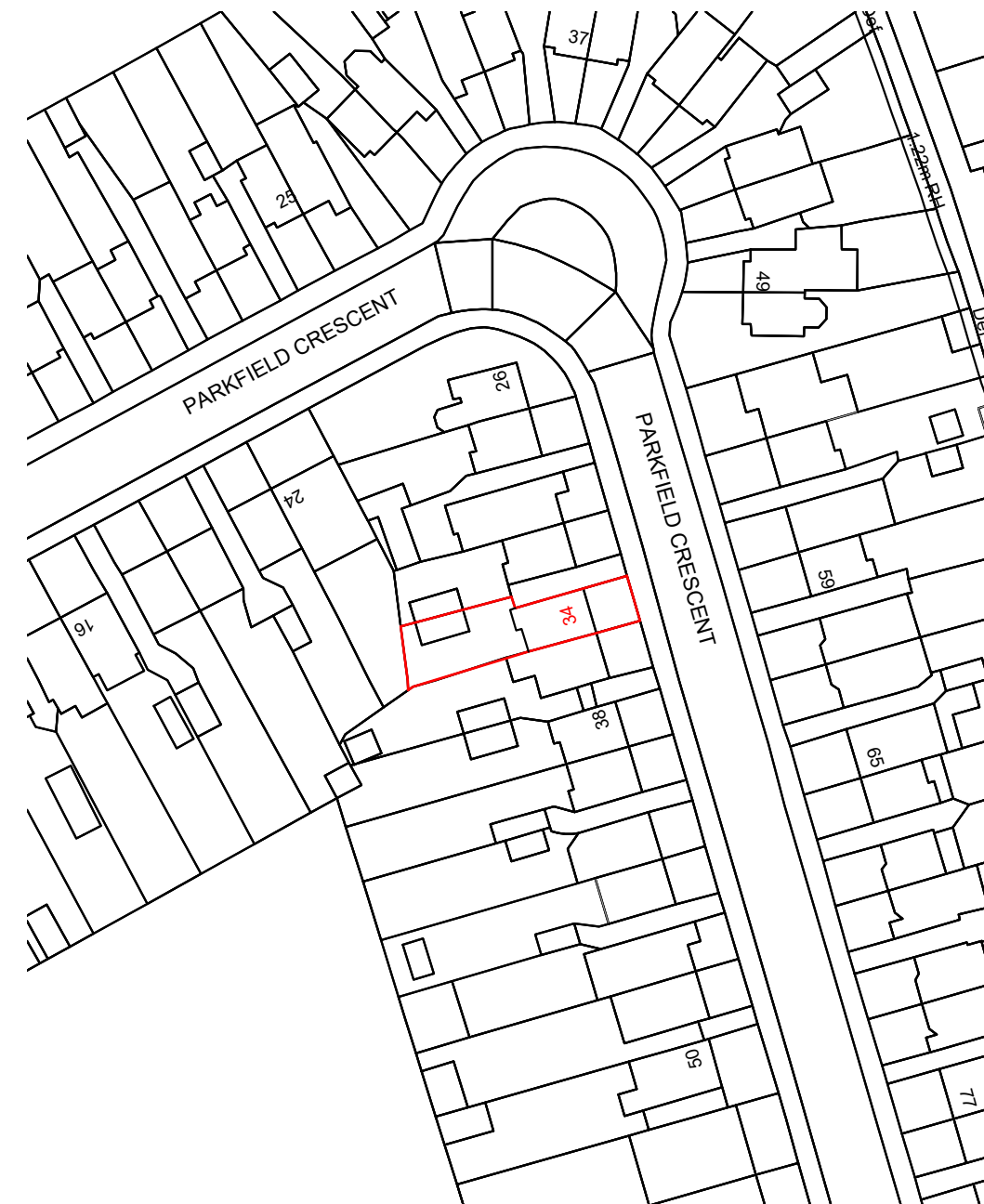
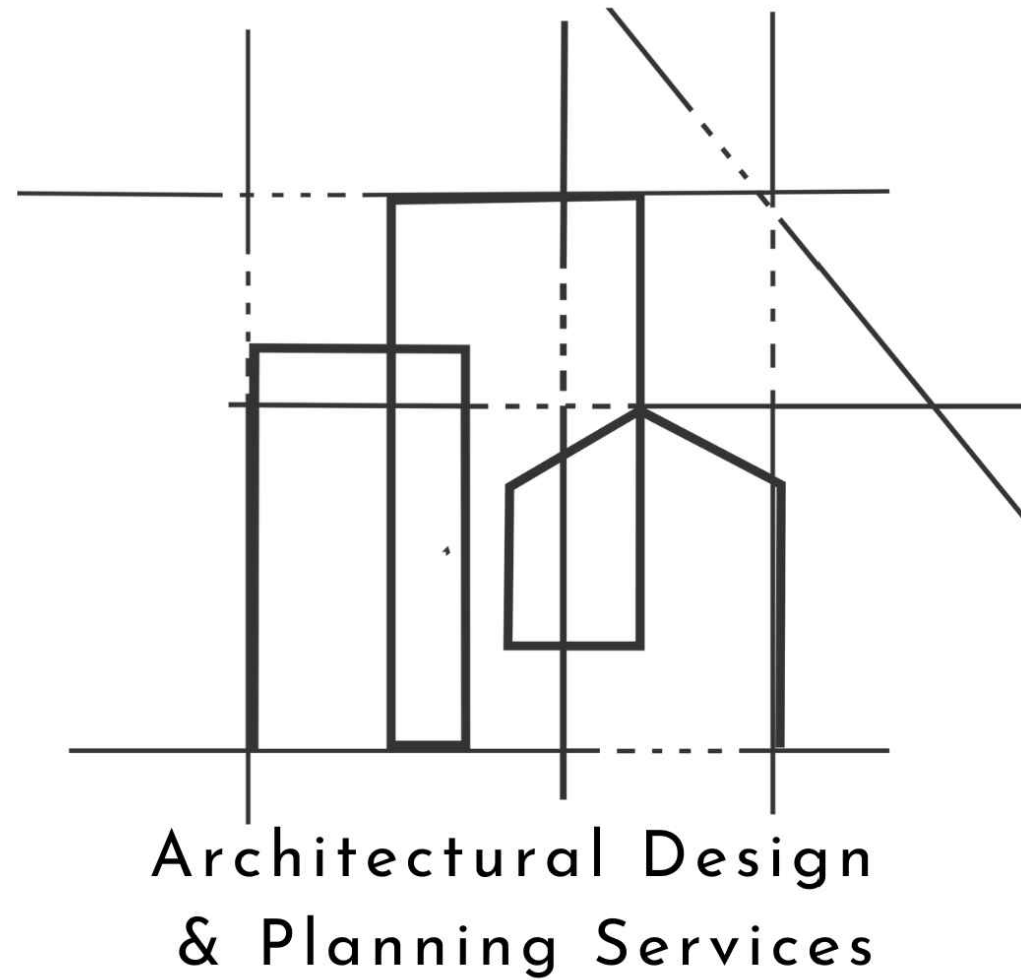


THE PLANNING STUDIO



P R O J E C T : 3 4 P a r k f i e l d C r e s c e n t L o f t C o n v .

The Planning Studio | SM London Construction LTD

Tel: 0208 226 5511

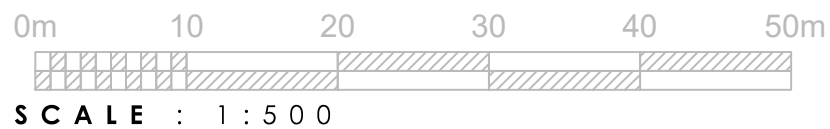
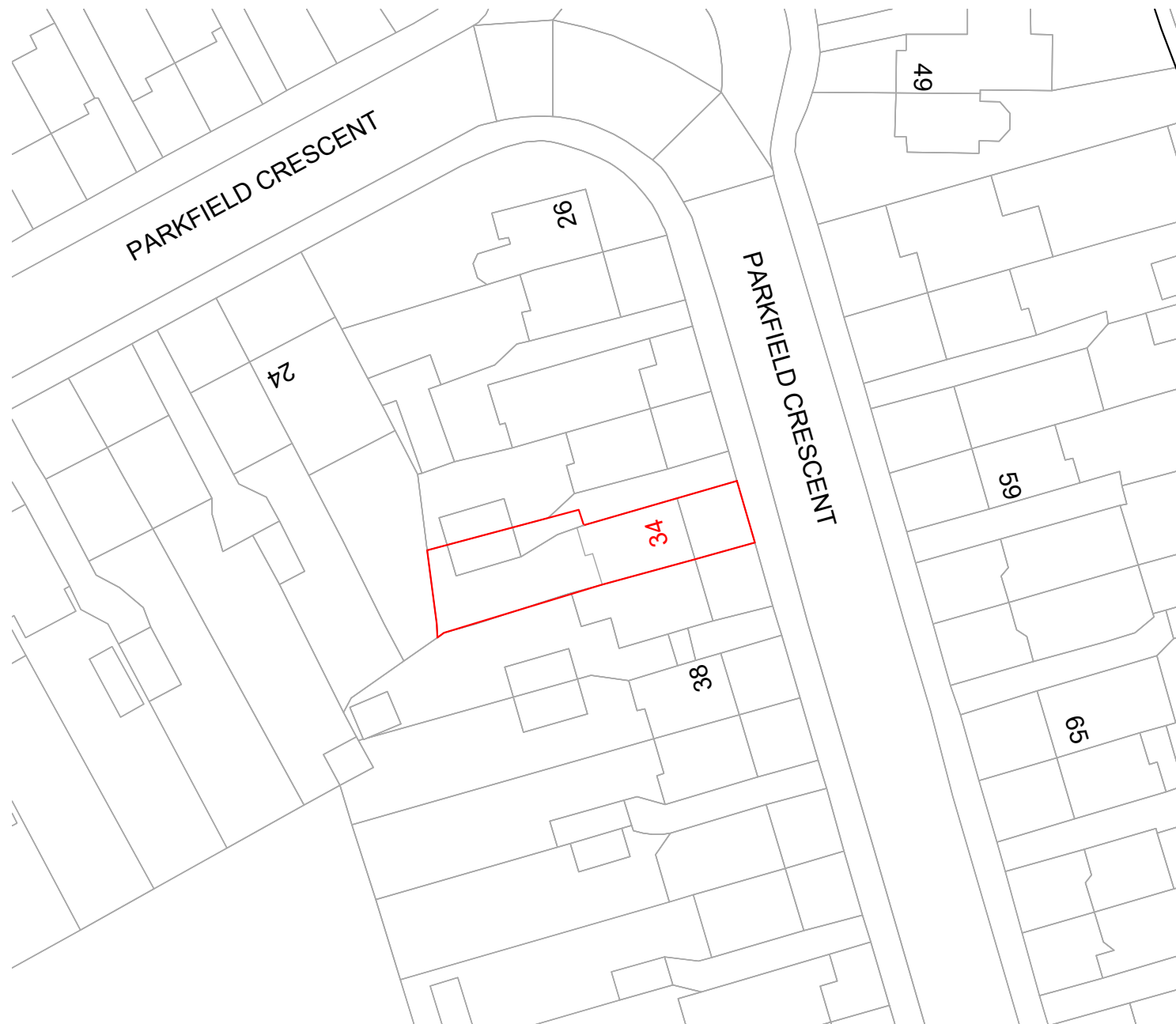
Mob: 07961 817 505

E-Mail: info@smlconstructionltd.com

Web: www.smlconstructionltd.com



Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



SCALE : 1 : 500



SCALE : 1 : 1250



DATE : 2025.01.27

SCALE : AS SHOWN

DRAWING No : SP1

PROJECT : 34 Parkfield Crescent Loft Conv.

DRAWING TITLE : OS LOCATION / SITE PLAN

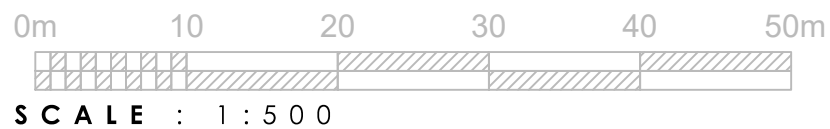
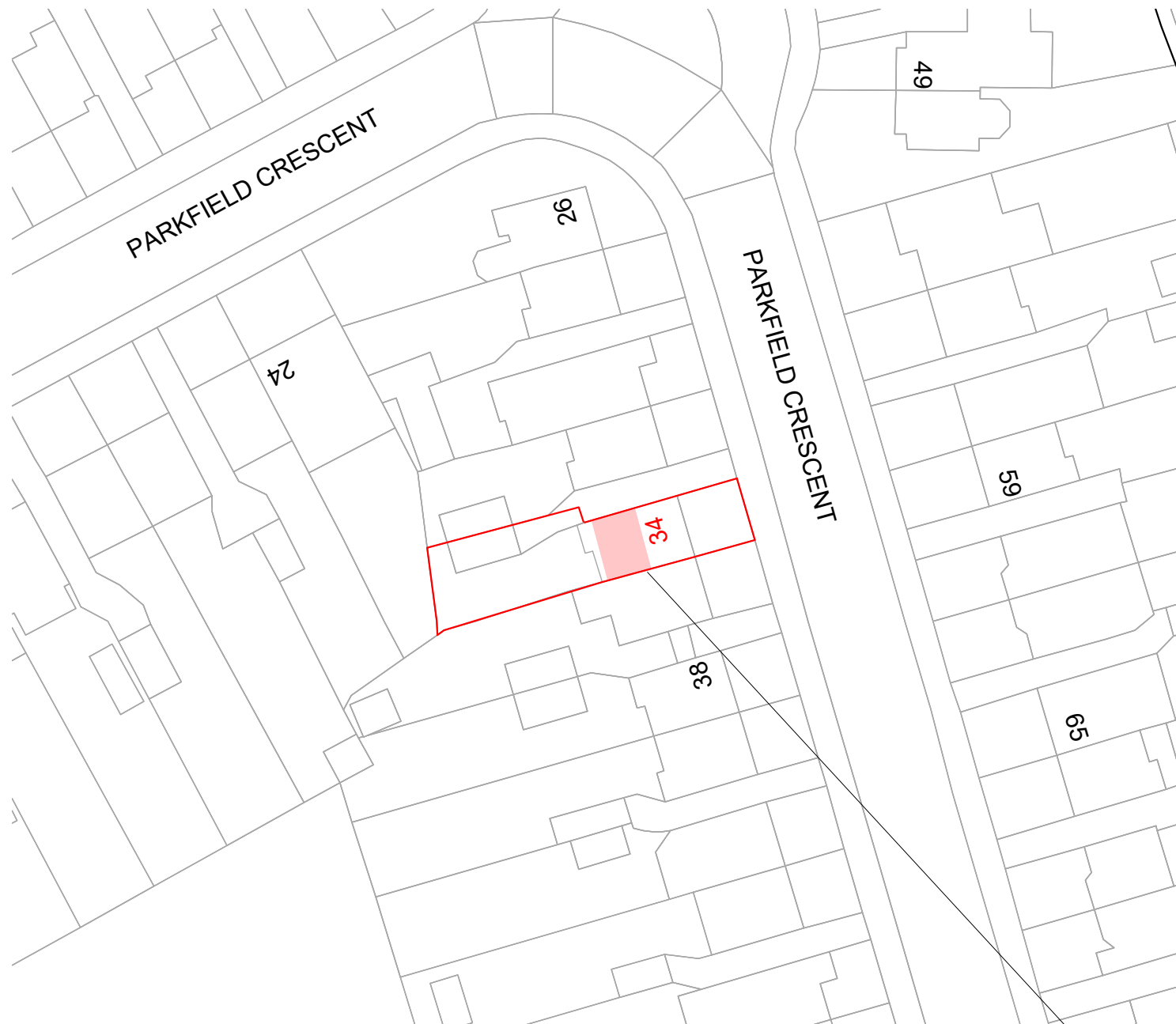
STAGE No : 3 STAGE TITLE : Planning

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

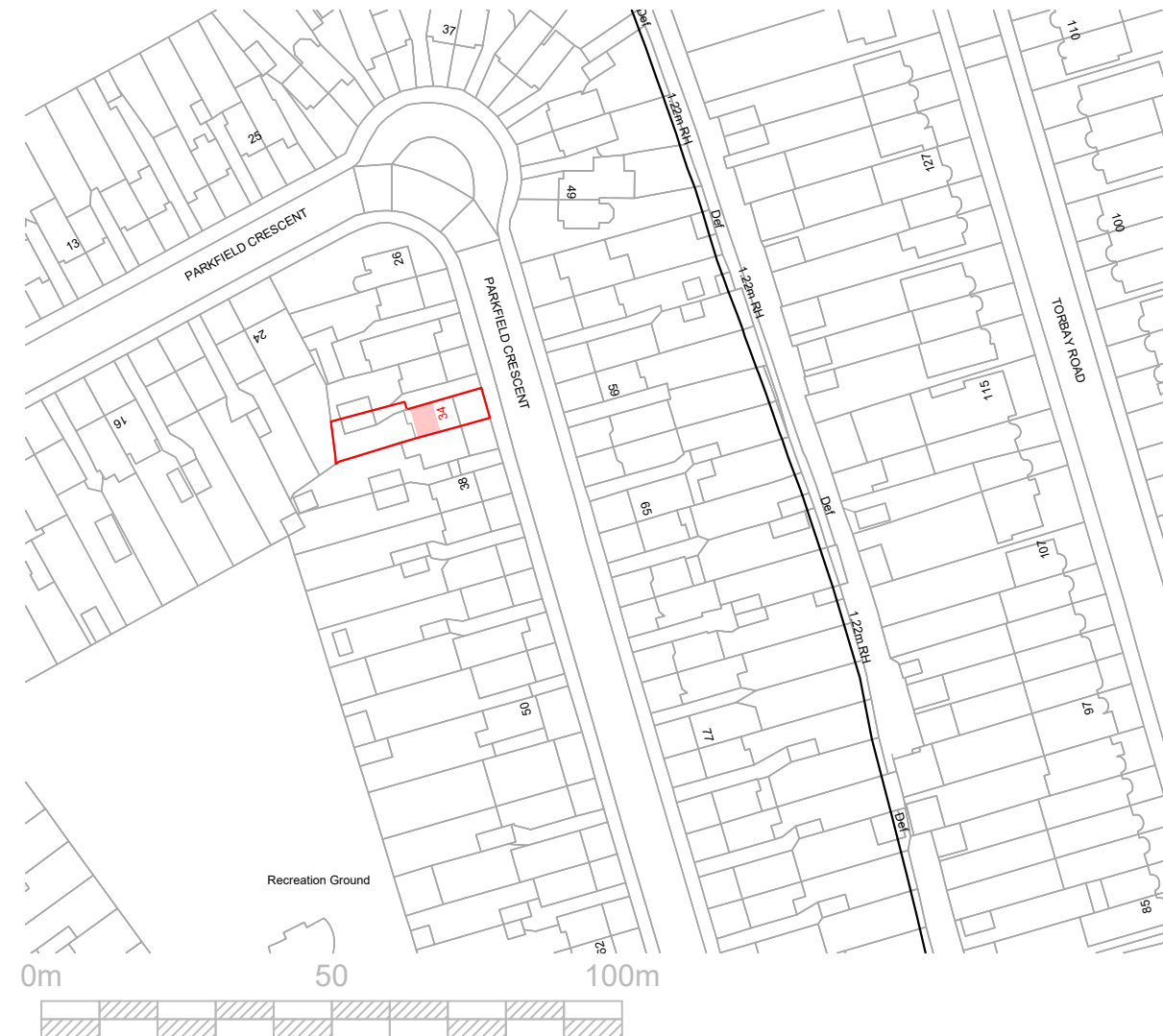
Tel: 0208 226 5511 | Mob: 07961 817 505

E-Mail: info@smlconstructionltd.com

Web: www.smlconstructionltd.com



SCALE : 1 : 500



SCALE : 1 : 1250

Demolition of existing roof
from hip to gable roof with
rear dormer



DATE : 2025.01.27

SCALE : AS SHOWN

DRAWING No : SP2

PROJECT : 34 Parkfield Crescent Loft Conv.

DRAWING TITLE : PROPOSED DEMOLITION OS LOCATION / SITE PLAN

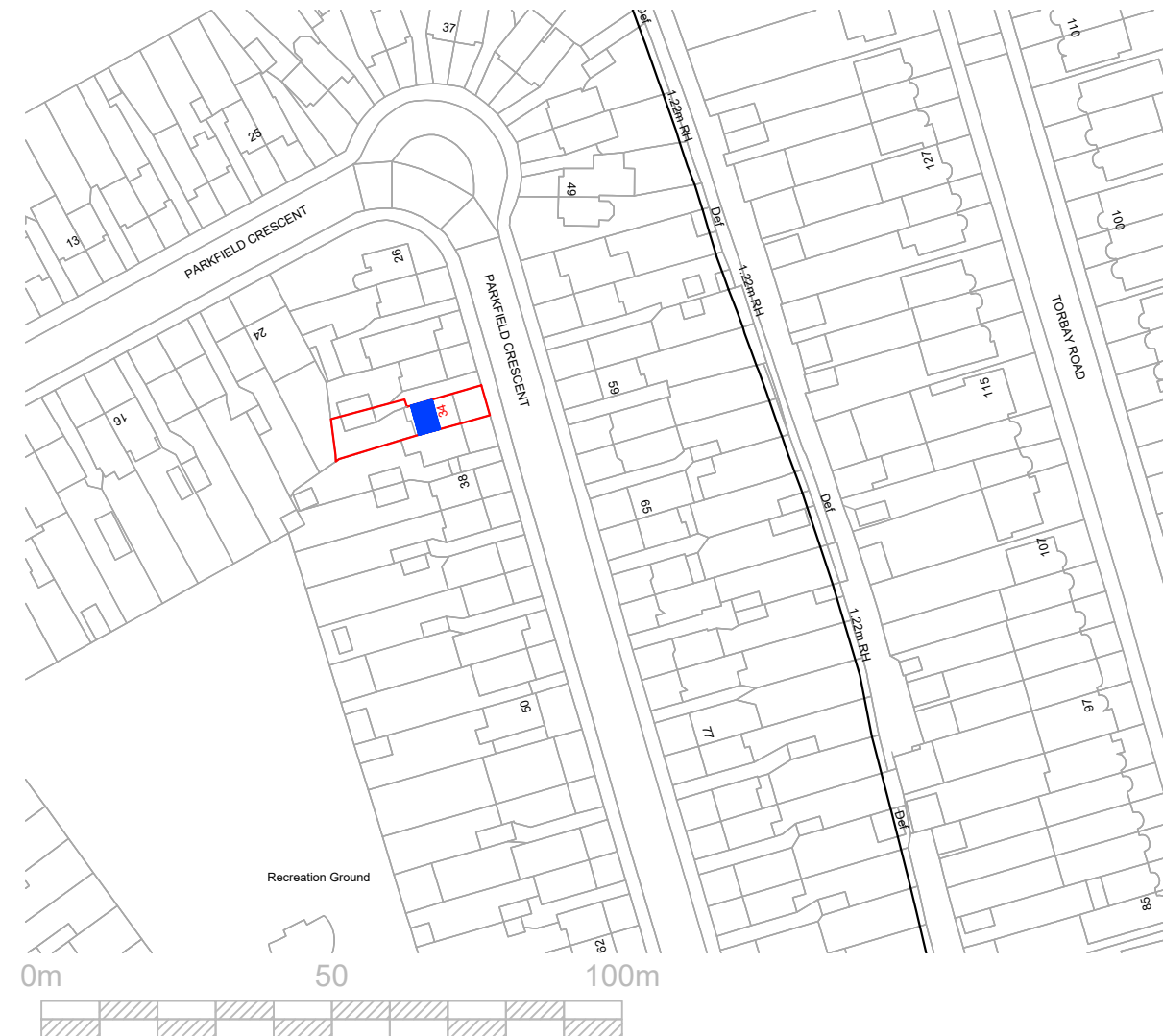
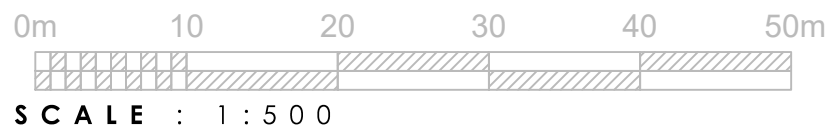
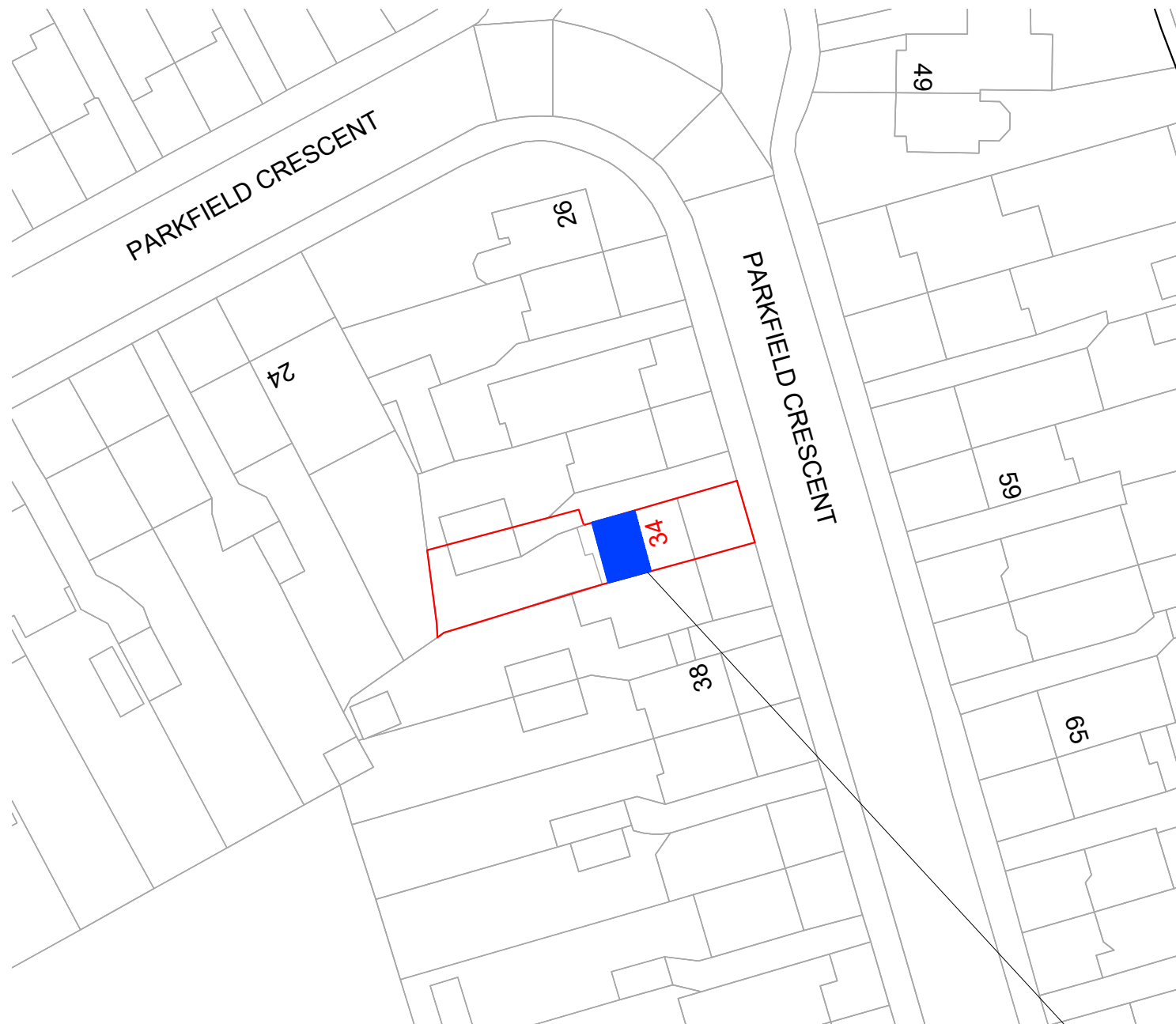
STAGE No : 3 STAGE TITLE : Planning

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site, All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

Tel: 0208 226 5511 | Mob: 07961 817 505

E-Mail: info@smlconstructionltd.com

Web: www.smlconstructionltd.com



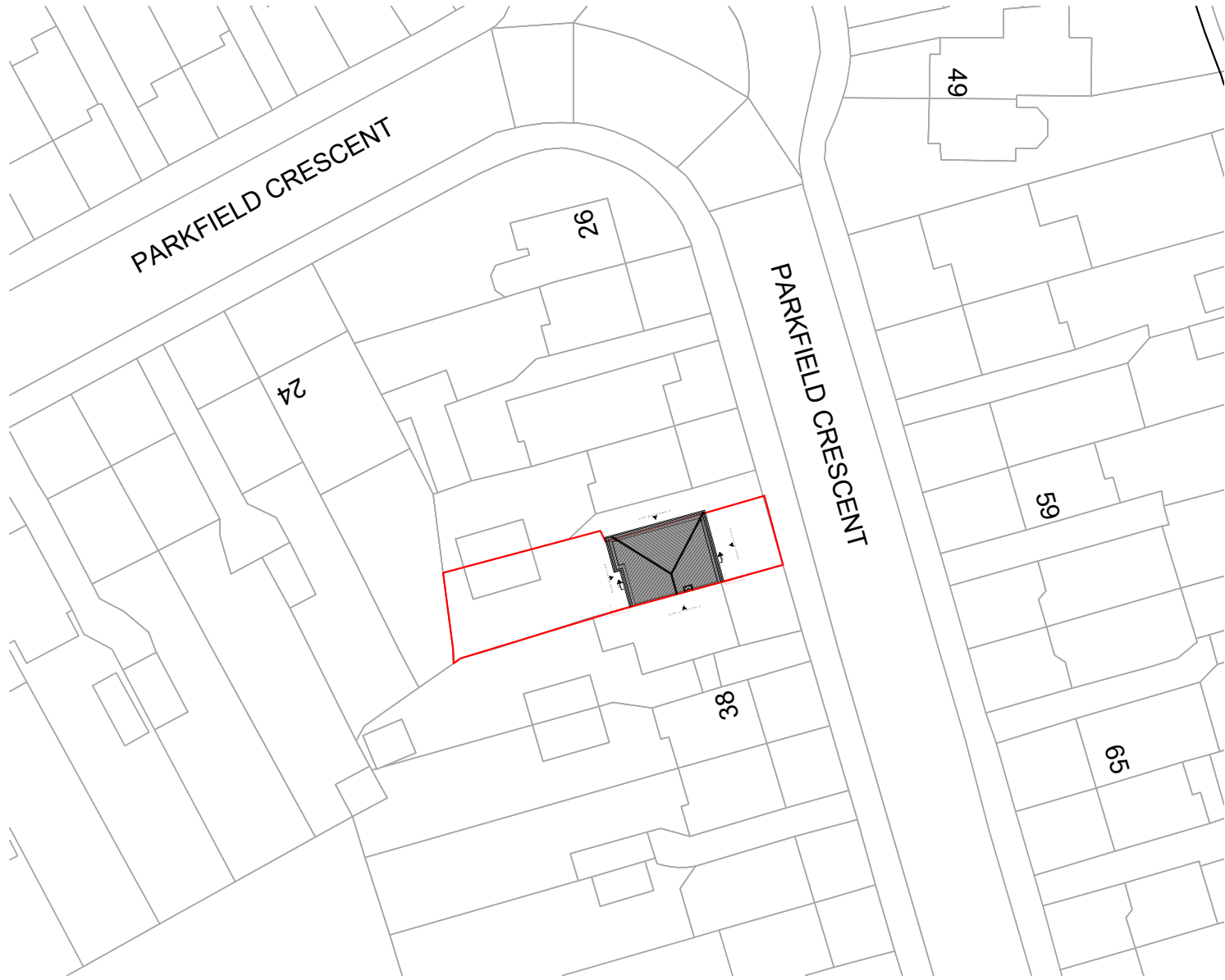
Proposed hip to gable roof
with rear dormer



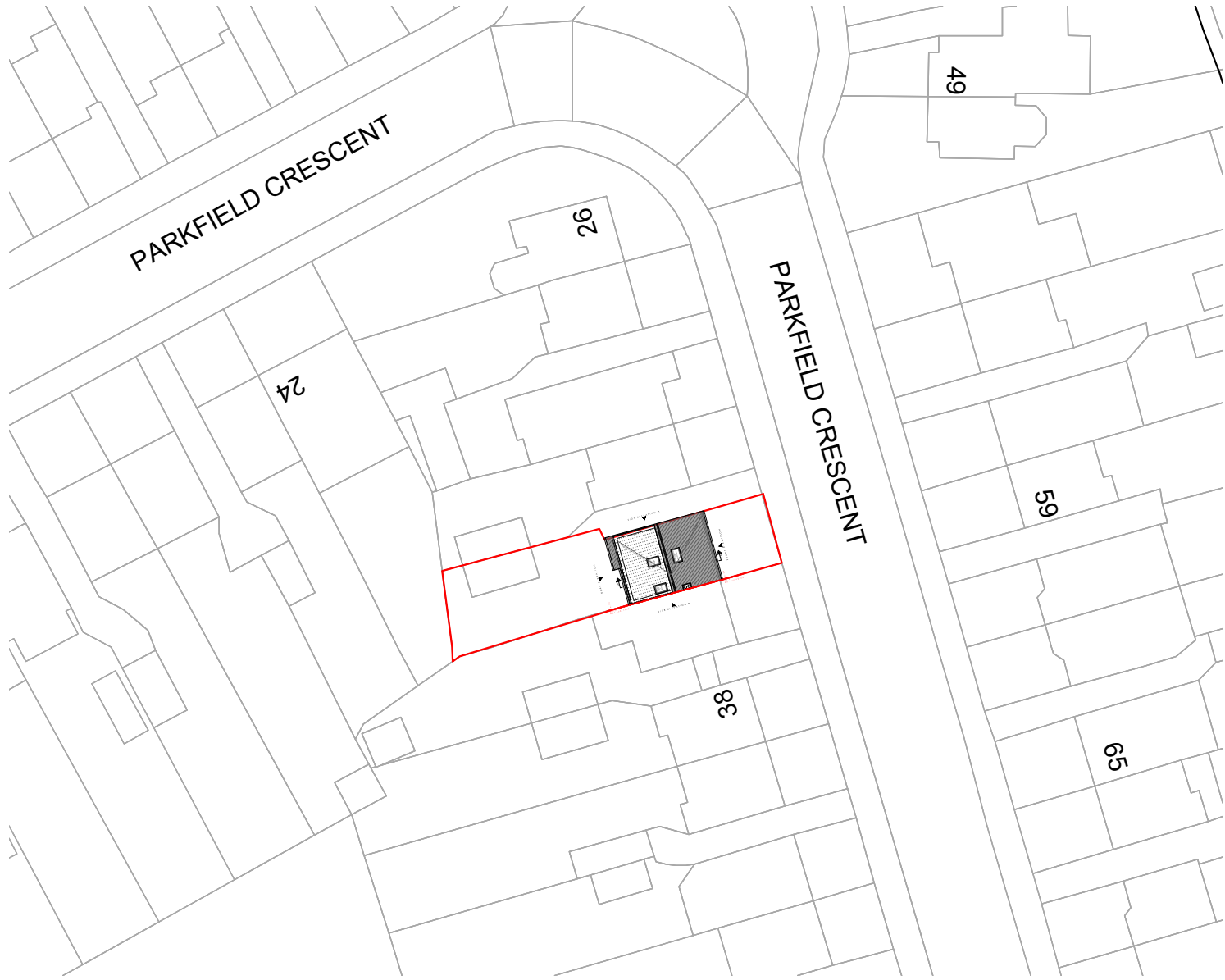
DATE : 2025.01.27 **PROJECT :** 34 Parkfield Crescent Loft Conv .
SCALE : AS SHOWN **DRAWING No :** SP3 **DRAWING TITLE :** PROPOSED OS LOCATION / SITE PLAN
STAGE No : 3 **STAGE TITLE :** Planning

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site, All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

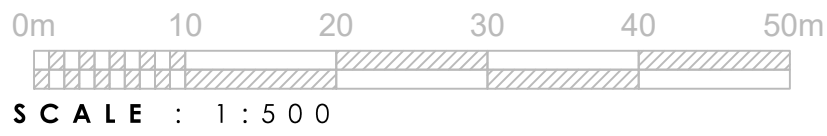
Tel: 0208 226 5511 | Mob: 07961 817 505
E-Mail: info@smlconstructionltd.com
Web: www.smlconstructionltd.com



EXISTING BLOCK PLAN



PROPOSED BLOCK PLAN



DATE : 2025.01.27 PROJECT : 34 Parkfield Crescent Loft Conv .
SCALE : AS SHOWN DRAWING No : BP1 DRAWING TITLE : OS LOCATION / SITE PLAN / BLOCK PLAN
STAGE No : 3 STAGE TITLE : Planning

Tel: 0208 226 5511 | Mob: 07961 817 505
E-Mail: info@smlconstructionltd.com
Web: www.smlconstructionltd.com

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site, All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.