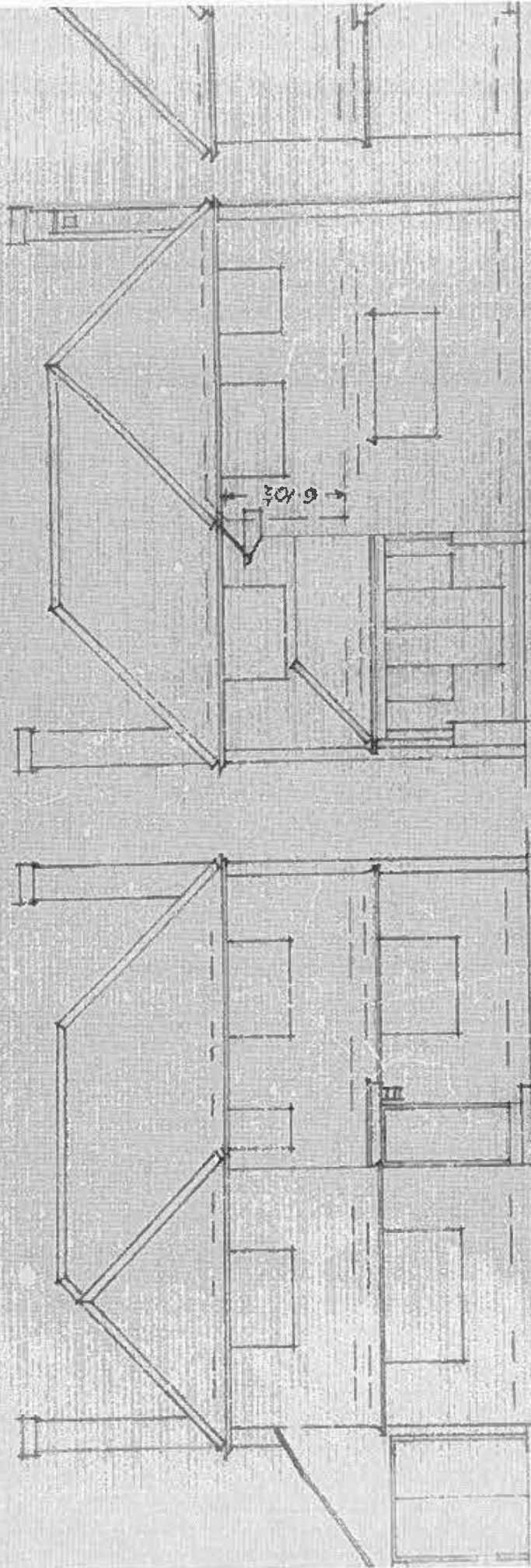


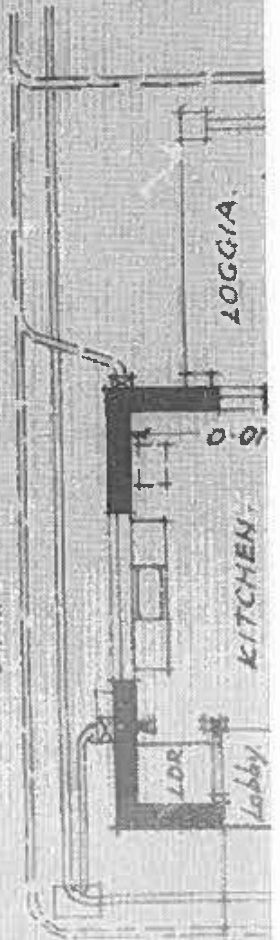
AMENDED PLANS OF HOUSE & GARAGE
 CHURCH AV. & KING EDWARDS RD. RUISLIP:
 FOR MRS. M. McLAREN:
 SCALE: 8 FEET TO AN INCH:

F. CLARKSON PLUM.
 REGISTERED ARCHT.
 33 HIGH ST. RUISLIP.
 JULY 1936.

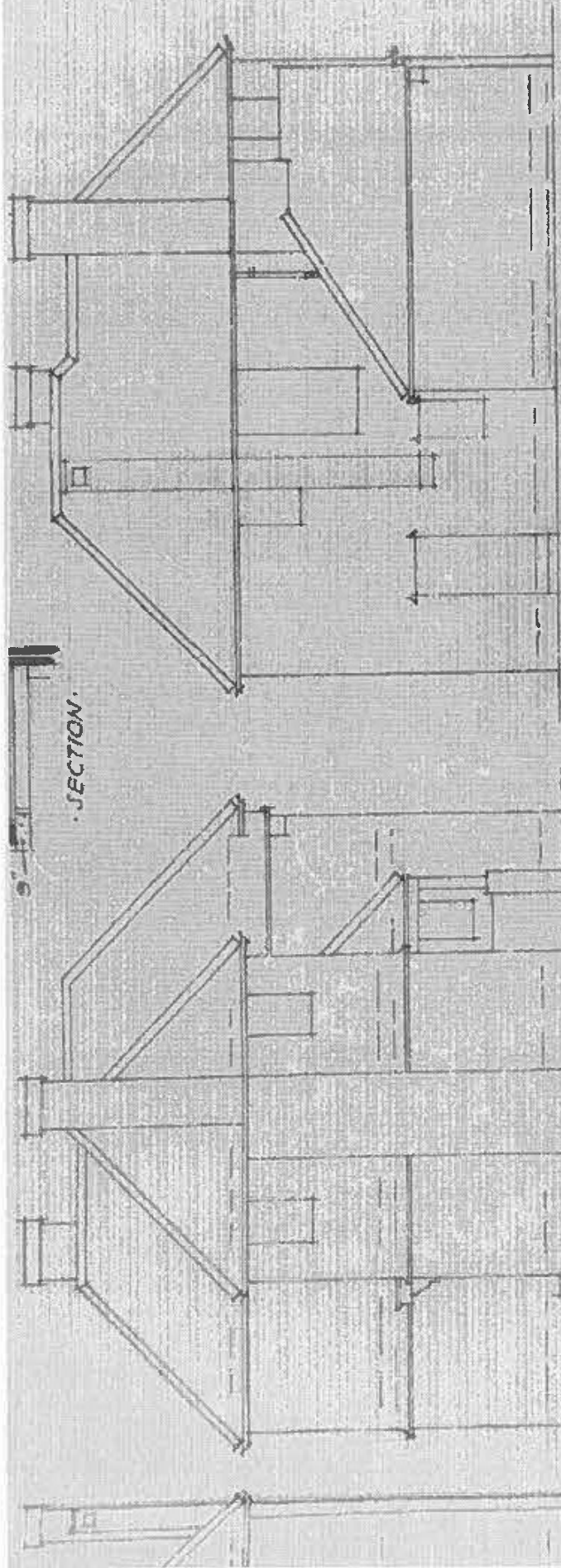


WEST ELEVATION.

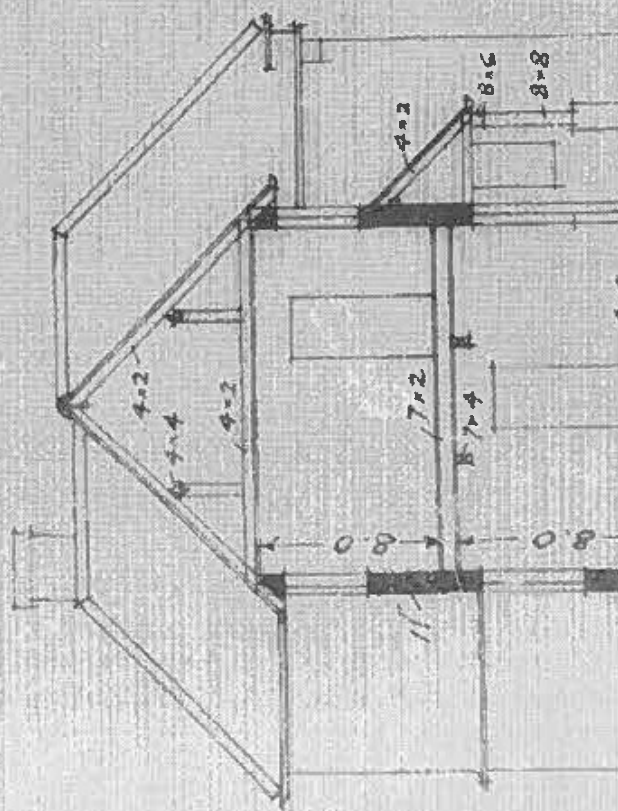
EAST ELEVATION.



SECTION.

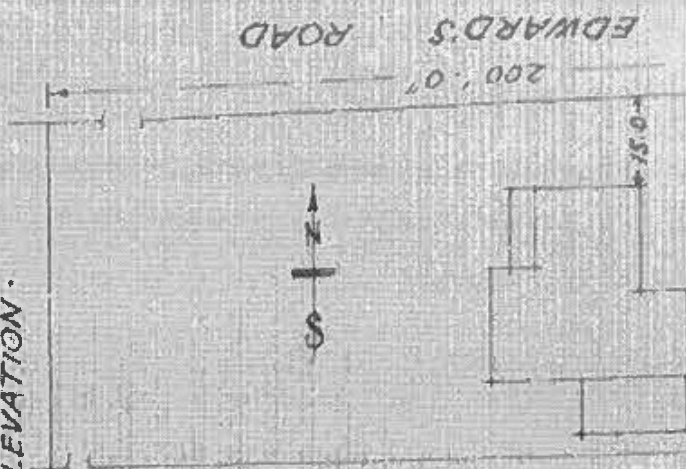


NORTH ELEVATION.



SOUTH ELEVATION.

BLOCK PLAN.
SCALE 30'-1"



EDWARD'S ROAD

London Borough of Hillingdon
TOWN AND COUNTRY PLANNING ACT 1971

TO

**Building Design
3 Queer Road
124 0175
1970**

LOCAL PLANNING AUTHORITY REF

20480/75/435

The Council of the London Borough of Hillingdon as the Local Planning Authority within the meaning of the above mentioned Act and Orders made thereunder hereby GRANT permission for the following development:-

**Erection of a two storey side extension and
drivale garage at 18 Church Avenue, Uxbridge**

In accordance with the application dated **4 March 1979**
and illustrated by plans **no. 825 received 1 April 1979**

Permission however is given subject to the conditions listed on the attached schedule

Dated this

28

day of

June

19

Signature

DIRECTOR OF PLANNING

London Borough of Hillingdon,
Civic Centre,
Uxbridge,
Middlesex. UB8 3LW

NOTES (i) If you wish to appeal against any of the conditions please read the back of this sheet which explains the procedure
(ii) This decision does not purport to convey any approval or consent which may be required under any bye-laws, building regulations, or under any enactment other than the Town & Country Planning Act 1971

CONDITION 1

This permission shall cease to have effect unless the development hereby authorised has begun before the expiration of five years from the date of this permission.

REASON

To comply with Section 41 of the Town & Country Planning Act 1971.

CONDITION 2

Drainage facilities shall be provided and maintained free so long as the development hereby permitted remains in use above a height of 0.9 metres from level of the road for a minimum distance of 3 metres on both sides of the point of discharge.

REASON

To ensure that the proposed development does not prejudice the free flow of traffic or create conditions of general safety along the neighbouring highway.

CONDITION 3

The parking facilities shown on your deposited plan shall be constructed before use of the development hereby permitted commences, and thereafter the facilities shall be retained free so long as the development remains in use.

REASON

To ensure that adequate facilities are provided and retained to service the development without creating conditions prejudicial to the free flow of traffic or causing danger and inconvenience.

CONDITION 4

The garage shall be used only for the accommodation of private motor vehicles incidental to the use of the dwellinghouse as a residence and shall not be used for the garaging of any commercial vehicles or the carrying out of any industrial or commercial activity. Notwithstanding anything contained in the Town and Country Planning General Development Order 1977 the garage shall not be used for any other than its designed purpose until the prior written permission of the Local Planning Authority.

REASON

To ensure that the garage is used for its designed purpose and is not used for activities which are unsightly or detrimental to the amenities of the locality by reason of noise, fumes, dust, smoke or other nuisance inappropriate in a residential area, also to ensure that adequate off-street parking is retained.

CONDITION 5

Notwithstanding anything contained in the Town and Country Planning General Development Order 1977 no windows shall be constructed in the walls of the development hereby permitted facing 15 Church Avenue.

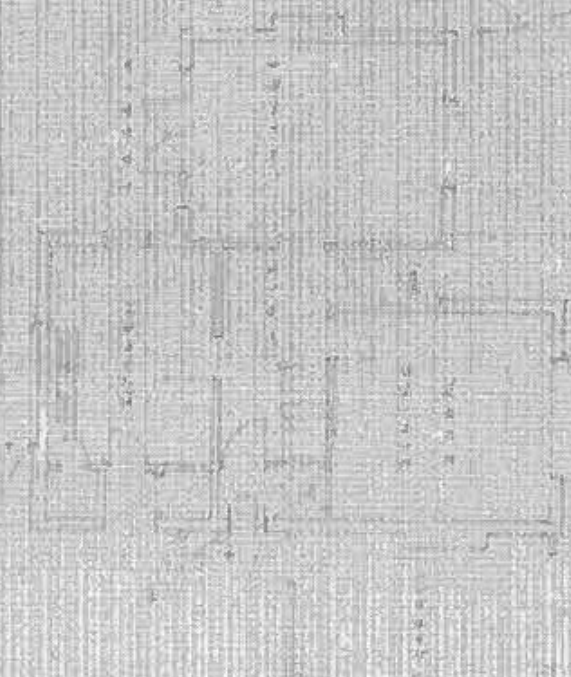
REASON

To ensure that the development does not give rise to overlooking of adjoining property injurious to the reasonable privacy of the occupants.

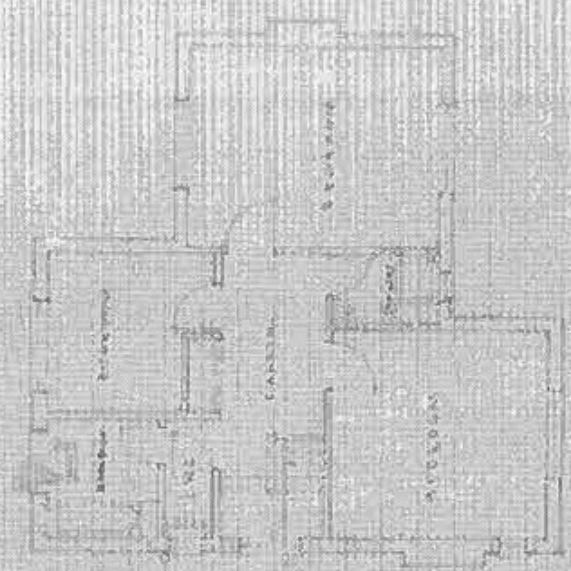
Director of Planning

25 June 1979

EXISTING PROPOSED

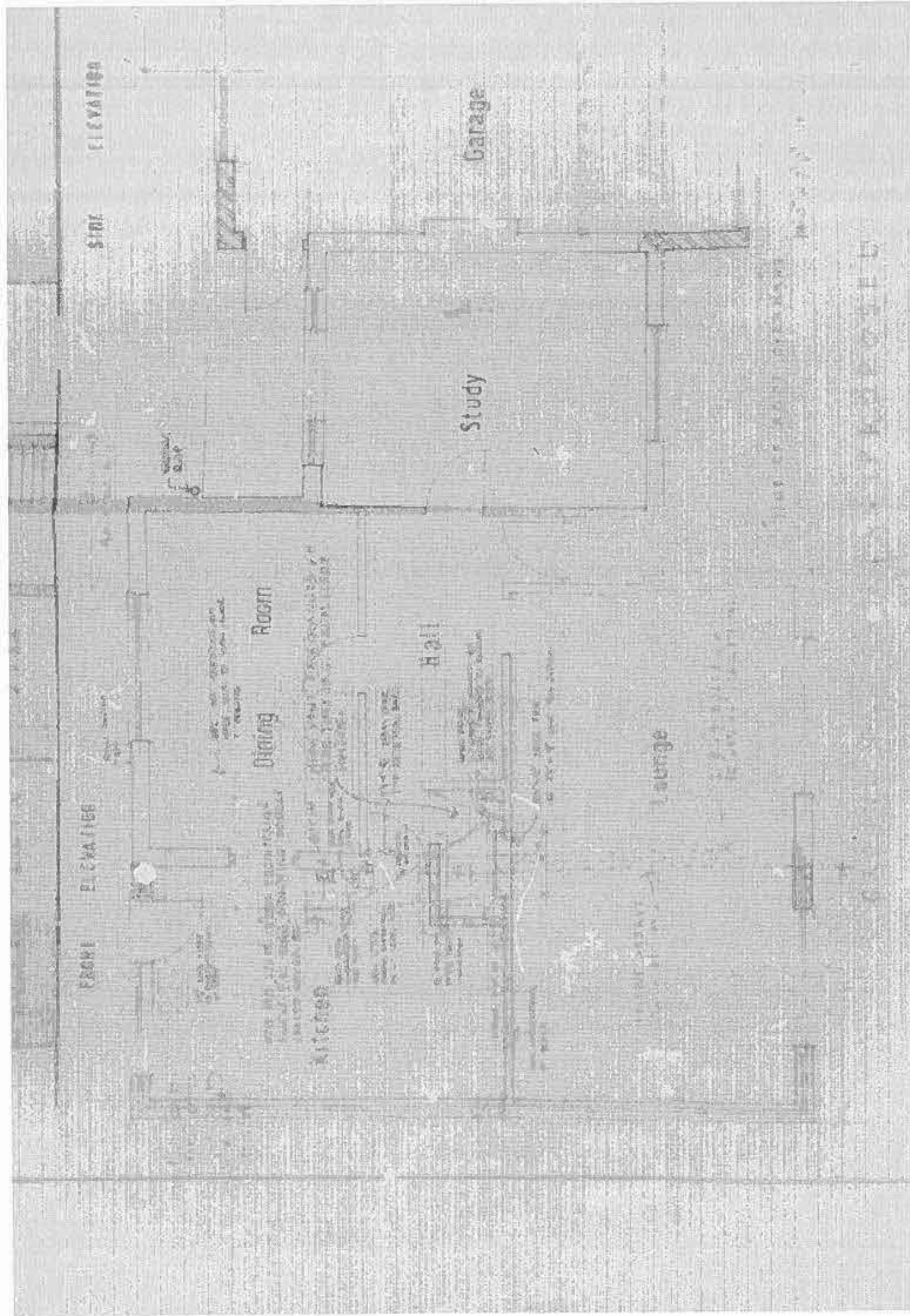


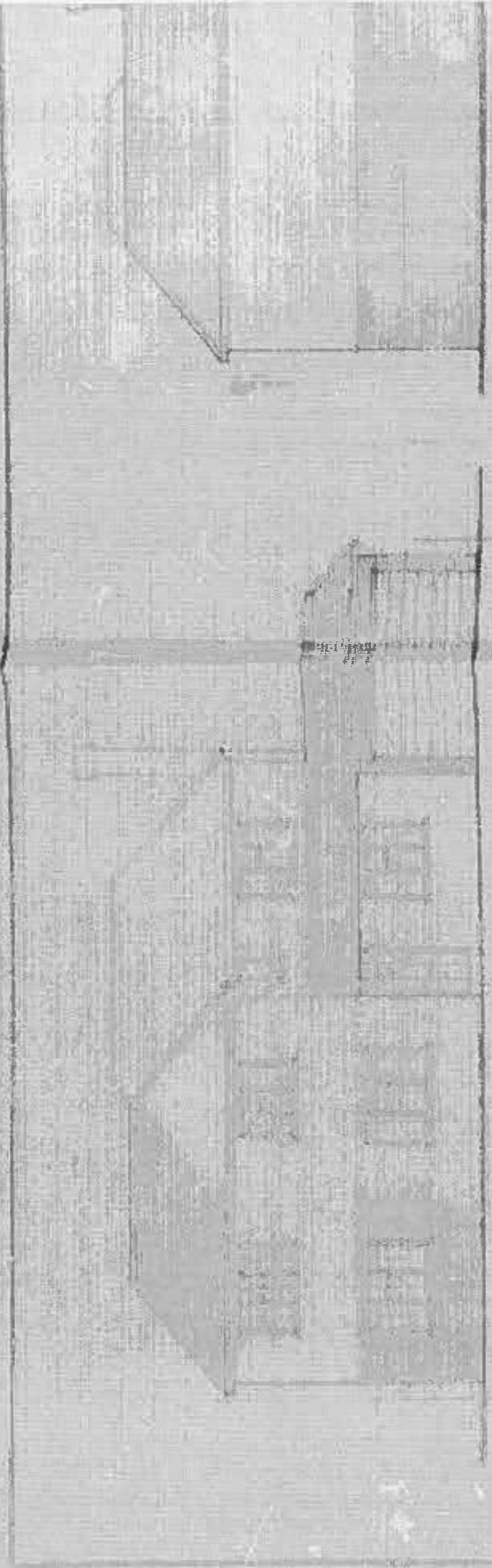
PLAN EXISTING
2001
Ground Floor



First Floor

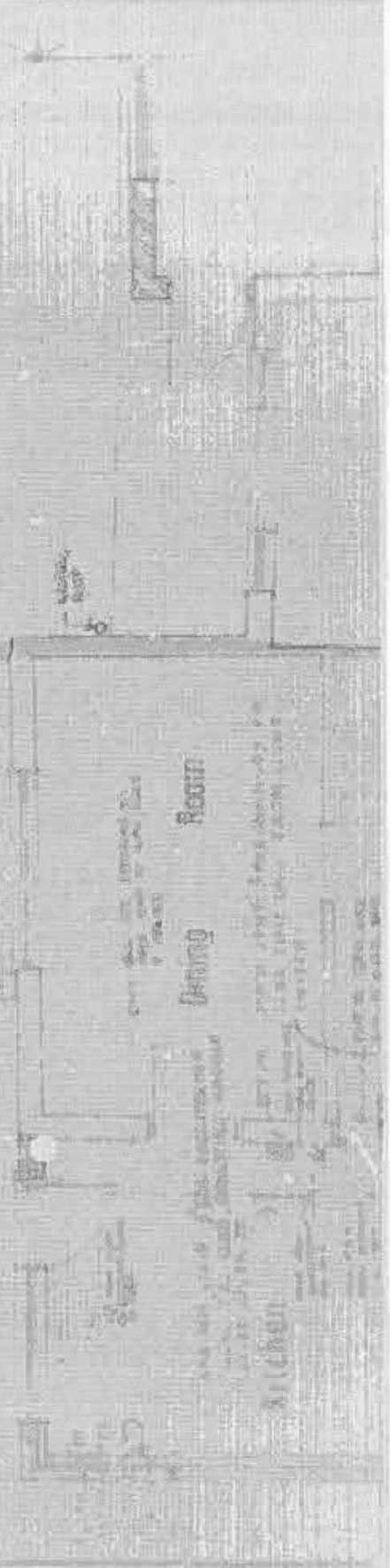
NOTE: FOR BASE ELEVATION SEE
GARAGE ON P. 100-101-102





FRONT ELEVATION

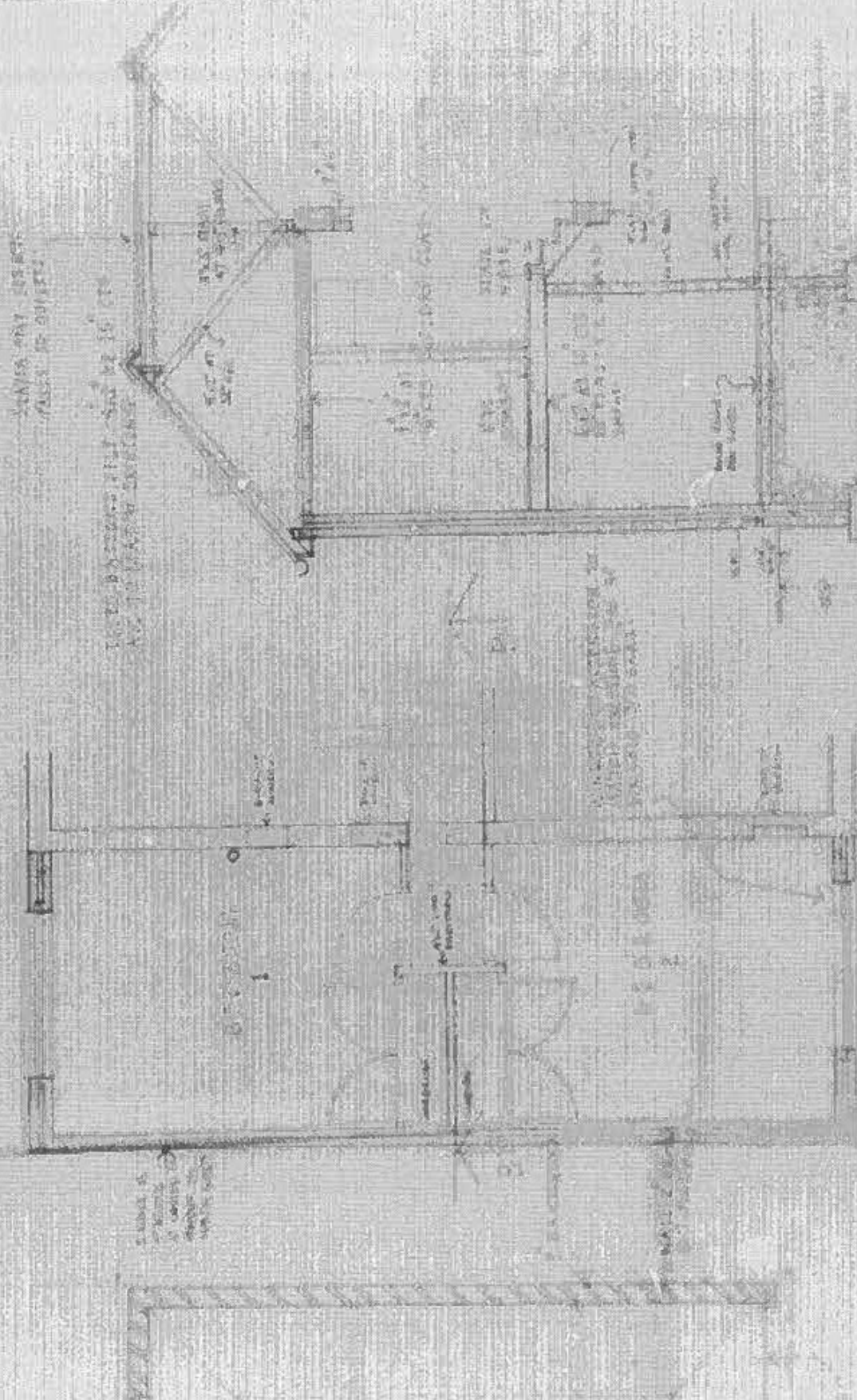
SIDE ELEVATION



REAR ELEVATION

Notes: The building is to be constructed of brick and mortar. The roof is to be covered with asphalt shingles. The foundation is to be concrete. The drawing is for informational purposes only and is not to be used for construction without the approval of the architect.

REAR ELEVATION

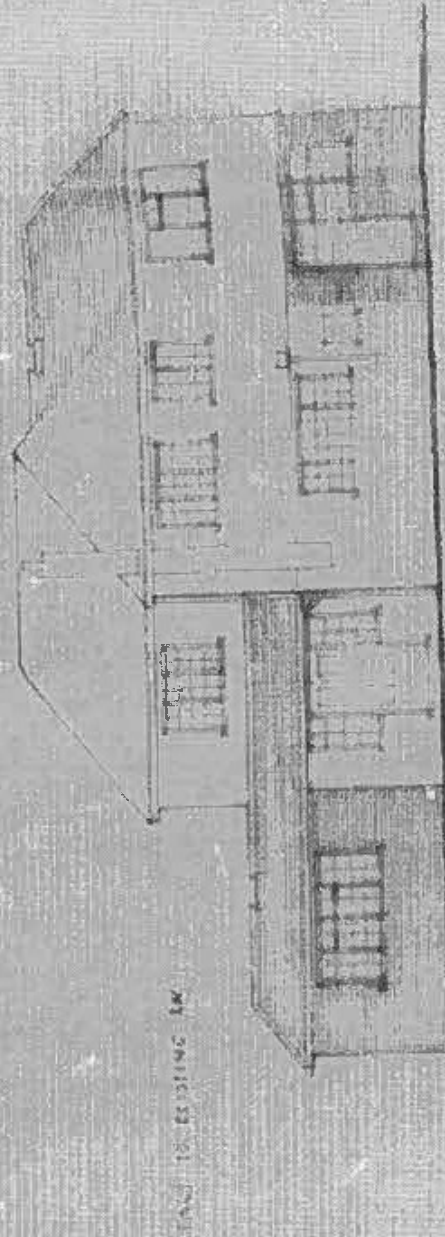


REAR ELEVATION

10' 0" x 12' 0"

12' 0" x 12' 0"

12' 0" x 12' 0"



EXISTING TO BE REMOVED

ELEVATION

REAR

20' 0" 10' 0" 10' 0" 10' 0"

20' 0" 10' 0" 10' 0" 10' 0"

1

FRONT ELEVATION

SIDE ELEVATION

Dining Room

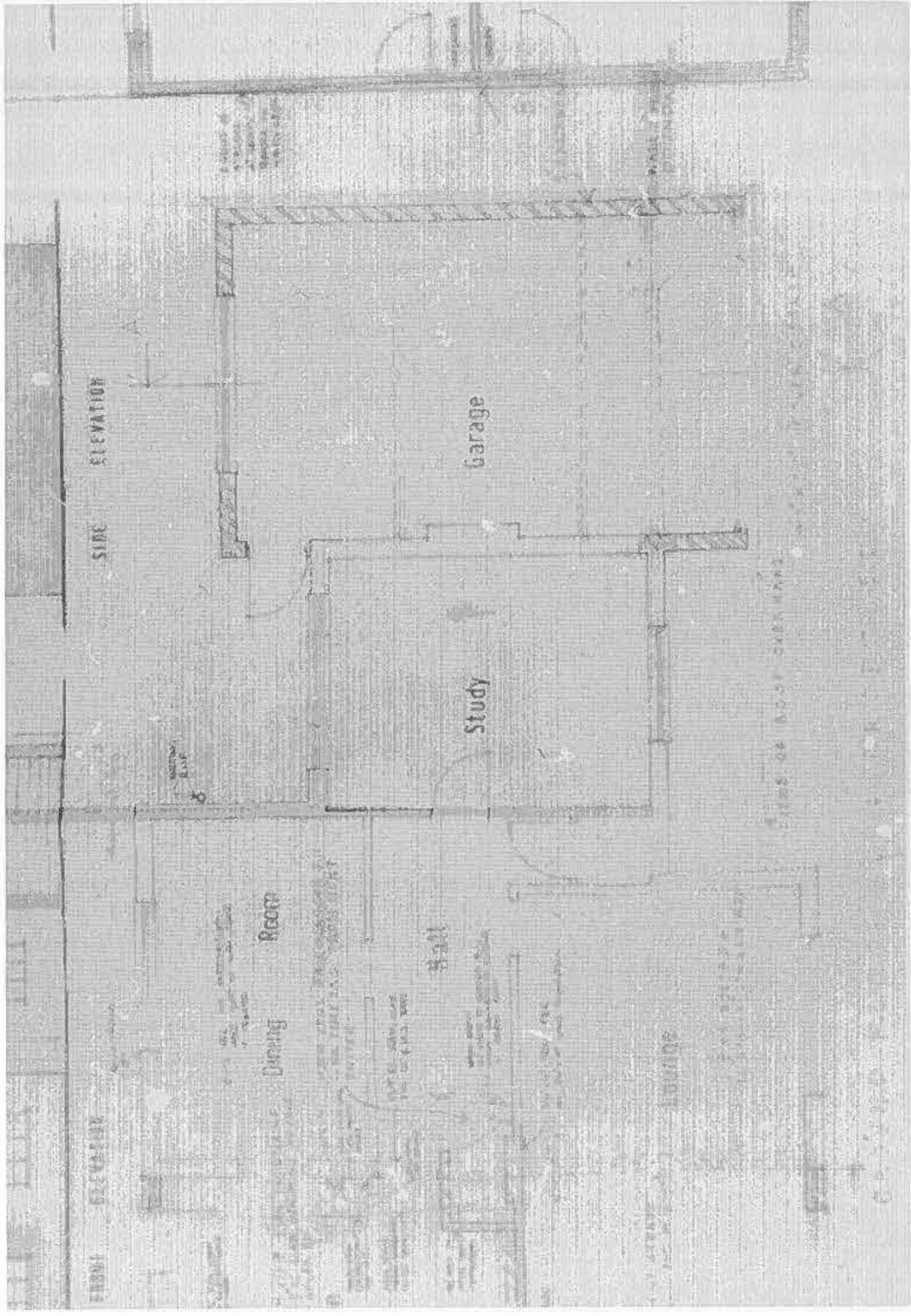
Hall

Study

Garage

Lounge

PLAN OF HOUSE EXHIBIT



London Borough of Hillingdon
TOWN AND COUNTRY PLANNING ACT 1971

TO

Water Building Design
and Services
24 Camp Road
Harrow
Hants

LOCAL PLANNING AUTHORITY REF

20/11/62/701

The Council of the London Borough of Hillingdon as the Local Planning Authority within the meaning of the above mentioned Act and Orders made thereunder hereby GRANT permission for the following development:-

**Erection of single storey rear extension at 15 Church Avenue,
Uxbridge**

In accordance with the application dated 20 April 1962
and illustrated by plans No: 604/223/1/2 (Detailed Plan) received on 17 May 1962

Permission however is given subject to the conditions listed on the attached schedule

Dated this 17 day of June

Signature

19 62
J. D. Wainman

DIRECTOR OF PLANNING

London Borough of Hillingdon,
Civic Centre,
Uxbridge,

Middlesex, UB8 3UW

NOTES (i) If you wish to appeal against any of the conditions please read the back of this sheet which explains the procedure

(ii) This decision does not purport to convey any approval or consent which may be required under any bye-laws, building regulations, or under any enactment other than the Town & Country Planning Act 1971.

CONDITION 1

This permission shall cease to have effect unless the development hereby authorized has begun before the expiration of five years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1971.

CONDITION 2

The external surfaces of the extension hereby approved shall be of materials to match those of the existing building. Details and/or samples shall be submitted to and approved by the Local Planning Authority before commencement of any part of the development where the new materials differ in any way from those of the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building.

CONDITION 3

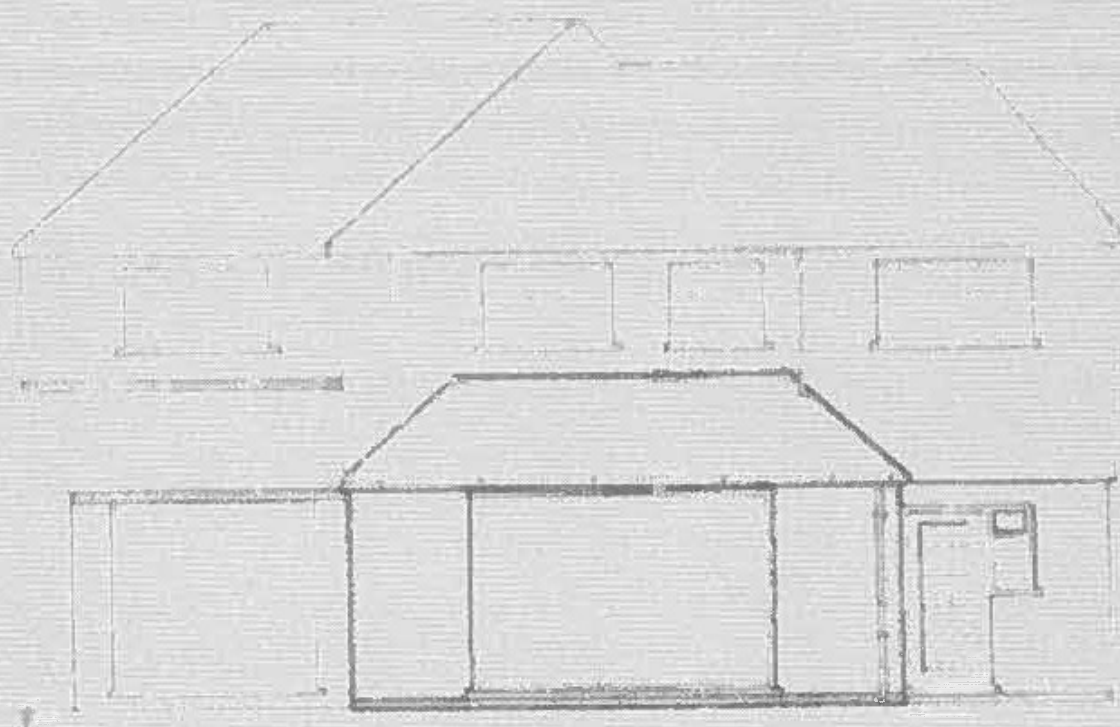
Notwithstanding anything contained in the Town and Country Planning General Development Orders 1977-1981 no additional windows shall be constructed in the walls of the development hereby approved facing 13 Church Avenue.

REASON

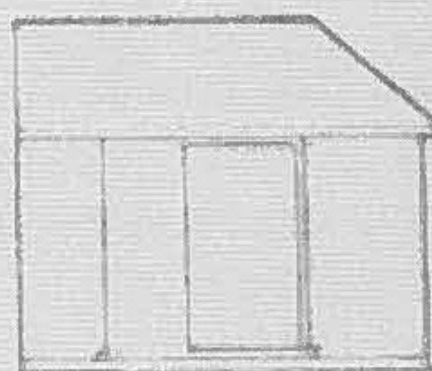
To ensure that the development does not give rise to overlooking of adjoining property injurious to the reasonable privacy of the occupants.

J. D. Warren
Director of Planning

17 June 1982

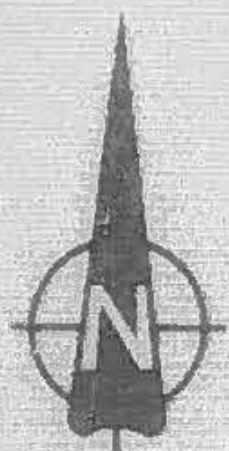


ed rear

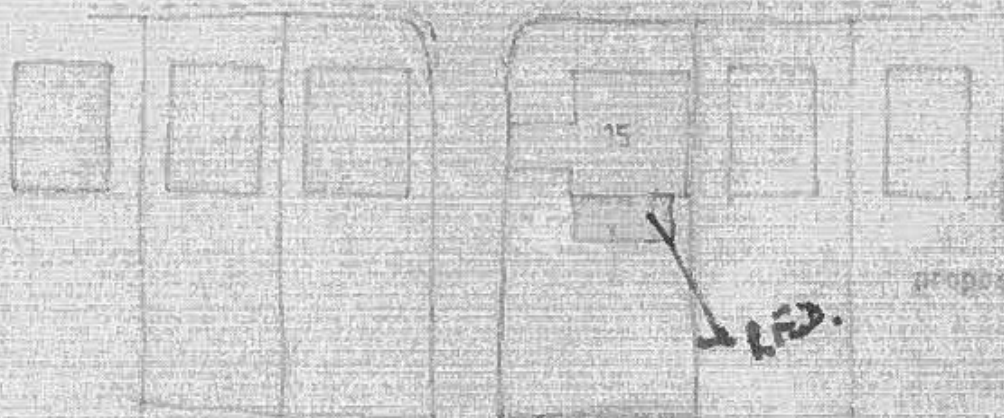


proposed side

LOCATION PLAN



CHURCH AVENUE



KING EDWARD ROAD
(unadapted)

16 15 14 13 12 11 10 9