

COMAG Works, Tavistock Road, West Drayton
(1006546-01)

**Ecological Enhancement Plan
(addressing the requirements of
Condition 25
of Planning Permission
24843/APP/2022/2403)**

February 2025

| Quality Management | |
|------------------------|---|
| Client: | Bellway Homes Limited (North London) |
| Project: | COMAG Works, Tavistock Road, West Drayton |
| Report Title: | Ecological Enhancement Plan |
| Project Number: | ECO-6546 |
| File Reference: | 1006546 EEP vf1/KD/MRD |
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1 Introduction

1.1 Background and Proposals

- 1.1.1 Aspect Ecology has been commissioned by Bellway Homes Limited (North London) in respect of proposed redevelopment of land at the former COMAG Works, Tavistock Road, West Drayton, centred at grid reference TQ 058 801, hereafter referred to as 'the site'.
- 1.1.2 The proposals are for the erection of building comprising 105 residential dwellings (Use Class C3) and 99sq.m (GIA) Community Hub (flexible Use Class E/F.1/F.2), ranging from two to seven storeys together with associated accesses, car parking, cycle parking and hard and soft landscaping.
- 1.1.3 Outline planning permission was approved in June 2024 (ref: 24843/APP/2018/269) which is subject to a number of conditions.

1.2 Site Characteristics

- 1.2.1 The site is located in West Drayton, Hillingdon, within an urban context. The site is bound to the north and east by residential development, and to the south and east by Tavistock Road, beyond which lies a tree line and West Drayton Railway line.
- 1.2.2 At the time of the initial application in 2017, third-party consultancy recorded the site itself to comprise a three-storey office building and attached two storey warehouse, both of which were recorded to be occupied.
- 1.2.3 During the site visit conducted by Aspect Ecology in June 2022, the habitats present within the site are limited to a large area of bare ground with some dense scrub at the edges of the site and an area of concrete hardstanding in the southeast corner.

1.3 Approved Development and Relevant Planning Conditions

- 1.3.1 The third-party Ecological Appraisal submitted with previous planning application 24843/APP/2017/2974 contains a number of recommendations for ecological enhancement avenues., although it has not been possible to find any relevant ecological appraisals for the current application (24843/APP/2022/2043). As such, we have used the information provided in the previous application documents as a guide for what to include in the Ecological Enhancement Plan, together with the information given in the wording of the condition.
- 1.3.2 In line with the planning condition, an Ecological Enhancement Plan has been prepared to summarise these requirements.
- 1.3.3 The planning permission is therefore subject to a number of conditions, of which Condition 25 relates to ecology and will be the subject of this report:

"Condition 25

Prior to above ground works, an ecological enhancement plan shall be submitted to and approved in writing by the Local Planning Authority. The plan shall provide details of ecological features (e.g. bat and bird boxes and mammal, invertebrate and reptile refugia)

The development shall thereafter be implemented in accordance with the approved BEMP."

1.4 Purpose and Objectives of this Report

- 1.4.1** This report provides details of the enhancements to be provided for the benefit of biodiversity, to fully address the requirements of Condition 25 of Planning Permission 24843/APP/2022/2403.
- 1.4.2** The aim of this document is to describe enhancement measures that are to be incorporated within the scheme to maximise ecological value of proposed new habitats on site. Furthermore, the aim of this report is to ensure that proposals deliver the desired ecological enhancements for the benefit of local biodiversity.
- 1.4.3** These proposed faunal and habitat enhancements are based on the preliminary reporting produced by third-party consultancy (Ref: Preliminary Ecological Appraisal, WSP, August 2017) and the existing Landscaping Masterplan for the site, which has been used as guide to produce an Ecological Enhancement Plan (Plan 6546/EEP) which is presented in this report. The focus of the strategy is on the general areas and quantum of habitats which will be provided and details for enhancement and management.
- 1.4.4** The selection of habitat and faunal enhancements takes into account the previous surveys carried out by third party consultancy. Full details of the survey work and recommendations to safeguard notable habitats and protected species is set out in the associated third-party consultant reports.

2 Management and Enhancement Measures to Achieve Conservation Objectives

2.1 Overview

- 2.1.1 The National Planning Policy Framework (NPPF) encourages new developments to maximise the opportunities for biodiversity through incorporation of enhancement measures. The proposals present the opportunity to deliver significant ecological enhancements at the site for the benefit of local biodiversity, thereby making a positive contribution towards the broad objectives of national conservation priorities and the local Biodiversity Action Plan (BAP).
- 2.1.2 Development of the site provides the opportunity to enhance the quality and extent of habitat within the site, providing opportunities for a range of wildlife species. In addition, specific enhancement measures are proposed for key species / species groups, namely birds and invertebrates.
- 2.1.3 The following ecological enhancement opportunities have been proposed, and are listed below:
- Landscaping in the north of the site will be designed to provide biodiversity benefits
 - The site could be enhanced for nesting birds through the provision of additional nesting opportunities
 - Invertebrate boxes to be included within new areas of landscaping
- 2.1.4 The proposed habitats will be managed in order to maximise the biodiversity benefit and enhance life history opportunities for faunal species throughout the site.
- 2.1.5 The Biodiversity Enhancement features proposed for implementation throughout the site aim to provide additional roosting and nesting opportunities whilst ecotone enhancement will provide additional foraging opportunities for faunal species.
- 2.1.6 The range of new faunal enhancements will be provided within the site, as shown on Plan 6546/EEP and are discussed in further detailed below.

2.2 Species-Specific Enhancements

Birds

- 2.2.1 Three integrated nest boxes (Bird Brick Houses® Standard Bird Box or similar with a suitable aperture for smaller bird species such as House Sparrows and Tits – details included within Appendix 6546/1) will be incorporated within the proposed development. The nest boxes should be located within the outer edge of the residential development integrated into new buildings. The boxes will be situated at least 3m from the ground, facing north or east so they are out of direct sunlight and are in wind-free areas, and ideally not located directly over a doorway, meeting or well-used paths.

Invertebrates

- 2.2.2 A total of two insect hotels will be incorporated within the new proposed vegetation to the north of the site, in order to provide potential habitat opportunities for invertebrate species, which in turn could provide a prey source for a range of other wildlife. In addition,

the provision and management of new native landscape planting will likely provide additional opportunities for invertebrates at the site in the long term. Typical details of the log piles and insect hotel are included as Habitat Creation Sheets in Appendix 6546/1.

3 Initial Aftercare and Long Term Maintenance

3.1.1 A number of general habitat management measures for the benefit of biodiversity enhancement are outlined below.

- To the north of the site, an area of native amenity grassland will be established. Although it not possible to retain this area as unmanaged long-sward grassland, the grassland will be sown with an appropriate species-rich mix and will be managed to retain species richness, as well as controlling any scrub or bracken;
- Footpaths and other site infrastructure (including faunal habitat features such as bird boxes) will be subject to regular checks with maintenance and repairs undertaken as required;

3.1.2 It is proposed that ongoing management is informed by monitoring, to include routine monitoring as part of other management activities, together with a programme of specific habitat and faunal monitoring undertaken by a competent member of the staff who are manning the site. If necessary, a qualified ecologist or nature conservation body should be contacted for further advice.

3.1.3 Specific habitat management and faunal enhancement aftercare and long term maintenance is broken down into the following measures:

Grassland

3.1.4 A mowing regime will be implemented which encourages the flowering of grassland species, whilst also maintaining its functionality as amenity grassland. The grassland will remain unmown during the months of May, June and July, to allow flowering of herbaceous species, before cutting then resumes in August.

Birds

Inspection of Bird Boxes

3.1.1 No monitoring is required of integrated boxes within new dwellings (see Plan 6456/EEP).

3.1.2 If these are to be installed within accessible areas around the development, and annual inspections will be required to ensure the boxes remain secure. Any adjustments to bird boxes (e.g. repositioning) should be undertaken in the winter months (i.e. outside 1st March to 31st August inclusive) when they are least likely to be in use.

Invertebrates

Inspection and maintenance of Bug Hotels

3.1.3 Annual inspections of the bug hotel installed within public open space areas (see Plan 6546/EEP for locations) will be undertaken to ensure the structure has remained in place and functioning. Should the bug hotel appear clogged by dirt and cobwebs, it can be cleaned by using an old dustpan and brush, with webs being carefully removed. The hotel should be thoroughly check before it is cleaned to ensure that nothing is living within it

4 Summary and Conclusions

- 4.1.1 Aspect Ecology is advising Bellway Homes Ltd in respect of ecological matters at COMAG, Tavistock Road, West Drayton. The planning is subject to a number of conditions, of which this report is concerned with Condition 25, relating to the production of an Ecological Enhancement Plan.
- 4.1.2 This Ecological Enhancement Plan (EEP) clearly outlines the conservation objective on site, provides detail of the proposed ecological enhancement measures to be provided within the development area and how these are to be managed in the long-term. The document defines the habitat and faunal components covered by the EEP and the management strategy.
- 4.1.3 Habitat enhancements are proposed in the form of species-rich amenity grassland, while species-specific enhancements are proposed in the form of new bird boxes and invertebrate hotels.
- 4.1.4 It is considered that, subject to the implementation of the measures set out above, this report satisfies the stated requirements of Condition 25 of the planning consent (Ref: 24843/APP/2022/2403).

Plan 6546/BES1:

Ecological Enhancement Plan

Bird Boxes
A total of three bird boxes will be incorporated within the proposed development. The box should be at least 3m from the ground, facing north or east so it doesn't get too hot or wet. It needs to be out of direct sunlight, and ideally not over a doorway, window or well-used path.

Amenity grassland
A species-rich grassland will be created in the amenity area to the north of the site and will provide foraging opportunities to invertebrates. Native species should be used as far as possible with grassland sown with a species-rich mix.

Bug Hotels
A total of two bug hotels are to be incorporated within new areas of landscaping to the north of the site. Bug hotels are typically 1mx1mx1m and will comprise a variety of materials such as wood, deadwood and stones creating cracks and crevices of various sizes within the structure. These should be situated in sheltered locations surrounded by vegetation to provide additional shelter.

- Key:
- Site Boundary
 - Species-rich Amenity Grassland
 - Bird Box
 - Bug Hotel
 - Proposed Tree

aspect ecology

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Comag Works, Tavistock Road,
West Drayton
Ecological Enhancement Plan

6546/EEP

B/JP

February 2025

PROJECT

TITLE

DRAWING NO.

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DATE



Appendix 6546/1:

Specifications for Faunal Enhancement Features

Standard Bird Box



Standard Bird Box fitted with brick slips in Flemish Bond.

Main body is 100% recycled polypropylene, real brick slips (brick supplied by customer or from our stock) bonded to the removable front with a mix of wall-tie adhesive and tile adhesive. Screws retaining the front are stainless steel. Two drainage holes are located in the base of the box.

Standard Options

The Bird Box is suitable for most buildings in brick (stretcher bond, Flemish bond, Soldier); render, weather boarding; stone and flint. Rendered boxes are supplied with a stainless steel mesh ready for render on site.

Note; soldier bond is available but the box has to be adapted by Bird Brick Houses. Adaptation of the box would reduce length to 225mm L.

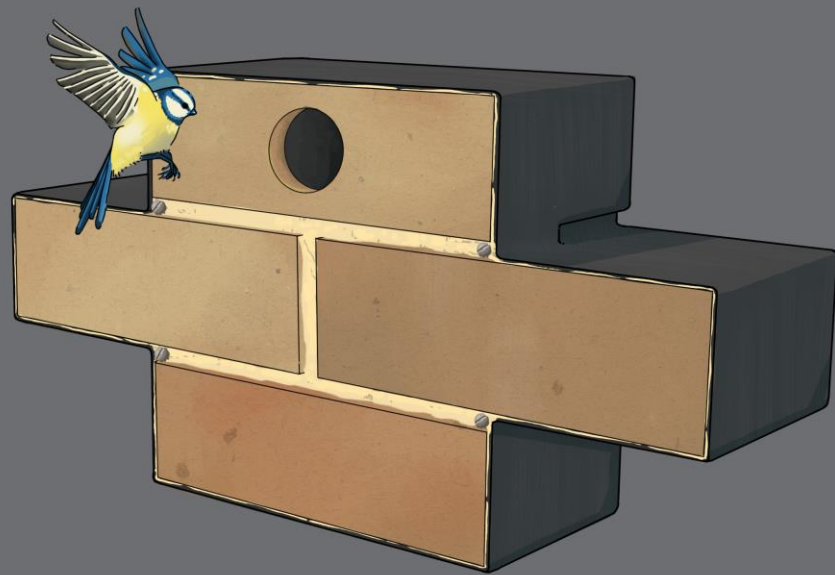


Above: Flemish Bond Standard Box



Above: Soldier Bond Box

- Manufacturer: Bird Brick Houses Ltd.
- Web: www.birdbrickhouses.co.uk
- Tel: 01323 488732
- Product reference: Bird Box
- Type: Standard box suitable for House sparrows, Tits, with a 36mm aperture. Same box applies for Red Starts and Starlings with aperture changing to 48mm.
- **Size 440L x 227 H X 125D**



BIRD BRICK HOUSES

STANDARD BOX - EXTERIOR



BIRD BRICK HOUSES

STANDARD BOX - INTERIOR

Insect Hotels

Insect hotels can provide a variety of habitats and microclimates for a range of invertebrate species. These structures can provide overwintering sites as well as nesting opportunities.

Insect hotels can vary in size but are typically at least 1 metre x 1 metre x 1 metre. Larger structures can offer an educational focal point within public greenspace on a development. A variety of materials are used such as wood, deadwood and stones, to create cracks and crevices of various sizes within the structure.

Example of large scale insect hotel to act as an educational focal point

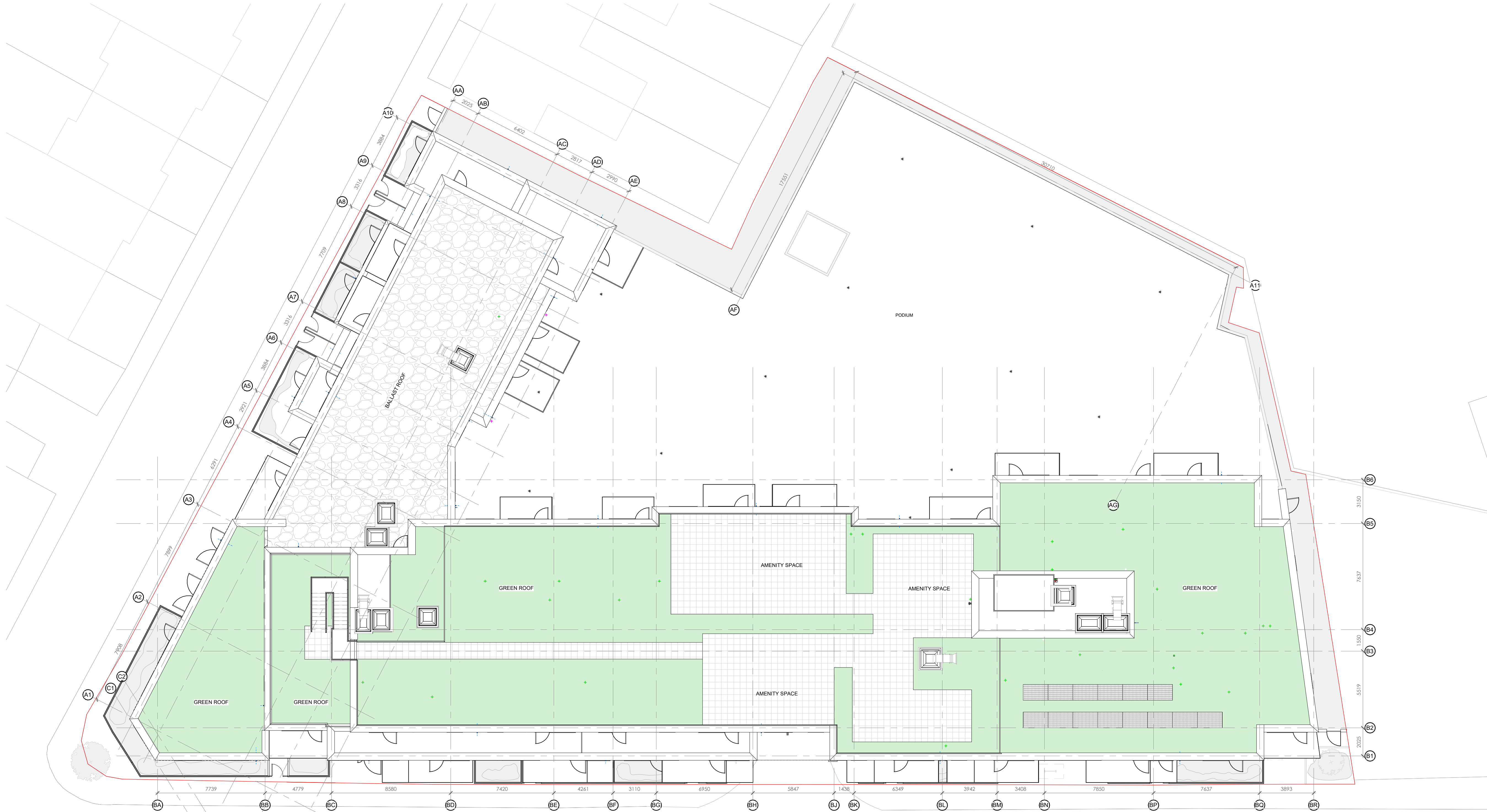


Example of smaller scale insect hotel



Appendix 6546/2:

Landscape Masterplan



GA Plan - Eighth Floor
1 : 150

EXTERNAL WALL KEY -
BRICKWORK OUTER SKIN

- BRICK - Multi Buff - 102.5mm
- BRICK - Light Multi Buff - 102.5mm
- BRICK - White - 102.5mm
- Unheated blockwork wall - 400mm
- Heated blockwork wall - 430mm
- Unheated brick and block external wall - 402.5mm
- Heated brick and block external wall - 427.5mm
- Heated brick and SFS external wall - 440mm
- Blockwork wall - Single skin - 215mm

EXTERNAL WALL KEY

- Unheated blockwork wall - 400mm
- Heated blockwork wall - 430mm
- Unheated brick and block external wall - 402.5mm
- Heated brick and block external wall - 427.5mm
- Heated brick and SFS external wall - 440mm
- Blockwork wall - Single skin - 215mm

PARTY / INTERNAL WALL KEY

- Blockwork party wall - Between unheated spaces - 400mm
- Blockwork party wall - Between heated & unheated spaces - 430mm
- Blockwork party wall - Between heated spaces - 360mm
- SFS party wall - 350mm
- RC column - To S/E details

SYMBOLS KEY:

- ABG-ZZ-DR-A-400 Elevation Tag
- 06 Section Tag
- ABG-ZZ-DR-A-300
- A1 Gridline reference
- Podium Gully
- Rain Water Pipe / RWP
- SVP
- Recess for future shower M4(2) and M4(3) adaptable
- Recess for M4(3) fully accessible shower
- Service Penetrations
- Overflow pipe
- Site Boundary
- AP Abseil post locations - to be cast into roof structure before waterproofing. See drawing: XX-ZZ-DR-A-2037
- Mansate design to specialist sub-contractor's design

CONSTRUCTION ISSUE

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NOTES:

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| C1 | CONSTRUCTION ISSUE | BLS | 18/12/2023 |
| REV | AMENDMENTS | BY | DATE |

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For and on behalf of:

Bellway

| | | |
|-------------|------------------|-------------------|
| Drawn: BG | Date: 13/02/2023 | Scale: 1 : 150@A1 |
| Checked: BG | Approved: JJ | Architectural |

Title: **GA PLAN - EIGHTH FLOOR**

Project: **COMAG, WEST DRAYTON**

| | |
|---|-------------------|
| Drawing Number: 71805-BM3- XX-L8-DR-A-208 | Rev: C1 |
| dwg: | A1 |

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