

Application ref PP - 09318502

PLANNING APPROVAL ref.26886.APP/2020/1067 dated 01-09-2020

APPLICATION FOR DISCHARGE OF CONDITION 4 –

AMENDED APPLICATION FOR 26886/APP/2020/2986 – Refused 19th November 2020

SOFT LANDSCAPING SCHEME

SOFT PLANTING

NEW PLANTING

All planting to be carried out between September and March when weather conditions should be optimum. We aim to avoid periods of draught, water logging and frost. All planting areas should be made up of good quality topsoil, free of perennial weeds and weed seeds. There should be a minimum planting depth of 450mm.

At the time of planting 20mm of well rotted manure or proprietary soil conditioner will be spread over the surface along with bone meal fertiliser at the rate of 50g per sq.m. All shrubs to be planted with existing soil level/root ball at ground level. Shrub beds will be mulched to help reduce further maintenance (i.e. weeding).

All plants to be watered in. Plant beds to be arranged with the tallest plants to the back of the bed and lavender to the edge of the bed wherever possible.

FRONT GARDENS – each house the same

Vehicles will be reversed into their allocated parking spaces so that children getting into and out of the vehicles can walk behind the vehicles to get in and out of their respective cars safely , and are therefore, as far away from the road, (Belfry Avenue), as possible, so the safety risks from other vehicles are also eliminated as much as is humanly possible.

New planting to Front elevation – Marked 2 & 3 on the plan

2 X Jasminum nudiflorum, 300mm - 450mm in height, in 1 litre pots

1 X Skimma japonica, 300mm - 450mm in height, in 1 litre pots

1 X Lonicera purpusii, 300mm - 450mm in height, in 1 litre pots

4 X Lavandula Angustifolia, 300mm - 450mm in height, in 1 litre pots

New planting to boundaries of Front Gardens – Marked 1 & 4 on the plan

6 X Lavandula Angustifolia, 300mm - 450mm in height, in 1 litre pots for each area

PLUS

3 x Lonicera henryi - Henry's Evergreen Honeysuckle in 2-3 Ltr pots for each Bin Store Screening

REAR GARDENS

HOUSE NUMBER 2

The existing shrubs are -

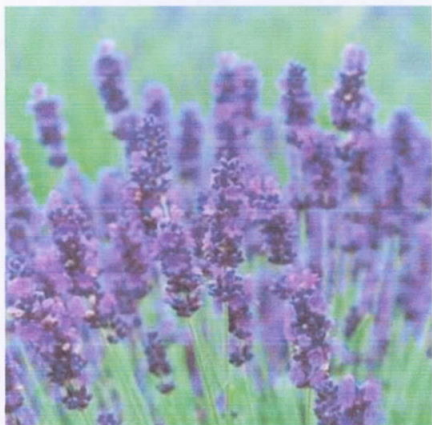
Maple

Viburnum

Weigela
Ivy
Berberis

The existing shrubs in Garden 2 along the rear boundary with Crantock are very well established and will be retained as a living hedge to screen the garden.
These shrubs are in a raised bed along the boundary of Garden 2 and are currently in the region of 1metre wide and thick and up to 2.5metres tall.
We will add to the front of this border -

6 X Lavandula Angustifolia, 300mm - 450mm in height, in 1 litre pots



HOUSE NUMBER 1 & 2 NEW PLANTING ON REAR BOUNDARY

2 X Jasminum nudiflorum, 300mm - 450mm in height, in 1 litre pots

1 X Skimma japonica, 300mm - 450mm in height, in 1litre pots

1 X Lonicera purpusii, 300mm - 450mm in height, in 1 litre pots

4 X Lavandula Angustifolia, 300mm - 450mm in height, in 1 litre pots

and to attract butterflies -

Butterfly Bush 'Tricolor' purple-white-pink



Buddleja davidii 'Tricolor'180 – 200cm in height – 3ltr pots - perennial - lovely smell

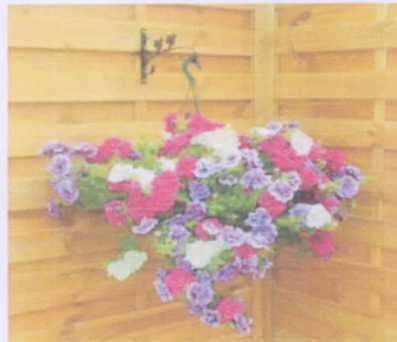
Against the dividing fence in the rear garden approximately 2.7m from the rear boundary – 1 each side, we would like to plant

Clematis armandii - evergreen climber - 300mm - 450mm in height – 3ltr pots



We propose a variety of 6 moveable planters/pots in each front and rear garden – e.g. Herbs, pansies, petunias, geraniums etc.

We will also have 2 hanging baskets on each of the front elevations.



HARD LANDSCAPING

PARKING AREAS

There is parking allocated for two cars per property as shown on the plan.
One “Active” and one “Passive”.

Vehicles will be reversed into the designated spaces for safety and to eliminate risks when getting into and out of vehicles.

The existing pavers will be retained along with the existing drainage.

The area currently grassed will be paved to accommodate the active parking space for House 2 with a dropped kerb that will be installed to comply with requirements from the Highways Department. Matching pavers will be used for this parking area.

The existing pavers on the front parking area will be retained and new areas required will be constructed with matching

Brett Paving Alpha TRIO Autumn Blend Permeable Block Paving.

These will be laid in accordance with the Brett Paving Specifications, for non-dig construction.

Above the existing ground level will consist of 50mm of 6mm clean crushed stone laid directly under paving on 200mm layer sub-base comprising 20mm clean crushed stone. Joints to paving to be filled with 6mm clean crushed stone. Non-dig build up is to be retained at the edge with concrete kerbing set in a lean mix concrete bed.



Surfacing

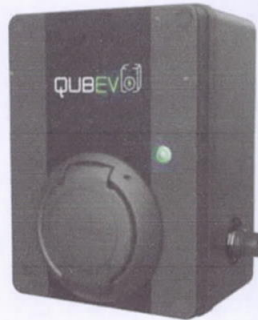
All slabbed and paved areas to be weeded regularly throughout the growing season (March to October) either manually or by using suitable herbicides.

ELECTRIC CHARGING POINTS

An ECP for each property will be installed on the front wall of each house. It is then easily accessible to the “Active” Parking Space of each house.

QUBEV - EV CHARGING UNIT | TYPE 2 SOCKET | 32 AMP/7.2 KW | IP65

Dimensions - 150mm x 200mm x 100mm (W x H x D)



REAR GARDEN PATIOS

The existing patio area for each garden will be retained.

The patio in Garden 2 will be extended to cover the existing gravel area by the utility door, matching the existing slabs.

This area will be constructed with matching

PaveStone Golden Fossil in Sandstone

and laid in accordance with PaveStone Specifications.



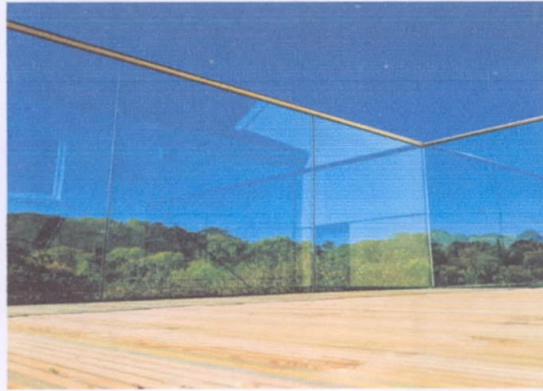
LAWN

Grassed areas to be retained. Repairs to be made with a minimum of 100mm of good quality topsoil, graded and firmed to suitable levels. Turfs to be laid butted together with staggered joints and lightly firmed or rolled after laying.

RETAINING WALL FOR NEW SLOPE IN REAR GARDEN 2

There is currently a drop of 1200mm in Garden 2 from the Patio area that is a safety hazard. To eliminate this hazard we propose erecting a Toughened Glass Balustrade with a gate on the open sides of the patio area. This will be constructed from

Glass Balustrade Panels - 900 x 1000mm -10mm Toughened Glass.



MANUFACTURER - VANTAGE BALUSTRADES

Frameless Glass Balustrade Kit - Channel in Variable Lengths.

Perfect for use on : patio

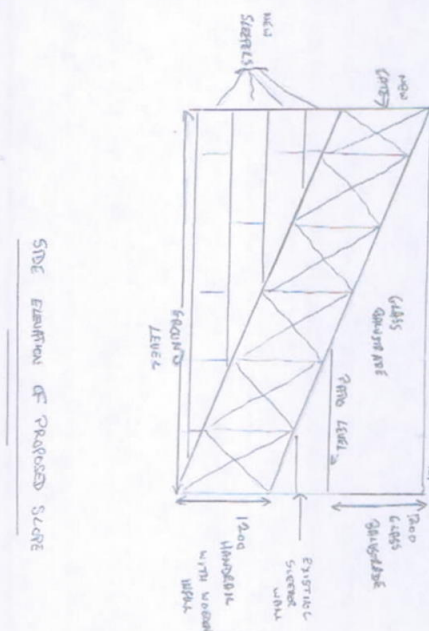
Tested to 1.5kN (meets BSi 6180:2011)

- Base and side versions available
- Has a brushed stainless steel effect finish
- Pre assembled 90 degree corners available
- End caps available
- Perfect for internal and external installations
- Great for domestic and commercial installations
- Easy to cut on site
- Engineered system

To eliminate steps we propose to erect a new wall made from sleepers -

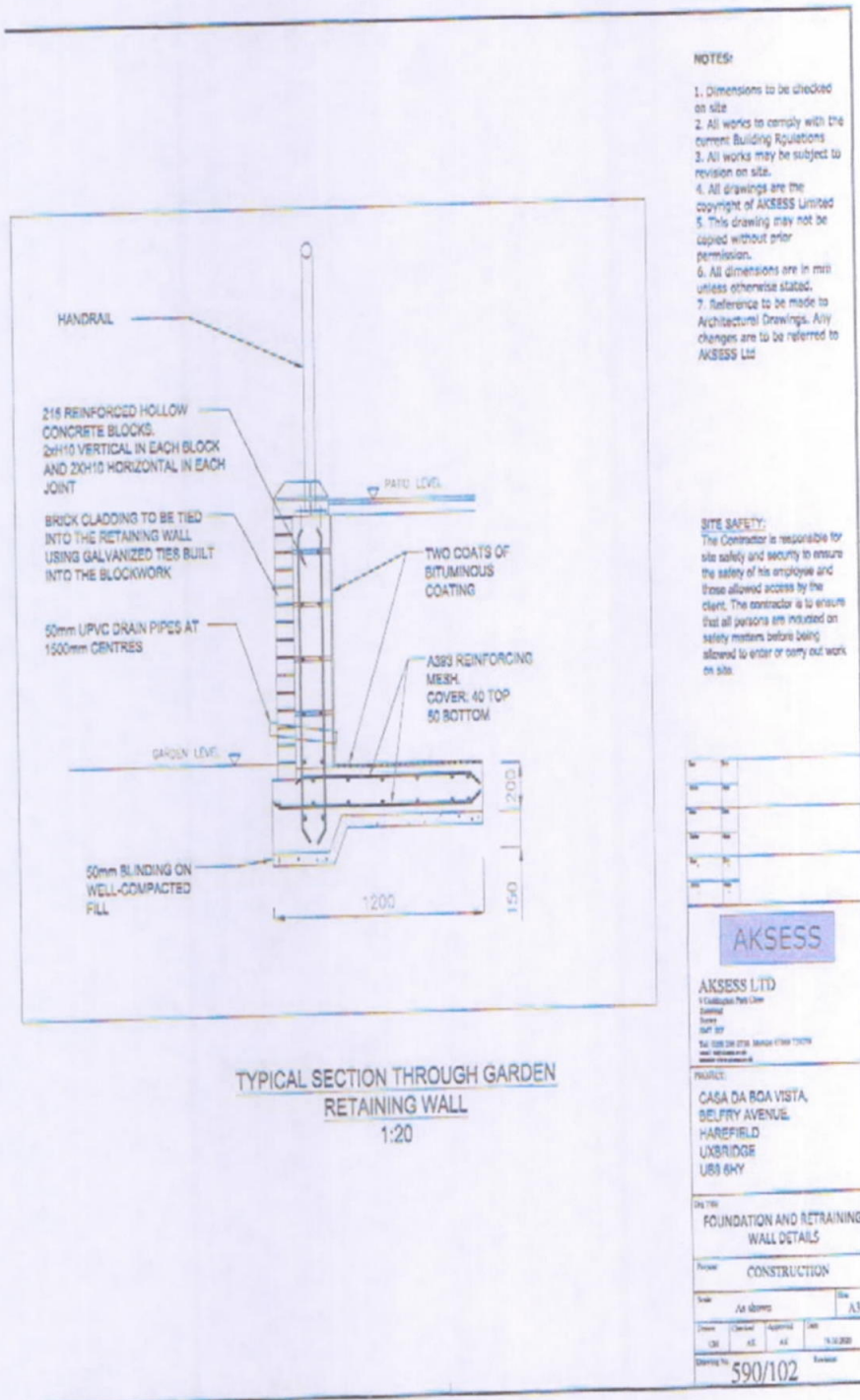
1.2m x 100mm x 200mm - Treated Softwood - Garden Sleepers

to match the existing wall. Grass covered slope for access to the bottom rear garden in Garden 2.



(H)

STRUCTURAL ENGINEERS DETAILS



The lower level grassed areas for both Garden 1 and 2 will remain as grass for a safe playing area for the children.

BOUNDARY TREATMENTS

REAR EXISTING FENCING

All existing close boarded timber fencing to rear boundaries to be retained and repaired or replaced as necessary.

The boundary Fence between The Lakes and Garden 1 is the responsibility of the owner of The Lakes and is currently a 1800mm high Wooden Panel Fence.

REAR NEW FENCING

New fencing will be provided from the main back wall of the two houses to the rear boundary, as necessary, to divide the two gardens.

New fencing will be installed to match, from the corner of the back wall of House 2, for a length of 6metres, along the boundary of House 2 and Crantock for privacy for both parties.

The new fencing will be



FOREST SUPER LAP FENCE PANELS 6 X 6' (5473K)



Natural Timber

Construction Type	Lap
Fencing Material	Softwood
Fencing Style	Traditional
Height (cm)	183 cm
Manufacturer Guarantee	15 Year Manufacturer's Guarantee (T&Cs Apply)
Model Name	Super
Nominal Height	6'
Nominal Width	6'
Pack Size	4

Parent Colour	Natural
Pieces in Pack/Case	4
Product Type	Fence Panels
Thickness (cm)	4 cm
Timber Treatment	Pressure-Treated
Width (cm)	183 cm

REFUSE BINS

We have allowed three spaces per property for the current 2 waste bins and a spare space to allow for future recycling bins. The bins will be housed in purpose built storage.



Brand - Rowlinson

Cladding Thickness 8 mm

Cladding Type **Shiplap Cladding Wood**

External Depth 820 mm - External Height 1300 mm - External Width 2305 mm

Timber Treatment Pressure-Treated

SCREENING – using *Lonicera henryi* - Henry's Evergreen Honeysuckle

Charming, yellow-throated, purplish-red, tubular flowers in June and July and handsome, tapered, glossy, dark green leaves. This pretty honeysuckle is perfect for an informal, cottage-style garden in sun or partial shade. A vigorous, evergreen variety it provides valuable **all-year cover** for a pergola, **sheds**, arch or boundary wall.

Supplied in approx 3 litre containers. One plant at each end of the store and one on the rear.



BIKE STORES

There will be a bike store for each property which will each hold two adult bikes and two children's bikes. These to be sited at the rear of each house as shown on the plans.



FOREST SHIPLAP APEX BIKE STORE

Brand	Forest
Cladding Thickness	12 mm
Cladding Type	Shiplap Cladding
Construction Material (Landscaping)	Mixed Softwood
Eaves Height	1274 mm
External Depth	810 mm
External Height	1520 mm
External Width	1980 mm

SCHEDULE FOR IMPLEMENTATION

We hope to commence work in the middle of February 2021 with a six to eight month schedule for the main build.

We anticipate that the Landscaping works will take approximately 6 -7 weeks -

Fencing – 5 days

Planting - 3 days

Construction of Slope – 10 days

Rear patio extended for House 2 – 2 days

Front Parking Area – 10 days

Erection of Bike Stores - 1 day

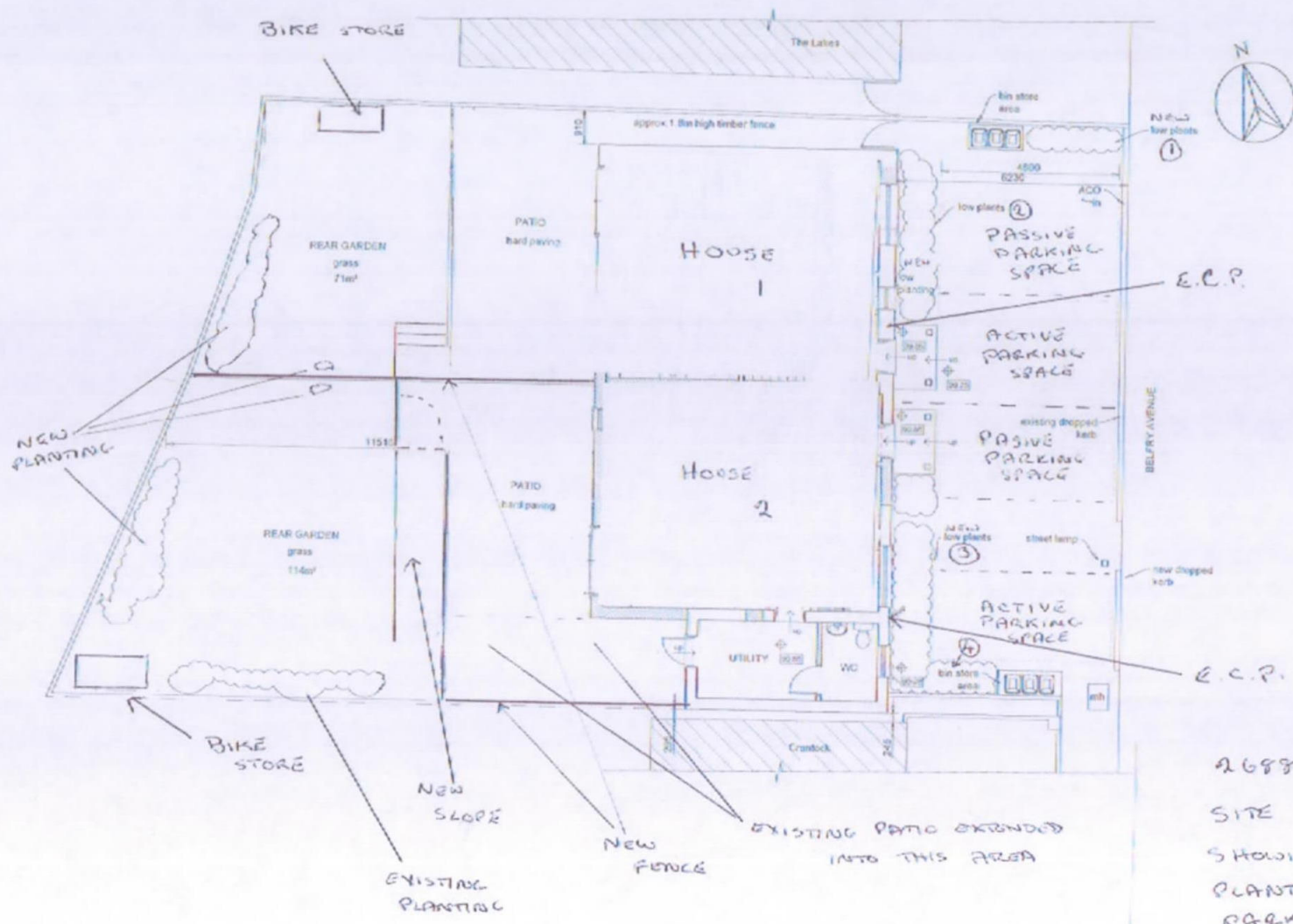
Erection of Bin Stores – 1 day

We anticipate a maximum 12 month schedule to complete the whole project and apply for a Completion Certificate.

Obviously we will be governed by the Covid19 restrictions in place and will therefore adhere to Government Guidelines throughout the Project.

Health and Safety will be paramount during this project.

(December 2020)



SITE PLAN

26886, APP/2020/1067
 APP/2020/2986
 SITE PLAN
 AMENDMENTS
 SHOWING
 PLANTING
 PARKING
 BIN STORES
 BIKE STORES
 E.C.P.'S
 FENCING
 SLOPE + EXTENDED PATIO