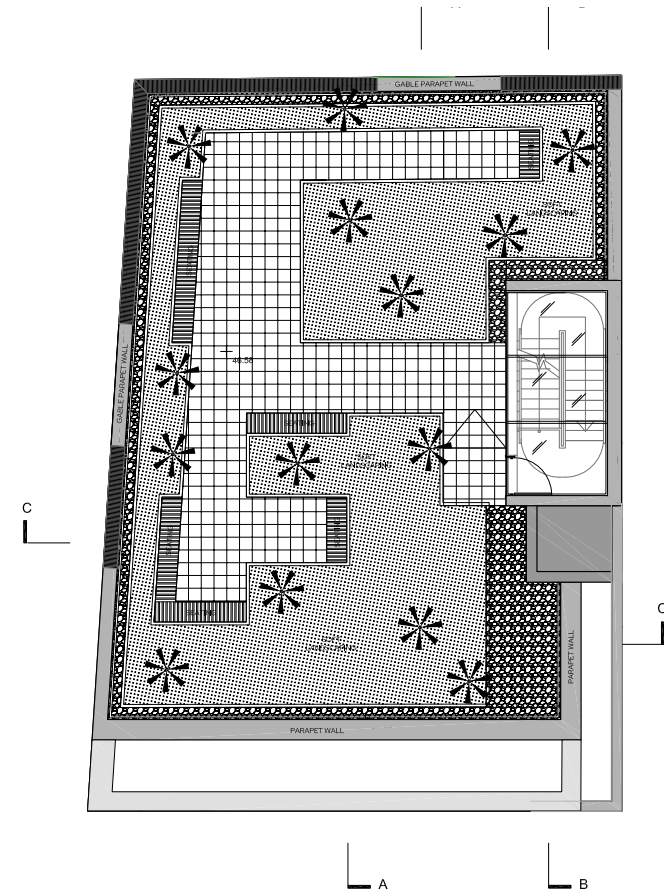
Fire breaks have been integrated around the perimeter of the roofs and any penetrations in line with The GRO Green Roof Code. This does slightly reduce the area of planting.

ROOF PLAN

1.4.3 COMPARISON PLANNING DRAWING VS REVISED DRAWING



Approved Planning Drawing
001_2003 Rev. 02_Proposed Roof Plan



Revised Drawings
21002-STY-03-DR-A-P01-103-A_PROPOSED ROOF PLAN

SECTION A-A

2.1.1 BUILDING REGULATIONS



Approved Planning Drawing
001_2040 Rev. 01_Proposed Section A-A

EXTERNAL WALL BUILD-UP

- As per the Hackett report non-combustable materials should be used to all cladding materials. This infers using mineral fibre insulation regardless of whether this is below or above 18 metres.
- In order to accommodate the recommended type of insulation the width of the external walls has to increase from 300mm to 508mm.

FLOOR TO FLOOR HEIGHTS

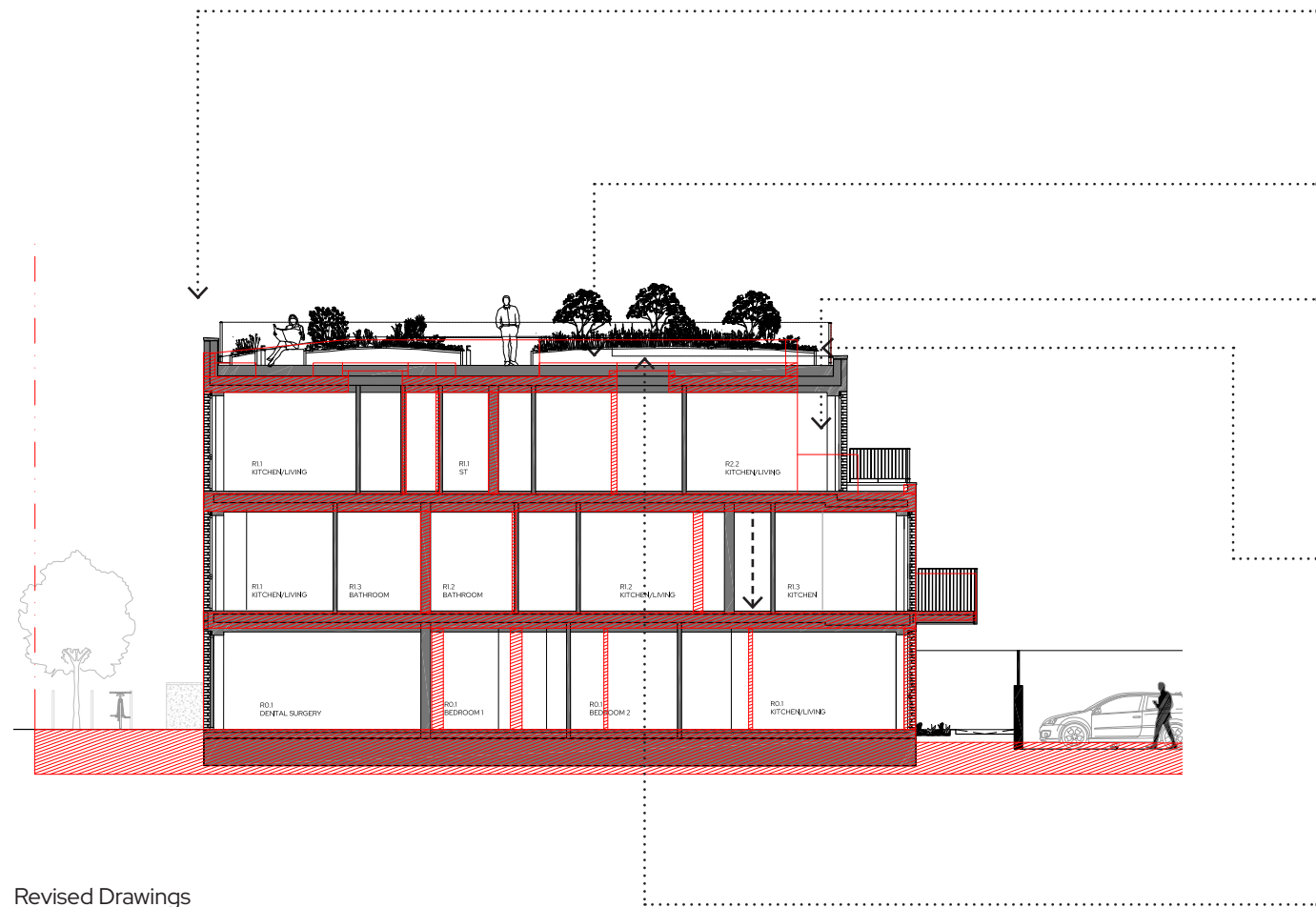
- The approved planning drawings indicate a floor to floor height of 3000mm (GF) and 3050mm (upper floors).
- Inset balconies over heated internal spaces require the slab to step down, not only to provide level access but also to allow for the slab to be wrapped in insulation to avoid coldbridging.
- This leads to a reduced floor to ceiling height.
- To achieve a clear internal height of 2500mm and work within brick dimensions the floor to ceiling height is increased to 3150mm.

LANDSCAPING

- To achieve the level of proposed soft landscaping on the roof a minimum of 500mm build up above FFL is required. To support this load the slab thickness has to increase.
- Furthermore, the planning drawings propose a strip of planting between the parapet and the balustrade. This makes maintenance very complicated and requires the balustrade to be raised by 1100mm above the 500mm of soft landscaping to comply with Part K.
- To avoid this the balustrade can be fixed directly to the inside of the parapet.

SECTION A-A

2.1.2 OVERLAY WITH APPROVED PLANNING DRAWINGS



Revised Drawings
21002-STY-ZZ-DR-A-P02-201-A_PROPOSED SECTION A-A



Consentend Planning Scheme Outline

The height of the parapet has remained the same, however the balustrade has had to be raised by 450mm.

To achieve the level of proposed soft landscaping a minimum of 500mm build up above FFL is required. To support this load the slab thickness has to increase.

Footprint of the second floor has increased to comply with minimum space standards for the flats.

Due to the footprint of the second floor slightly increasing, the size of the terrace has also increased and therefore delivers more communal amenity space for the residents.

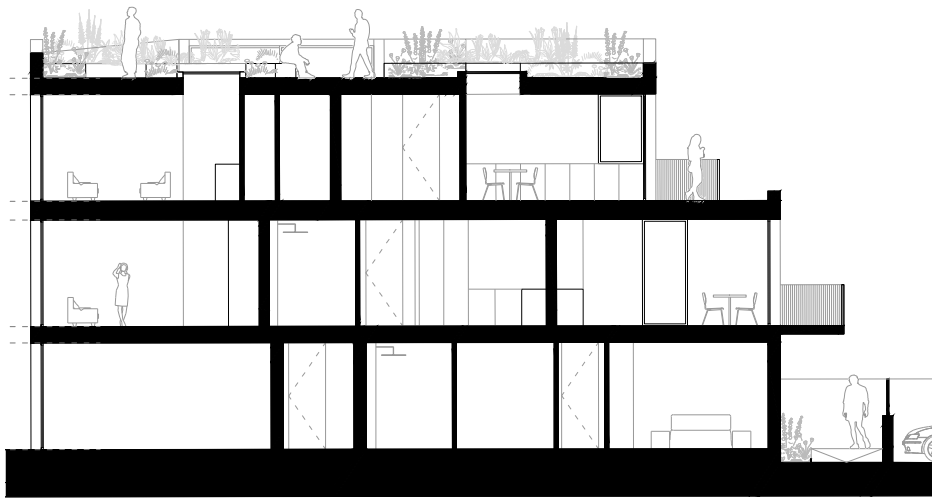
Zone between parapet and balustrade changed to gravel margin to provide a safer and simpler maintenance strategy.

Fire breaks have been integrated around the perimeter of the roofs and any penetrations in line with The GRO Green Roof Code.

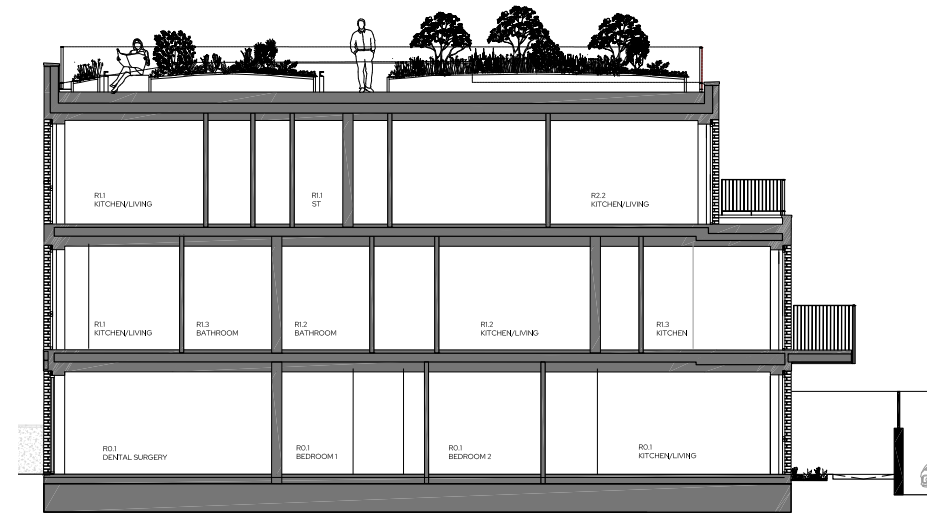
Removal of skylights above the residential flats.

SECTION A-A

2.1.3 COMPARISON PLANNING DRAWING VS REVISED DRAWING



Approved Planning Drawing
001_2040 Rev. 01_Proposed Section A-A



Revised Drawings
21002-STY-ZZ-DR-A-P02-201-A_PROPOSED SECTION A-A