

APPENDICES

Appendix A

SERVICE CONSTRAINTS

APPENDIX A

SERVICE CONSTRAINTS

1. Service Constraints for all Reports

1.1. This Report (the "Report") and any study, inspection, investigation, sampling, testing and or interpretation carried out in connection with the Report (together the "Services") were compiled and carried out by RSK Environment Limited (RSK) trading as Carbon Zero Consulting, Leap Environmental or RSK Geosciences, for the Client named in the first paragraph of the Report (the "Client") in accordance with the terms of an RSK Fee Proposal including RSK Environment Standard Terms and Conditions (the "Appointment") between RSK and the Client, unless otherwise stated in the first paragraph of the Report. The Services were performed by RSK with the reasonable skill and care ordinarily exercised by a geo-environmental consultant at the time the Services were performed. Nothing in this Report shall be construed as imposing any fitness for purpose obligation. Further, and in particular, the Services were performed by RSK taking into account the limits of the scope of works required by the Client, the time scale involved and the resources, including financial and manpower resources, agreed between RSK and the Client.

1.2 Other than that, expressly contained in paragraph 1 above, RSK provides no other representation or warranty whether express or implied, in relation to the Services. RSK shall not be liable in respect of any action or proceedings arising out of or in connection with this Report whether in contract, in tort, for breach of statutory duty or otherwise after the expiry of six (6) years from either (i) the date of the Report or (ii) such earlier date as prescribed by law, unless varied in the terms of the Appointment.

1.3 Unless otherwise agreed in writing, the Services were performed by RSK exclusively for the purposes of the Client. RSK is not aware of any interest of or reliance by any party other than the Client in or on the Services. Unless expressly provided in writing, RSK does not authorise, consent, or condone any party, other than the Client relying upon the Services. Should this Report or any part of this Report, or details of the Services or any part of the Services, be made known to any such party, and such party relies thereon, that party does so wholly at its own and sole risk, and RSK disclaims any liability to such parties. Any such party would be well advised to seek independent advice from a competent geo-environmental consultant and/or lawyer.

1.4 The Client shall not, without the prior written consent of RSK, assign, transfer, charge, mortgage, subcontract, or deal in any other manner with all or any of the benefits provided in this Report. Unless specified in the Appointment, RSK shall not be obliged to assign the benefit of the Report whether by collateral warranty, third party rights pursuant to the Contracts (Rights of Third Parties) Act 1999, letter of reliance or otherwise. If RSK agrees to any assignment of the benefit of this Report, in whatever form, benefits to third parties through collateral warranties, third party rights or letters of reliance shall not be provided unless a fee for each right, warranty or letter is agreed. The form of wording used in the warranty or letter shall be provided by RSK for agreement by the Client. Any reasonable changes to the form of wording will be implemented by mutual agreement, however the terms in the warranty or letter cannot offer the third party any greater benefit than the Appointment offered to the Client.

1.5 It is the understanding of RSK that this Report is to be used for the purpose described in the introduction to the Report. That purpose was a significant factor in determining the scope and level of the Services. Should the purpose for which the Report is used, or the proposed use of the site change, this Report may no longer be valid and any further use of or reliance upon the Report in those circumstances by the Client without the review and advice of RSK shall be at the Client's sole and own risk. RSK shall not be liable for any use of this Report for any purpose other than that for which it was provided.

1.6 The passage of time may result in changes in site conditions, regulatory or other legal provisions, technology or economic conditions which could render the Report inaccurate or unreliable. The information and conclusions contained in this Report should not be relied upon in the future without the written advice of RSK. In the absence of such written advice of RSK, reliance on the Report in the future shall be at the Client's own and sole risk.

1.7 The observations and conclusions described in this Report are based solely upon the Services which were provided pursuant to the agreement between the Client and RSK. RSK has not performed any observations, investigations, studies or testing not specifically set out, or required by the Appointment between the Client and RSK. RSK is not liable for the existence of any condition, the discovery of which would require performance of services not otherwise contained in the Services. For the avoidance of doubt, unless otherwise expressly referred to in the introduction to this Report, RSK did not seek to evaluate the presence on or off site of asbestos, invasive plants, electromagnetic fields, lead paint, heavy metals, radon gas, fuel storage, persistent bio-accumulative or toxic chemicals (including PFAS and related compounds) or other radioactive or hazardous materials, unless specifically identified in the Services.

1.8 The Services are based upon RSK's observations of existing physical conditions at the Site gained from a visual inspection of the site together with RSK's interpretation of desk based publicly available information, including documentation, obtained from third parties and from the Client on the history and usage of the site, unless specifically identified in the Services and the limitations below:

- a. The Services were based on information and/or analysis provided by independent testing and information services or laboratories upon which RSK was reasonably entitled to rely.
- b. The Services were limited by the accuracy of the information, including documentation, reviewed by RSK and the observations possible at the time of the visual inspection.
- c. The Services did not attempt to independently verify the accuracy or completeness of information, documentation or materials received from the Client or third parties, including laboratories and information services, during the performance of the Services.
- d. The Client has identified in writing to RSK, the information, reports, findings, surveys and preliminary works RSK may not rely upon when providing the Services.

RSK is not liable for any inaccurate information or conclusions, the discovery of which inaccuracies required the doing of any act including the gathering of any information which was not reasonably available to RSK, and including the doing of any independent investigation of the information provided to RSK, save as otherwise provided in the terms of the Appointment between the Client and RSK.

1.9 Any site drawing(s) provided in this Report is (are) not meant to be an accurate base plan for scale measurement but is (are) used to present the general relative locations of features on, and surrounding, the site. Features (intrusive and sample locations etc) annotated on site plans are not drawn to scale but are centred over the approximate location. Such features should not be used for accurate setting out and should be considered indicative only.

1.10 Should RSK be requested to review the Report after the date of issue of this Report, RSK shall be entitled to additional payment at the existing rates, or such other terms as agreed between RSK and the Client.

2. Service Constraints where the Report provides an intrusive assessment of ground conditions:

2.1 The intrusive environmental ground investigation aspects of the Services are a limited sampling of soil from the site, at pre-determined locations based on the known historic / operational configuration of the site. The conclusions given in this Report are based on information gathered at the specific test locations and can only be extrapolated to an undefined limited area around those locations. The extent of the limited area depends on the properties of the materials adjacent and local conditions, together

with the position of any current structures and underground utilities and facilities, and natural and other activities on site. In addition, chemical analysis was carried out for a limited number of parameters (as stipulated in the scope agreed between the Client and RSK, based on an understanding of the available operational and historical information) and it should not be inferred that other chemical species (not tested) are not present.

2.2 The comments given in this Report and the opinions expressed are based on the ground conditions encountered during the site work and on the results of tests made in the field and in the laboratory. The extent of the exploratory holes, laboratory testing and monitoring undertaken may have been restricted due to a number of factors including accessibility, the presence of buried or overhead services, current development, site usage, timescales or the Client's specification. The exploratory holes only assess a small proportion of the site area with respect to the site as a whole, and as such may only provide an indicative assessment of ground conditions on site. There may be conditions pertaining to the site that have not been disclosed by the investigation and therefore could not be taken into account. In particular, it should be noted that there may be areas of made ground not detected due to the limited nature of the investigation or the thickness and quality of made ground across the site may be variable. In addition, groundwater levels and ground gas concentrations and flows, may vary from those reported due to seasonal, or other, effects and the limitations stated in the data should be recognised. The presence of hotspots of undisclosed contamination or exceptional and unforeseen ground conditions cannot be discounted.

2.3 Where the Services include Investigation of an exploratory nature or relating to physical ground works, any costings and prices provided in the Report are estimated and provided for guidance purposes only. The actual cost and time quantities shall be remeasured and shall be dependent upon the ground or other conditions, constraints present, and number and depth of the investigation locations, which shall influence the number of samples and tests required, and the quantities of soil being classified.

2.4 Asbestos is often observed to be present in soils in discrete areas. Whilst asbestos-containing materials may have been locally encountered during the fieldworks or supporting laboratory analysis, the history of brownfield and demolition sites indicates that asbestos fibres may be present more widely in soils and aggregates, which could be encountered during more extensive ground works. However, this Report does not constitute an asbestos survey. On this basis, the presence of asbestos on site cannot be discounted and a full asbestos survey should be undertaken.

2.5 Unless stated otherwise, only preliminary geotechnical recommendations are presented in this Report and these should be verified in a Geotechnical Design Report, once proposed construction and structural design proposals are confirmed. Eurocode 7 gives guidance on the type of sampling, sample quality, number and spacing of intrusive investigations, and number of laboratory tests required. It is intended that the Geotechnical Information section of this Report will fulfil the general requirements of the Ground Investigation Report as set out in section 6 of Eurocode7, although this is subject to the restrictions imposed on the investigation, as listed above. For geotechnical design, Eurocode 7 requires the Geotechnical Design Report to address both the geotechnical and structural aspects of the geotechnical design for both the limit and serviceability states. The Geotechnical Appraisal section of this Report will not meet the requirements of a Geotechnical Design Report (GDR) and should therefore be used for preliminary guidance only.

3. Service Constraints where the Report relates to Surface Water Management:

3.1 The Surface Water Management Inspection (SWMI) Report, documents provided, observations, actions, and recommendations, with respect to the management of potential pollution issues to surface waters, made during the site Inspection visit, are those present at the time of the visit, and may not represent those recorded by others on the same day.

3.2 The comments given in this Report and the opinions expressed are based on the weather, ground and ground water conditions encountered during the site work and on the results of tests made in the field and in the laboratory. However, there may be conditions pertaining to the site that have not

been disclosed by the inspection and therefore could not be taken into account. In addition, groundwater levels and flows, may vary from those Reported due to seasonal, or other, effects and the limitations stated in the data should be recognised.

3.3 RSK places a degree of dependence upon oral information provided by site representatives, which is not readily verifiable through visual inspection, or supported by any available written documentation. RSK shall not be held responsible for conditions or consequences arising from relevant facts that were not fully disclosed by facility or site representatives at the time this Report was prepared.

3.4 This Report is a live document, to be continually reviewed and updated as the development progresses or other changes occur on site. RSK can only maintain the currency of this Report through the Client requesting support with supplementary site visits or attendance at meetings ahead of key stages of the development in relation to surface water management. Our risk rating assesses a number of risk factors in line with the source-pathway- receptor model and is therefore subject to constant change.

3.5 Standard design drawings are indicative. Material types, dimensions and construction details will need to be adjusted by the Client to suit the specific conditions / flows on Site.

3.6 The full responsibility for implementing the site-specific protection and maintenance measures to protect the surface water system as stated in this Report, remains with the Client and their site management team. Additional control measures may be required to achieve the objectives set out in the Surface Water Management Plan to be implemented and financed by the Client.

4. Service Constraints where the Report relates to Waste Management:

4.1 In accordance with the definition provided in the Waste Framework Directive (WFD), materials are only considered waste if 'they are discarded, intended to be discarded or required to be discarded, by the holder'. Naturally occurring soils are not considered waste if re-used on the site of origin for the purposes of development. Soils such as made ground that are not of clean and natural origin (irrespective of whether they are contaminated or not) and other materials such as recycled aggregate, do not necessarily become waste until the criteria above are met. Excavation arisings from the development may therefore be classified as waste if surplus to requirements and/or unsuitable for re-use.

4.2 It is the duty of the waste producer, to ensure that all waste is accurately classified prior to waste disposal. Technical Guidance WM3 (EA, 2018) sets out in its Appendix D requirements for waste sampling. It is a legal requirement to correctly assess and classify waste. The level of sampling should be proportionate to the volume of waste and its heterogeneity. Unless otherwise stated, the waste assessment presented in this Report should be considered as preliminary and further testing and assessment of the waste under the provisions of a Waste Sampling Plan may be required to obtain the necessary level of data required for basic characterisation of the waste in support of disposal.

4.3 Unless stated otherwise in the Report, information relating to historical operations at the site was not reviewed as part of the assessment by RSK. In addition, unless otherwise stated in the Services, RSK was not present during the collection of the samples nor had any input on the chemical testing suite. Therefore, the waste assessment and classification detailed in this Report are based solely on any information that were provided to RSK (e.g., laboratory chemical data, exploratory hole records) and were completed without prejudice for our Client.

4.4 RSK's assumes that any ground investigation data, chemical testing results etc., that were provided by the Client to inform the waste assessment and supporting review were carried out in accordance with current best practice and relevant guidance/ standards, where applicable. Thus, the comments given in this Report and the opinions expressed are based solely on the information provided by the Client. However, it is noted that there may be conditions pertaining to the site that have not been disclosed by the investigation and therefore could not be taken into account as part of the RSK assessment.

5. Service Constraints for Construction Environmental Management Plan Reports:

5.1 This Report should be considered in the light of any changes in legislation, statutory requirement or industry practices that may have occurred subsequent to the date of issue.

5.2 The measures and comments outlined in this Report and any opinions expressed are based on the plans provided at the time and discussions with relevant parties. However, there may be conditions pertaining to the site that have not been disclosed by investigations and therefore could not be taken into account.

5.3 This CEMP is a live document and is subject to change throughout the project, as and when necessary, to ensure management of environmental aspects remains relevant, and to ensure continued compliance with legislation and commitments as they may change. RSK understands that this CEMP will be reviewed by the Client every six months and updated as and when necessary.

5.4 It is the full responsibility of the Principal Contractor/ Client to ensure that their works do not contravene legal requirements, and adherence to this CEMP alone cannot be a full defence regarding legal action against the Principal Contractor.

6. Service Constraints where the Report relates to Ground Gas Membrane Verification:

6.1 This Report is limited to the verification of the gas resistant membrane/vapour membrane/radon barrier after installation and no inspections were undertaken of the substrate (i.e. prepared ground). The Report therefore does not constitute as a full verification of ground gas protection system.

6.2 The comments given in this Report and the opinions expressed, are based on the condition of the ground gas membrane as encountered at the time of inspection by suitably qualified personnel. RSK cannot accept liability for any subsequent change to the status of the gas membrane by follow-on trades or other construction activity.

6.3 Where not designed by RSK, the verification of protection measures is carried out with reference to the gas protection design provided by the Client. RSK assume the scope of gas protection measures as determined by third parties to be correct and to have achieved any required approval from authorities.

6.4 The Ground Gas Design Report/Remediation Strategy and Verification Plan contains details of the procedures to be adopted for inspection and validation of the works. However, it should be noted that responsibility for the correct implementation of the strategy lies with the appointed contractor. RSK cannot be held responsible for any remedial works that are carried out without the agreed procedures involving either direct supervision by RSK, or inspection and validation of the works by a representative from RSK.

7. Service Constraints for Environmental Due Diligence (EDD) Reports:

7.1 The comments given in this Report and the opinions expressed are based on the information obtained and reviewed as part of the desk-based assessment. However, there may be conditions pertaining to the Site that have not been disclosed by the assessment and therefore could not be taken into account. Furthermore, no intrusive investigations, monitoring or sampling have been undertaken to confirm the environmental status of the site, therefore any comments relating to ground conditions and subsurface contamination are based solely on a review of desk-based information.

7.2 This Report describes the results of the EDD exercise. The scope of this EDD Report, where appropriate, covers legal or regulatory compliance with respect to UK or international regulations associated with environmental matters.

7.3 As with any EDD exercise, there is a certain degree of dependence upon information provided by the target company. The EDD does not include a site walkover / visit or liaison with site representatives unless identified in the Services. Therefore, the assessment is based on the available desk study information. Also, there is a certain degree of dependence upon oral information provided

by site representatives, which is not readily verifiable through visual inspection, or supported by any available written documentation. RSK shall not be held responsible for conditions or consequences arising from relevant facts that were not fully disclosed by facility or site representatives at the time this EDD exercise was performed.

7.4 This Report, including all supporting data and notes (collectively referred to hereinafter as "information"), was prepared or collected by RSK for the benefit of its Client.

7.5 The comments given in this Report and the opinions expressed are based on the information obtained and reviewed as part of the desk-based assessment and the site inspection visit. However, there may be conditions pertaining to the Site that have not been disclosed by the assessment and therefore could not be taken into account. Furthermore, no intrusive investigations, monitoring or sampling have been undertaken to confirm the environmental status of the Site therefore any comments relating to ground conditions and subsurface contamination are based solely on a review of desk-based information and observations collected during the site inspection visit.

8. Service Constraints for Ground source heat energy Reports:

8.1 It is understood that this is a desktop survey only and that there are no requirements for a site walkover, service utility survey, or provision of service plans. These services can be provided upon request if required.

8.2 At a later stage, it is possible that a thermal response test (TRT) will need to be completed, for which a test borehole will have to be drilled, and these would be costed at the time. RSK can provide all aspects of subsequent site work for a GSHP system if required.

9. Service Constraints for Water Abstraction Borehole Reports:

9.1 The Report aims principally to only identify and assess the suitability of the site for a water abstraction borehole. This Report should be considered in the light of any changes in legislation, statutory requirements, and industry practices, that have occurred subsequent to the date of the Report.

9.2 Unless stated in the Report, the opinions expressed in this Report including all comments and recommendations provided are on the basis of the information obtained from a desk-based assessment.

Appendix B

DEVELOPMENT DRAWINGS



Notes:

- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA Key Blocks.

COM 18: Notes

Where RMA services on a project do not include the site inspection and advice services, RMA do not take any liability for any design errors or omissions and any record of any work has been completed.

Where RMA services on a project do not include the site inspection and advice services, RMA do not take any liability for any design errors or omissions and any record of any work has been completed.

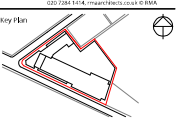
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P2	08.07.22	CHANGES TO BALCONIES & PARKING LAYOUT, ROOF ENTRANCE CORRIDOR ON GP	VC	CT
P1	01.07.22	SECOND ISSUE	AS	CT
P0	27.06.22	FIRST ISSUE	AS	CT
Rev	Date	Description	By	CHK

RM_A

15/17 Highgate Road, London, NW5 1TE, London, NW5 1TE, 020 7284 5114, info@rmawest.co.uk © RMA



Project

Comag West Drayton

RMA Project Reference: 0011

Client

Bellway Homes Limited

Scale: 1:200 @ A1 Date: 06/10/22 By: Author Checked: Checker

Drawing Title:

SITE PLAN

GROUND FLOOR LEVEL

Project of House	Status Code
PLANNING	S3
Drawing No:	Reason
CWD-RMA-ZZ-00-DR-4-0100	P3



A1

Notes:

- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA-see blocks.

COM 18: Notes

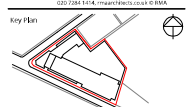
• Where RMA services on a project do not include the site inspection and advice service, RMA do not use the RMA. No liability for errors or omissions in a complete and accurate record of what has been constructed.- Unless noted, specifying the responsible party, changes made as per to RMA design information have not been incorporated in this drawing.



P2	08.07.22	CHANGES TO BALCONIES & VC	CT
P1	01.07.22	PARKING LAYOUT, INSET	CT
P0	27.06.22	SECOND ISSUE	AS
P0	27.06.22	FIRST ISSUE	AS
P0	27.06.22	CHANGES	BY

RM_A

1500 Highgate Road
1500 Highgate Road, London, NW9 5TE
London, NW9 5TE
020 7284 5114, rmawest@comag.co.uk © RMA



Project

Comag West Drayton

RMA Project Reference: 0011

Client

Bellway Homes Limited

Scale: 1:200 @ A1 Date: 06/07/22 By: Author Checked: Checker

Drawing Title

SITE PLAN

FIRST FLOOR LEVEL

Project of House	Status Code
PLANNING	S3
Drawing No	Reason
CWD-RMA-ZZ-01-DR-0101	P2



A1

Notes:

- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA-see blocks.

COM 18: Notes

Where RMA services on a project do not include the site inspection and advice service, RMA do not use the RMA. No liability for errors or omissions in a complete and accurate record of what has been constructed.

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SCALE BAR: 1:200 @ A1

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P2 08.07.22 CHANGES TO BALCONIES & VC CT

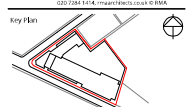
P1 01.07.22 SECOND ISSUE AS CT

P0 27.06.22 FIRST ISSUE AS CT

Rev Date Description By Chk

RM_A

1500 Highgate Road
1500 Highgate Road, London, NW5 1TJ
London, NW5 1TJ
020 7284 5114, rmawest@comag.co.uk © RMA



Project

Comag West Drayton

RMA Project Reference: 011

Client

Bellway Homes Limited

Scale Date By Checked

1:200 @ A1 06/07/22 Author Checker

Drawing Title

SITE PLAN

SECOND FLOOR LEVEL

Progress of Issue Status Code

PLANNING S3

Drawing No Reason

CWD-RMA-ZZ-02-DR-0102 P2

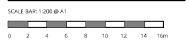


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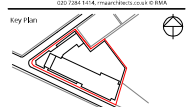
- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA-Net blocks.

COM 18: Notes

• Where RMA services on a project do not include the site preparation and access strategy, RMA do not use the RMA. No liability for design or a complete and accurate record of work has been constructed.- Unless noted, specifying the responsible party, changes made as per to RMA design information have not been incorporated in this drawing.



P2	08.07.22	CHANGES TO BALCONIES & VC	VC	CT
P1	01.07.22	PARKING LAYOUT, INSET	AS	CT
P0	27.06.22	SECOND ISSUE	AS	CT
Rev	Date	Description	By	Chk
RM_A				
1500 Highgate Road, London, NW5 1TE				
020 7284 5114, rmawest@comag.co.uk or RMA				



Project

Comag West Drayton

RMA Project Reference: 011

Client

Bellway Homes Limited

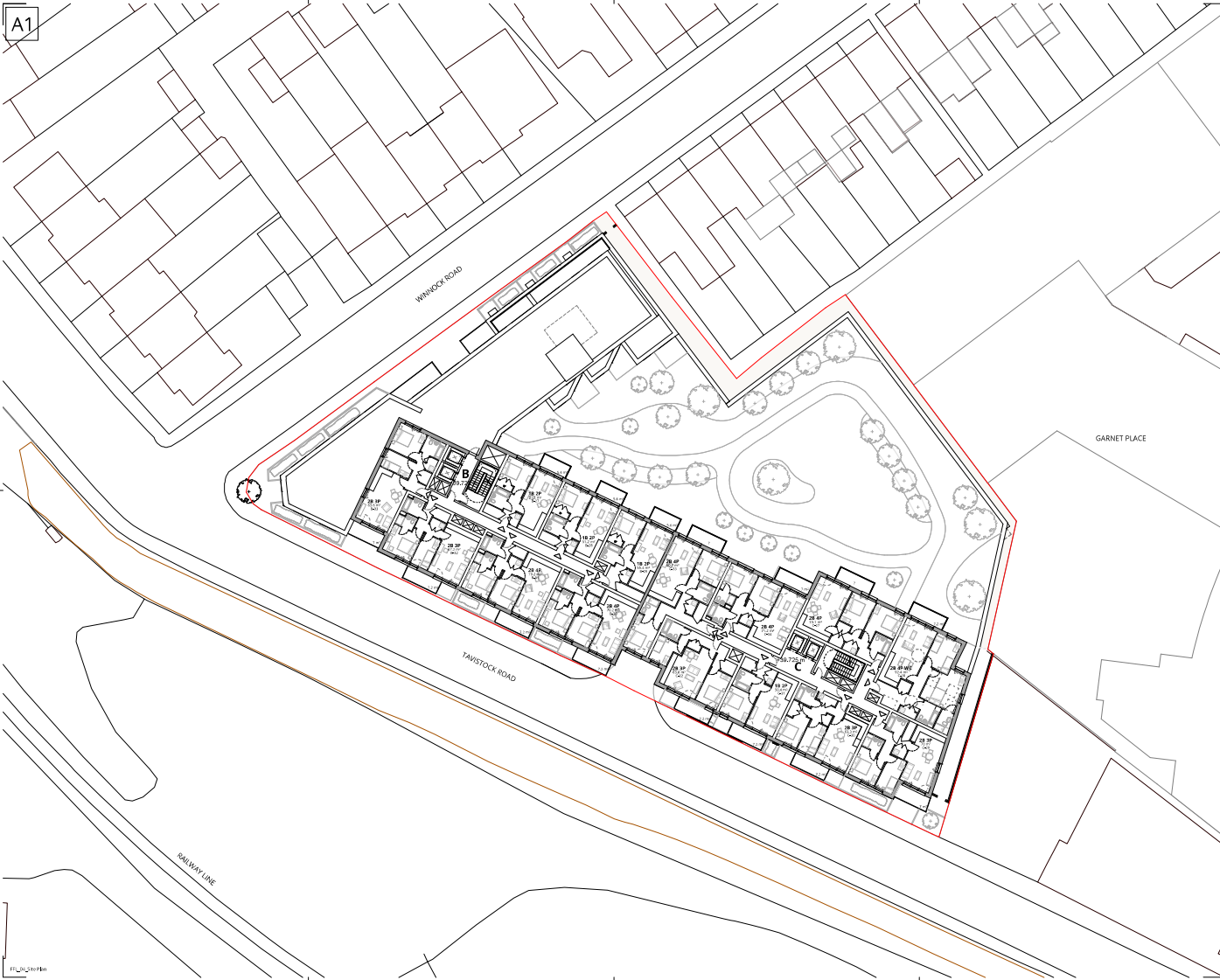
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1:200 @ A1	06/07/22	Author	Checker

Drawing Title

SITE PLAN

THIRD FLOOR LEVEL

Project of House	Status Code
PLANNING	S3
Drawing No	Reason
CWD-RMA-ZZ-03-DR-4-0103	P2



A1

Notes:

- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA Architects.

COM 118 Notes

• Where RMA services on a project do not include the site inspection and service charges, RMA do not use the field. No field notes or drawings are a complete and accurate record of what has been constructed.- Unless noted specifically by the responsible party, changes made on site to RMA design information have not been incorporated in this drawing.

SCALE BAR: 1:200 @ A1

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P2 08.07.22 CHANGES TO BALCONIES & VC CT

P1 01.07.22 PARKING LAYOUT, INSET ENTRANCE CORRIDOR ON GP.

P0 27.06.22 SECOND ISSUE

Rev Date Description By Chk

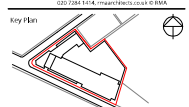
AS CT

AS CT

By Chk

RM_A

1500 Highgate Road
1500 Highgate Road, London, NW5 1TE
London, NW5 1TE
020 7284 5174, rmawest@rmawest.co.uk or RMA



Project

Comag West Drayton

RMA Project Reference: 0111

Client

Bellway Homes Limited

Scale Date By Checked

1:200 @ A1 06/7/22 Author Checker

Drawing Title

SITE PLAN

FOURTH FLOOR LEVEL

Program of Review

PLANNING

Status Code

S3

Drawing No

CWD-RMA-ZZ-04-DR-4-0104

Revision

P2



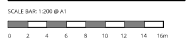
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Notes:

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- Report any discrepancies and variations to RMA Key Blocks.

COM 118 Notes

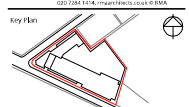
- Where RMA services on a project do not include the site inspection and service charges, RMA do not use the RMA. No liability for design or construction and accuracy of work has been confirmed.
- Unless notified specifically by the responsible party, changes made as a result of RMA design information have not been incorporated in this drawing.



P2	08.07.22	CHANGES TO BALCONIES & VC	VC	CT
P1	01.07.22	CHANGES TO BALCONIES & VC	VC	CT
P0	27.06.22	SECOND ISSUE	AS	CT
P0	27.06.22	FIRST ISSUE	AS	CT
Rev	Date	Description	By	Chk

RM_A

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020 7284 5114, rmawest@comag.co.uk © RMA



Project

Comag West Drayton

RMA Project Reference: 0111

Client

Bellway Homes Limited

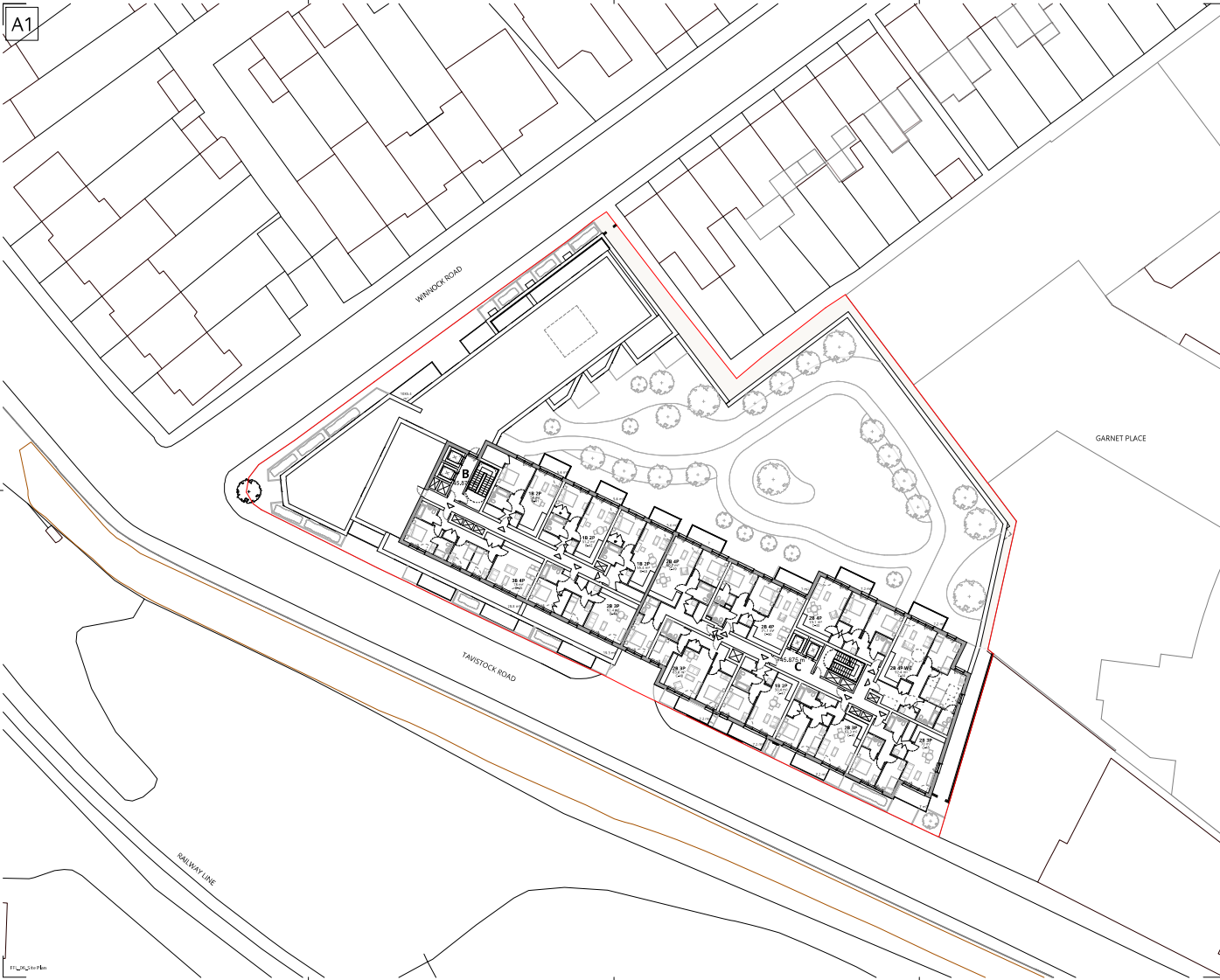
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Drawing Title

SITE PLAN

FIFTH FLOOR LEVEL

Project of House	Status Code
PLANNING	S3
Drawing No	Reason
CWD-RMA-ZZ-05-DR-4-0105	P2



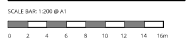
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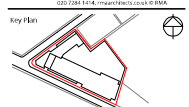
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- Unless notified specifically by the responsible party, changes made as a result of RMA design information have not been incorporated in this drawing.



P2	08.07.22	CHANGES TO BALCONIES & VC	CT
P1	01.07.22	PARKING LAYOUT, INSET	AS
P0	27.06.22	SECOND ISSUE	CT
Rev	Date	Description	By

RM_A

1500 Highgate Road
1500 Highgate Road, London, NW5 1TJ
London, NW5 1TJ
020 7284 5114, rmawest@comag.co.uk or RMA



Project

Comag West Drayton

RMA Project Reference: 0011

Client

Bellway Homes Limited

Scale	Date	By	Checked
1:200 @ A1	06/07/22	Author	Checker

Drawing Title

SITE PLAN

5TH FLOOR LEVEL

Project of House	Status Code
PLANNING	S3
Drawing No	Reason
CWD-RMA-ZZ-06-DR-4-0106	P2



A1

Notes:

- Do not scale from this drawing; work to figured dimensions only.
- All dimensions to be checked on site for accuracy and fit.
- Report any discrepancies and omissions to RMA Architects.

CDD EDC Notes:

- Where RMA services on a project do not include for site inspections and/or surveys, RMA does not warrant that its staff's design drawings are a complete and accurate record of what has been constructed.
- Unless notified specifically by the responsible party, changes made on site to RMA design information have not been incorporated in this drawing.

P2	04.07.22	THIRD ISSUE	AS	CT
P1	01.07.22	SECOND ISSUE	AS	CT
P0	27.06.22	FIRST ISSUE	AS	CT

Rev. Date Description By. Check

RMA

3305 Highgate Station
53-79 Highgate Road, London, NW5 1TL,
London, NW5 1TL
020 7284 1414, info@rma.co.uk © RMA

Key Plan

Project

Comag West Drayton

RMA Project Reference: 2201

Client

Bellway Homes Limited

Scale	Date	By	Checked
1:200 @ A1	06/03/22	AS	CT

Drawing Title:

SITE PLAN
SEVENTH FLOOR LEVEL

Purpose of Issue	Status Code
PLANNING	S3
Drawing No	Revision
CWD-RMA-ZZ-07-DR-A-0107	P2



A1

Notes:

- Do not scale from this drawing, work to figure dimensions only.
- All dimensions are to be checked on site for accuracy and fit.
- Report any discrepancies and variations to RMA Key blocks.

COM T&E Notes

- Where RMA services on a project do not include for site inspection and advice on site. Work to not use the final. No liability is taken for any errors or omissions and no record of work has been completed.
- Unless noted specifically by the responsible party, changes made as per to RMA design information have not been incorporated in this drawing.

SCALE BAR: 1:200 @ A1

0 2 4 6 8 10 12 14 16m

P3	06.07.22	CHANGES TO BALCONIES & PARKING LAYOUT, SUSPENT ENRANCE LOBBIES ON OF	VC	CT
P2	04.07.22	THIRD ISSUE	AS	CT
P1	01.07.22	SECOND ISSUE	AS	CT
P0	27.06.22	FIRST ISSUE	AS	CT
Rev	Date	Description	By	CHK

RMA

1505 Highgate Road
15-17 Highgate Road, London, N6 5EJ
London, N6 5EJ
020 2284 5114, info@rmawest.co.uk © RMA

Key Plan

Project

Comag West Drayton

RMA Project Reference: 2201

Client

Bellway Homes Limited

Scale	Date	By	Checked
1:200 @ A1	06/7/22	Author	Checker

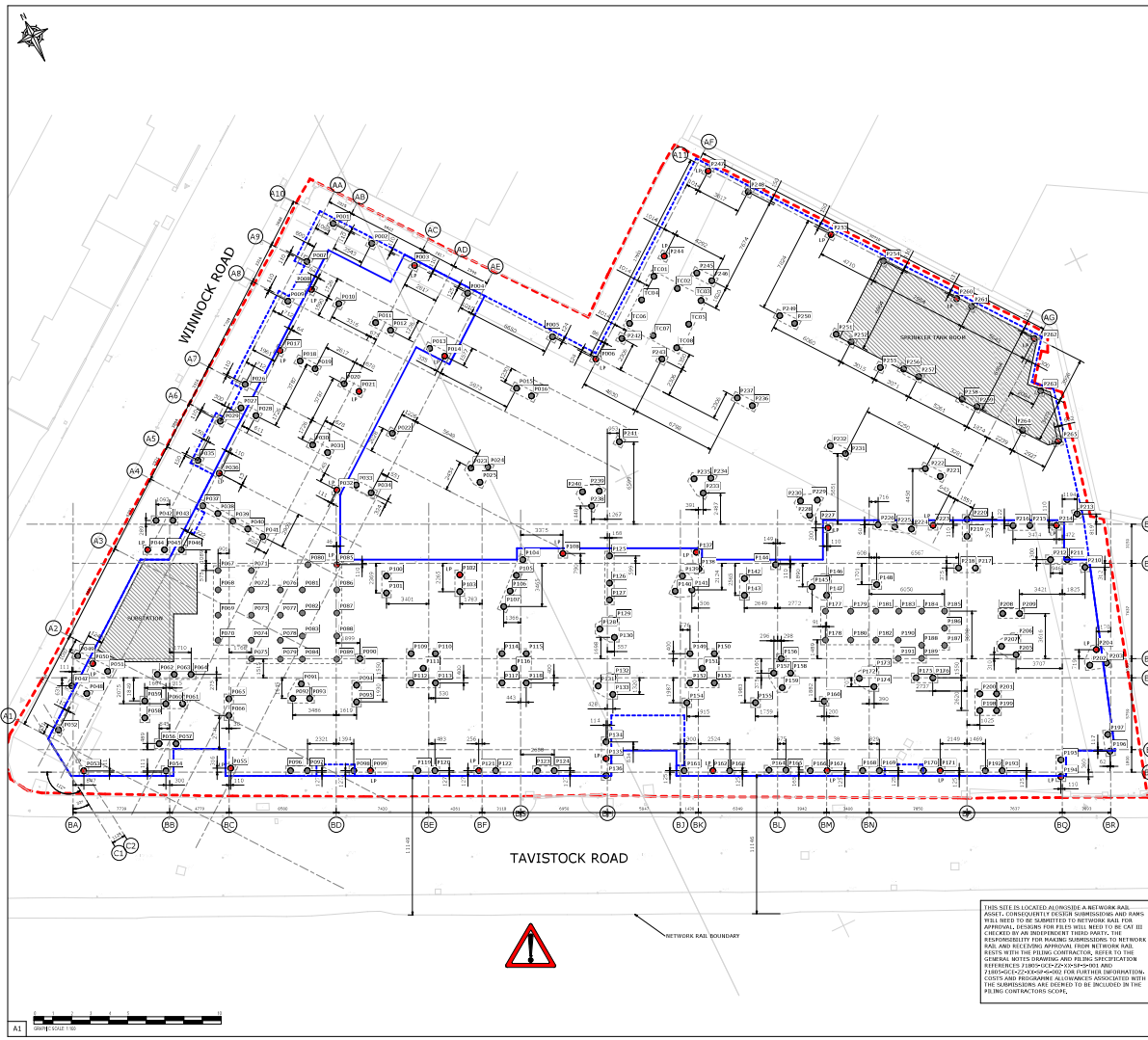
Drawing Title

SITE PLAN
ROOF LEVEL

Proposed House	Status Code
PLANNING	S3
Drawing No	Reason
CWD-RMA-ZZ-08-DR-4-0108	P3

Appendix C

FOUNDATION DRAWINGS



IMPORTANT NOTE - REFER TO GRAVITY CONSULTING ENGINEERS REFERENCE 71805CE-ZZ-02-08-S-000 FOR SITE SPECIFIC NOTES AND MATERIAL SPECIFICATION.

FILE KEY

DEMOTES STRONG DIAL, C/A OR ROTARY PILE WITH LIGHTING PROTECTION.

DEMOTES STRONG DIAL, C/A OR ROTARY PILE WITH LIGHTING PROTECTION.

IMPORTANT NOTE:

FILE LAYOUT HAS BEEN PRODUCED BASED ON THE ASSUMPTION THAT THE PILE CAPACITY FOR EACH DESIGN OF PILE IS 1000kN.

FILE NOTES:

1. **PROVIDE:** FILE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON INITIAL CALCULATIONS. IT IS IMPORTANT THAT THE PILING CONTRACTOR ENGAGE WITH GRAVITY CONSULTING ENGINEERS TO VERIFY THE PILING DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

2. **THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GRAVITY CONSULTING ENGINEERS' PILING SPECIFICATION REFERENCE 71805CE-ZZ-02-08-S-000 FOR PILING SPECIFICATIONS.**

3. **FILE COORDINATES AND LIGHTING USE:** DRAWING 71805CE-ZZ-02-08-S-000, ROTARY LAYOUT, IN THE FILE SCHEDULE ACT CONFORMANCE CONSTRUCTION, NEGATIVE LIGHTS ARE INDICATED.

4. **FOR APPROVED BEAR SETTING:** REFER TO THE PILING CONTRACTOR FOR APPROVED BEAR SETTING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

5. **FILE COORDINATES AND LIGHTING USE:** DRAWING 71805CE-ZZ-02-08-S-000, ROTARY LAYOUT, IN THE FILE SCHEDULE ACT CONFORMANCE CONSTRUCTION, NEGATIVE LIGHTS ARE INDICATED.

6. **FOR APPROVED BEAR SETTING:** REFER TO THE PILING CONTRACTOR FOR APPROVED BEAR SETTING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

7. **FILE COORDINATES AND LIGHTING USE:** DRAWING 71805CE-ZZ-02-08-S-000, ROTARY LAYOUT, IN THE FILE SCHEDULE ACT CONFORMANCE CONSTRUCTION, NEGATIVE LIGHTS ARE INDICATED.

8. **FOR APPROVED BEAR SETTING:** REFER TO THE PILING CONTRACTOR FOR APPROVED BEAR SETTING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

9. **FILE COORDINATES AND LIGHTING USE:** DRAWING 71805CE-ZZ-02-08-S-000, ROTARY LAYOUT, IN THE FILE SCHEDULE ACT CONFORMANCE CONSTRUCTION, NEGATIVE LIGHTS ARE INDICATED.

10. **FOR APPROVED BEAR SETTING:** REFER TO THE PILING CONTRACTOR FOR APPROVED BEAR SETTING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING. THE PILING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

NOTES

(C) THIS DRAWING IS COPYRIGHT

1. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL ARCHITECTS, CIVIL AND SERVICE ENGINEERS DRAWINGS AND SPECIFICATIONS.

2. WHILE PILING WILL INCREASE THE POTENTIAL FOR DELAYS DURING CONSTRUCTION, THE CONTRACTOR SHALL READ THE CONTRACT DOCUMENTS AND SPECIFICATIONS IN ADVANCE OF THE WORK AND MAKE THE WORKS IDENTIFIED ON THE DRAWING ARE NOT IN CONJUNCTION WITH THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING. IN THE EVENT THAT THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING IS NOT IN CONJUNCTION WITH THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

3. DO NOT SCALE FROM THIS DRAWING TO GET OUT DIMENSIONS ON SITE. USE DIMENSIONS ONLY. USE ALL AVAILABLE PLANS AND SECTIONS. CHECK GRAVITY CONSULTING ENGINEERS' TO THE NUMBER BELOW IN THE EVENT THAT THERE ARE DISCREPANCIES BETWEEN WHAT IS SHOWN ON PLAN AND WHAT IS SHOWN ON SECTION.

4. SERVICES ARRANGEMENTS PRODUCED BY OTHERS ARE SHOWN ON THIS DRAWING WITH THE BEST INTENTION. THERE MAY BE CHANGES TO THE SERVICES ENGINEER'S REQUIREMENTS. DISCREPANCY TO THIS DRAWING ISSUE THAT HAVE NOT BEEN REFLECTED ON THIS DRAWING. THE CONTRACTOR SHALL READ THE DRAWING IN CONJUNCTION WITH THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING. IN THE EVENT THAT THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING IS NOT IN CONJUNCTION WITH THE CONTRACTOR'S OBLIGATION TO THE WORKS IDENTIFIED ON THE DRAWING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHOWN ON THIS DRAWING.

5. THE CONTRACTOR IS TO REFER TO THE FILE SCHEDULE OF MATERIALS IN THE CONTRACT DOCUMENTATION AND ALSO TO INFORMATION FROM OTHER DOCUMENTS, IN PARTICULAR THE FILE SCHEDULE OF MATERIALS, TO VERIFY THE DIMENSIONS SHOWN ON THIS DRAWING.

KEY PLAN

CONSTRUCTION

COMAG WEST DRAYTON

PILING LAYOUT SHEET 1

Bellway

BM3 Architects

Project Ref: W1926 Scale: 1:150 Drawn By: NQ Approved By: MR

Drawing No: 71805CE-ZZ-02-08-S-0001

Revision: C

Station: A1

GRAVITY CONSULTING ENGINEERS LTD
Capital Building
Berkshire
RG22 0EF

14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100