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Savills
33 Margaret Street
London, W1G 0JD

30 November 2022

Dear Sirs,

Re: Comag Site, West Drayton (LPA Ref: 24843/APP/2022/2403)- Independent Review of Daylight and Sunlight Assessment: Addendum Responses

This practice, eb7 Limited, is appointed by Bellway Homes to advise on the daylight / sunlight implications of the proposed development to the former Comag Works site, Tavistock Road, Yiewsley. The detailed findings of our assessment were submitted in a detailed Daylight / Sunlight Report dated August 2022. This addendum addresses queries raised in an Independent Review of the Daylight and Sunlight Assessment prepared by Avison Young dated October 2022.

The principle comments/questions raised in the Avison Young review which we have addressed below are as follows:

- Within the Proposed Development the habitable rooms would in most cases provide acceptable Daylight and Sunlight amenity for future occupants, however we would flag that the reporting and results tables appear inconsistent and would seek clarification on these as well as the variable adopted.
- The analysis of sunlight access to the podium area on June 21 should be sought as well as the date at which it meets the default BRE target. It may also be useful to better understand how the less sunlit areas will be used.
- It should be noted that the assessment of the closest property, 2 Winnock Road, would appear to be based on a planning consent and not necessarily the current building configuration. We recommend clarification be sought as to whether adopting this may alter the findings / check the current position with respect to this property.

Each of the above comments are addressed in turn below and, where relevant, additional technical information is appended to this report.

Proposed Accommodation

In respect of the amenity levels within the proposed accommodation the Avison Young review noted as follows:

6.6 Para 7.2.7 would seem to contain a typo, as it reports 6 rooms not meeting the criteria, of which 5 are LKDs but also sets out that at least 14 LKDs fall below the target.

6.7 Review of the tables appended to the report show 30 proposed habitable room not meeting the UK NA targets, of which 26 contain living areas. It should be noted that some are as low as 10% of their area meeting the UKNA target, which is not reflected in the report, and we recommend further detail should sought.

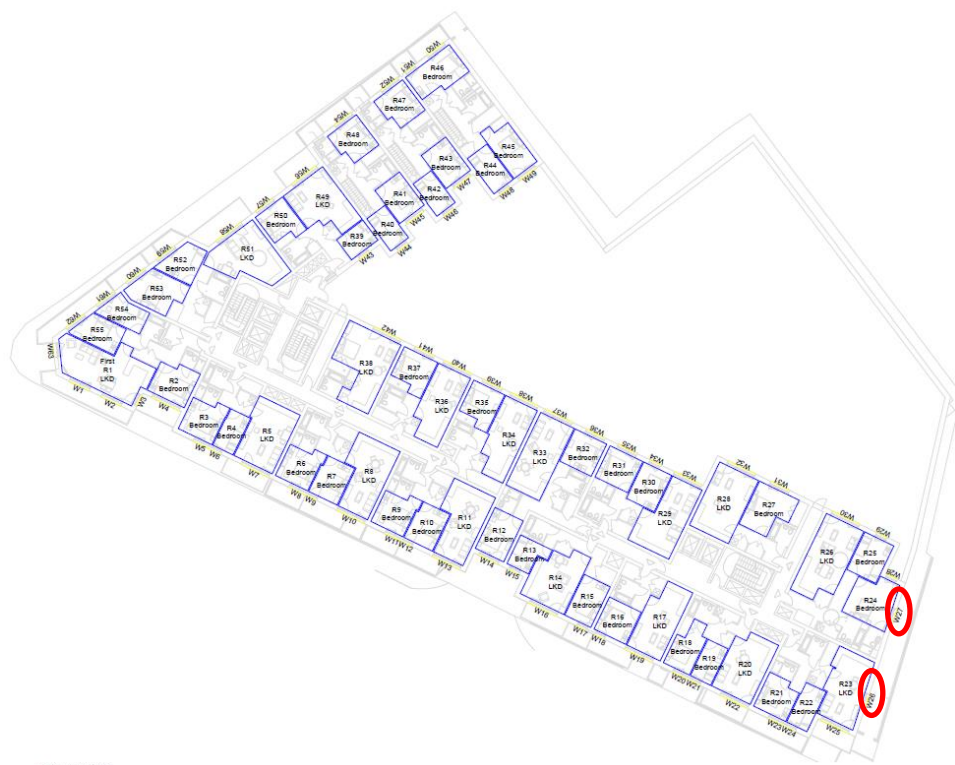
6.8 If applying this to the results overall, this would equate to 261 of 291 rooms meeting the UKNA targets, or 89%. This is considered good for a denser development of this nature.

6.9 We would recommend consideration of the location of the lowest values and the associated contributory factors (e.g., balconies).

The scheme proposals were undergoing design optimisation shortly before submission and, whilst updated scheme drawings were received on the 18th July, it appears the results of the previous iteration were included in the appendices of the report rather than the final assessment, These results are now attached at appendix 1.

The final internal arrangement was settled as a response to an optimisation exercise to increase window sizes and improve internal amenity levels. The reference in our earlier report to 14 LKDs falling below the target is a typo and should read five. Of the five LKDs that fall below the 150-lux target each of these achieve the required lux to at least 28% of the room.

Since issuing our report the neighbouring scheme to the south, Tavistock Works, has been granted planning permission at appeal and we understand the Local Authority have raised concerns over the proximity of the east facing windows. In response to this we have carried out a further exercise assessing the internal amenity levels within the proposed scheme with obscured glazing in these east facing windows to prevent potential overlooking from the neighbouring site. The location of these windows is shown in the first-floor plan below layouts below.



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First floor with east facing windows

With the revised plans, of the 292 rooms within the proposed scheme, 286 will achieve the target lux which is a compliance rate of 98% which is the same level of overall compliance with the submitted scheme. The results of this assessment are contained within Appendix 2.

Of the 6 rooms that fall below their respective target, 2 are bedrooms and 4 are LKDs. This is considered an excellent level of compliance. Four of the six rooms are located at ground floor level and sit beneath balconies which naturally inhibits the amount of light received from the sky. The BRE acknowledges this relative trade-off between daylight levels and the importance of private amenity space. Notwithstanding this all of the rooms which fall below their respective lux targets achieve a median lux of at least 81 which suggests despite being below the target, the rooms will be reasonably well daylight.

Separately to the internal daylight results the Avison Young assessment noted the following in respect of direct sunlight levels:

6.12 The report states that 38 units do not meet the default recommendations for sunlight exposure. The results tables show 137 rooms not meeting the default sunlight exposure targets.

Direct sunlight is orientation specific and the site layout means that not all units can have a southerly orientation. The 2022 BRE guidance does not consider sunlight availability on a room by room basis but assesses the unit as a whole. In respect of direct sunlight, the target is for all units to achieve at least 1.5 hour of direct sunlight on March 21st regardless of the orientation. Ideally this is to be achieved in main living rooms.

The results of our assessment of the revised layouts show that 67 of the 105 units will meet the sunlight target. Of these 67 units, 50 of them achieve the target to a main living room. The results of the sunlight assessment are contained in appendix 3.

Whilst the BRE guide suggests that all units are tested, sunlight availability is orientation specific such that those units with a more northerly orientation will receive less sunlight particularly early in the year. It is common that site constraints will result in not all units being south facing. The proposal limits the properties outside of this orientation and the overall compliance is considered to be very high and in line with the BRE guidance.

6.13 Clarification should therefore be sought along with those above for the sDA assessments, ideally a plan showing the location / orientation of the rooms and windows assessed.

The location of the rooms and windows assessed are contained in appendix 4

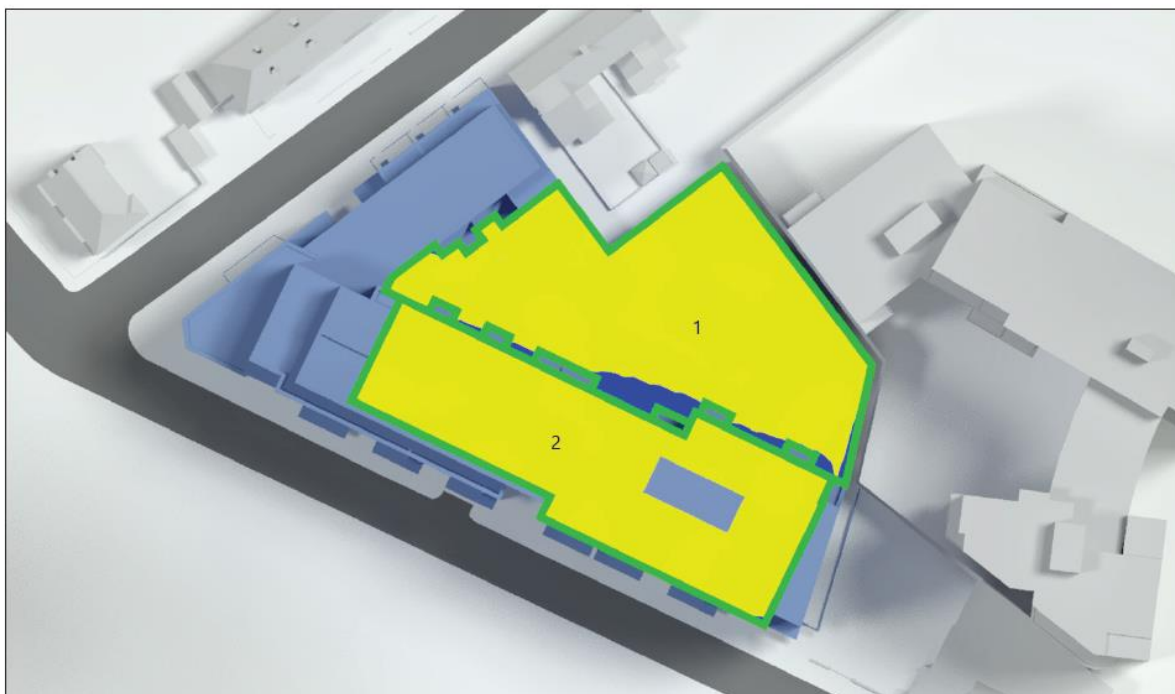
Sunlight and overshadowing

In respect of the shading to amenity spaces the Avison Young report states as follows:

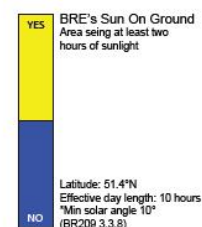
Finally, in respect of the sunlight assessment of the proposed external amenity spaces, these show an overall / blended figure of 52%, which is considered good in overall terms. This is however heavily weighted towards the roof level space, which achieves a very high result due to its location. The ground floor space performs less well on March 21, achieving 16% of its area in receipt of at least 2 hrs of sun on the average annual assessment day of the spring equinox.

The report states that a second assessment was undertaken on June,21, and a copy of this should be sought in order to consider the change in sunlight access throughout the year. A study showing the date at which the space meets the default BRE target would also be useful.

The results of the assessment for the 21st June is contained in appendix 5. The result of this assessment confirms that the space will enjoy at least 2 hours of sunlight over 94% of the and be very well sunlight.



Area	Total Area (sq.m)	Area more than 2 hours (sq.m)	Area % more than 2 hours
1	1095.15	1026.95	94
2	871.65	869.91	100
Total	1966.80	1896.86	96



Our secondary assessment has been provided to illustrate when the ground floor amenity space would reach the 50% target. The results of this assessment is also contained in appendix 5 which shows the amenity space achieving at least 2 hours of sunlight over 50% of the space on the 10th April which is 20 days after the specified assessment date. This is considered to be in line with the BRE targets which suggest sunlight availability for spaces used for 'sitting out' and child play is most important during the warmer months.

In addition to this we have also carried out a graded sunlight assessment the results of which are attached at appendix 5. The results of this assessment on the 21st March show a good distribution of sunlight in terms of overall hours, particularly to the play areas to the north.

In their review Avison Young requested clarification on the distribution of amenity space and landscaping as follows:

The design is stated as responding to the annual sunlight access and it can be seen that the proposed play spaces are located towards the north of the ground floor external amenity area, where they would be best sunlit throughout the year. It is unclear what the remainder of the space would be used for/ arranged.

The landscape plan is attached in appendix 6 prepared by Aspect landscape planning. This shows a combination of outdoor gym space, planting, children's play area and external seating.

It should be noted that the assessment of the closest property, 2 Winnock Road, would appear to be based on a planning consent and not necessarily the current building configuration. We recommend clarification be sought as to whether adopting this may alter the findings / check the current position with respect to this property.

To confirm, the modelling for this property is based on a detailed measured survey and planning drawings which match the build configuration to the best of our knowledge.

I trust the above report and the additional technical appendices provide the information required to address the queries raised in the peer review. Should you require any further information please do not hesitate to contact me.

Yours sincerely,

Harry Gregory

Associate

For and on behalf of eb7 Ltd



Appendix 1

Results of the daylight assessment within the submitted scheme

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
Proposed								
Ground	R1	Bedroom	14.85	10.23	10.23	100%	100	50%
	R2	LKD	25.86	19.45	19.34	99%	150	50%
	R3	LKD	25.86	19.45	19.34	99%	150	50%
	R4	Bedroom	14.85	10.23	10.23	100%	100	50%
	R5	Bedroom	12.10	8.17	8.17	100%	100	50%
	R6	LKD	25.58	19.61	19.61	100%	150	50%
	R7	Bedroom	12.10	8.17	8.17	100%	100	50%
	R8	LKD	25.21	19.28	19.28	100%	150	50%
	R9	LKD	30.07	22.91	22.91	100%	150	50%
	R10	LKD	30.07	22.91	22.91	100%	150	50%
	R11	LKD	30.07	22.91	21.37	93%	150	50%
	R12	Bedroom	11.72	8.01	8.01	100%	100	50%
	R13	LKD	24.23	17.52	17.49	100%	150	50%
First	R1	LKD	34.32	26.31	26.31	100%	150	50%
	R2	Bedroom	13.00	8.87	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	5.01	100%	100	50%
	R5	LKD	25.61	19.67	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	7.69	100%	100	50%
	R8	LKD	26.40	19.83	19.77	100%	150	50%

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Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R9	Bedroom	12.09	7.96	7.96	100%	100	50%
	R10	Bedroom	11.47	7.70	7.70	100%	100	50%
	R11	LKD	26.40	19.83	19.77	100%	150	50%
	R12	Bedroom	12.97	8.94	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	4.57	100%	100	50%
	R14	LKD	23.92	17.91	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	7.76	100%	100	50%
	R17	LKD	23.71	17.63	17.63	100%	150	50%
	R18	Bedroom	11.48	7.16	7.16	100%	100	50%
	R19	Bedroom	8.28	5.04	5.04	100%	100	50%
	R20	LKD	24.53	18.68	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	7.68	100%	100	50%
	R22	Bedroom	9.01	5.55	5.55	100%	100	50%
	R23	LKD	25.18	18.84	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	12.85	100%	100	50%
	R25	Bedroom	12.19	8.33	4.55	55%	100	50%
	R26	LKD	29.59	22.78	6.44	28%	150	50%
	R27	Bedroom	16.17	11.30	11.30	100%	100	50%
	R28	LKD	27.43	21.32	12.18	57%	150	50%
	R29	LKD	26.94	20.31	8.77	43%	150	50%
	R30	Bedroom	11.37	7.65	7.65	100%	100	50%
	R31	Bedroom	11.47	7.76	7.76	100%	100	50%
	R32	Bedroom	11.41	7.71	7.71	100%	100	50%

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							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R33	LKD	27.10	20.74	14.52	70%	150	50%
	R34	LKD	23.50	17.24	13.67	79%	150	50%
	R35	Bedroom	11.57	7.56	7.56	100%	100	50%
	R36	LKD	23.19	17.14	11.73	68%	150	50%
	R37	Bedroom	11.68	7.64	7.64	100%	100	50%
	R38	LKD	31.09	23.30	8.43	36%	150	50%
	R39	Bedroom	7.54	4.57	1.69	37%	100	50%
	R40	Bedroom	8.17	4.95	2.69	54%	100	50%
	R41	Bedroom	11.58	7.81	5.37	69%	100	50%
	R42	Bedroom	8.27	5.02	3.81	76%	100	50%
	R43	Bedroom	11.58	7.81	5.45	70%	100	50%
	R44	Bedroom	9.72	6.17	5.40	87%	100	50%
	R45	Bedroom	13.60	9.06	9.06	100%	100	50%
	R46	Bedroom	15.46	10.77	10.77	100%	100	50%
	R47	Bedroom	11.70	7.82	7.82	100%	100	50%
	R48	Bedroom	11.70	7.82	7.82	100%	100	50%
	R49	LKD	24.60	18.39	18.39	100%	150	50%
	R50	Bedroom	11.01	7.11	7.11	100%	100	50%
	R51	LKD	27.26	20.82	20.82	100%	150	50%
	R52	Bedroom	10.90	7.17	7.17	100%	100	50%
	R53	Bedroom	15.78	11.10	11.10	100%	100	50%
	R54	Bedroom	9.90	6.18	6.18	100%	100	50%
	R55	Bedroom	11.59	7.71	7.71	100%	100	50%
Second	R1	LKD	34.32	26.31	26.31	100%	150	50%

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							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R2	Bedroom	13.00	8.87	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	5.01	100%	100	50%
	R5	LKD	25.61	19.67	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	7.69	100%	100	50%
	R8	LKD	26.40	19.83	19.83	100%	150	50%
	R9	Bedroom	12.09	7.96	7.96	100%	100	50%
	R10	Bedroom	11.47	7.70	7.70	100%	100	50%
	R11	LKD	26.40	19.83	19.83	100%	150	50%
	R12	Bedroom	12.97	8.94	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	4.57	100%	100	50%
	R14	LKD	23.92	17.91	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	7.76	100%	100	50%
	R17	LKD	23.71	17.63	17.63	100%	150	50%
	R18	Bedroom	11.48	7.17	7.17	100%	100	50%
	R19	Bedroom	8.28	5.04	5.04	100%	100	50%
	R20	LKD	24.53	18.68	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	7.68	100%	100	50%
	R22	Bedroom	9.01	5.55	5.55	100%	100	50%
	R23	LKD	25.18	18.84	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	12.85	100%	100	50%
	R25	Bedroom	12.19	8.33	6.01	72%	100	50%

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Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R26	LKD	29.59	22.78	7.93	35%	150	50%
	R27	Bedroom	12.71	8.22	6.02	73%	100	50%
	R28	Bedroom	12.46	8.27	8.27	100%	100	50%
	R29	LKD	27.43	21.32	14.97	70%	150	50%
	R30	LKD	26.94	20.31	9.99	49%	150	50%
	R31	Bedroom	11.37	7.65	7.65	100%	100	50%
	R32	Bedroom	11.47	7.76	7.76	100%	100	50%
	R33	Bedroom	11.41	7.71	7.71	100%	100	50%
	R34	LKD	27.10	20.74	20.48	99%	150	50%
	R35	LKD	23.50	17.24	15.87	92%	150	50%
	R36	Bedroom	11.57	7.56	7.56	100%	100	50%
	R37	LKD	23.19	17.14	13.83	81%	150	50%
	R38	Bedroom	11.68	7.64	7.64	100%	100	50%
	R39	LKD	23.19	17.14	8.61	50%	150	50%
	R40	Bedroom	11.68	7.64	7.41	97%	100	50%
	R41	Bedroom	11.49	7.64	7.64	100%	100	50%
	R42	LKD	29.43	22.68	21.92	97%	150	50%
	R43	Bedroom	11.61	7.88	7.88	100%	100	50%
	R44	Bedroom	12.11	7.88	7.88	100%	100	50%
	R45	LKD	24.51	18.93	18.93	100%	150	50%
	R46	LKD	24.51	17.85	17.85	100%	150	50%
	R47	Bedroom	12.01	7.76	7.76	100%	100	50%
	R48	LKD	27.26	20.82	20.82	100%	150	50%
	R49	Bedroom	10.90	7.17	7.17	100%	100	50%

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Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
Third	R50	Bedroom	15.78	11.10	11.10	100%	100	50%
	R51	Bedroom	9.90	6.18	6.18	100%	100	50%
	R52	Bedroom	11.59	7.71	7.71	100%	100	50%
	R1	LKD	34.32	26.31	26.31	100%	150	50%
	R2	Bedroom	13.00	8.87	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	5.01	100%	100	50%
	R5	LKD	25.61	19.67	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	7.69	100%	100	50%
	R8	LKD	26.40	19.83	19.83	100%	150	50%
	R9	Bedroom	12.09	7.96	7.96	100%	100	50%
	R10	Bedroom	11.47	7.70	7.70	100%	100	50%
	R11	LKD	26.40	19.83	19.83	100%	150	50%
	R12	Bedroom	12.97	8.94	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	4.57	100%	100	50%
	R14	LKD	23.92	17.91	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	7.76	100%	100	50%
	R17	LKD	23.71	17.63	17.63	100%	150	50%
	R18	Bedroom	11.48	7.16	7.16	100%	100	50%
	R19	Bedroom	8.28	5.04	5.04	100%	100	50%
	R20	LKD	24.53	18.68	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	7.68	100%	100	50%

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Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R22	Bedroom	9.01	5.55	5.55	100%	100	50%
	R23	LKD	25.18	18.84	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	12.85	100%	100	50%
	R25	Bedroom	12.19	8.33	8.25	99%	100	50%
	R26	LKD	29.59	22.78	12.30	54%	150	50%
	R27	Bedroom	12.71	8.22	7.12	87%	100	50%
	R28	Bedroom	12.46	8.27	8.27	100%	100	50%
	R29	LKD	27.43	21.32	17.51	82%	150	50%
	R30	LKD	26.94	20.31	10.66	53%	150	50%
	R31	Bedroom	11.37	7.65	7.65	100%	100	50%
	R32	Bedroom	11.47	7.76	7.76	100%	100	50%
	R33	Bedroom	11.41	7.71	7.71	100%	100	50%
	R34	LKD	27.10	20.74	20.74	100%	150	50%
	R35	LKD	23.50	17.24	17.24	100%	150	50%
	R36	Bedroom	11.57	7.56	7.56	100%	100	50%
	R37	LKD	23.19	17.14	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	7.64	100%	100	50%
	R39	LKD	23.19	17.14	13.28	78%	150	50%
	R40	Bedroom	11.68	7.64	7.64	100%	100	50%
	R41	Bedroom	9.64	5.92	5.92	100%	100	50%
	R42	Bedroom	10.25	6.47	6.47	100%	100	50%
	R43	Bedroom	7.36	4.17	4.17	100%	100	50%
	R44	LKD	28.74	21.82	21.21	97%	150	50%
	R45	LKD	30.25	23.34	23.01	99%	150	50%

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							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R46	Bedroom	8.21	4.99	4.99	100%	100	50%
	R47	Bedroom	12.42	8.15	8.15	100%	100	50%
	R48	Bedroom	13.61	8.92	8.92	100%	100	50%
	R49	LKD	27.26	20.82	20.82	100%	150	50%
	R50	Bedroom	10.90	7.17	7.17	100%	100	50%
	R51	Bedroom	15.78	11.10	11.10	100%	100	50%
	R52	Bedroom	9.90	6.18	6.18	100%	100	50%
	R53	Bedroom	11.59	7.71	7.71	100%	100	50%
Fourth	R1	Bedroom	12.52	8.38	8.38	100%	100	50%
	R2	Bedroom	8.26	5.01	5.01	100%	100	50%
	R3	LKD	25.61	19.67	19.67	100%	150	50%
	R4	Bedroom	12.09	7.96	7.96	100%	100	50%
	R5	Bedroom	11.46	7.69	7.69	100%	100	50%
	R6	LKD	26.40	19.83	19.83	100%	150	50%
	R7	Bedroom	12.09	7.96	7.96	100%	100	50%
	R8	Bedroom	11.47	7.70	7.70	100%	100	50%
	R9	LKD	26.40	19.83	19.83	100%	150	50%
	R10	Bedroom	12.97	8.94	8.94	100%	100	50%
	R11	Bedroom	8.03	4.57	4.57	100%	100	50%
	R12	LKD	23.92	17.91	17.91	100%	150	50%
	R13	Bedroom	11.82	7.95	7.95	100%	100	50%
	R14	Bedroom	11.46	7.76	7.76	100%	100	50%
	R15	LKD	23.71	17.63	17.63	100%	150	50%
	R16	Bedroom	11.48	7.17	7.17	100%	100	50%

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R17	Bedroom	8.28	5.04	5.04	100%	100	50%
	R18	LKD	24.53	18.68	18.68	100%	150	50%
	R19	Bedroom	11.52	7.68	7.68	100%	100	50%
	R20	Bedroom	9.01	5.55	5.55	100%	100	50%
	R21	LKD	25.18	18.84	18.84	100%	150	50%
	R22	Bedroom	17.81	12.85	12.85	100%	100	50%
	R23	Bedroom	12.19	8.33	8.33	100%	100	50%
	R24	LKD	29.59	22.78	12.14	53%	150	50%
	R25	Bedroom	12.71	8.22	7.23	88%	100	50%
	R26	Bedroom	12.46	8.27	8.27	100%	100	50%
	R27	LKD	27.43	21.32	20.13	94%	150	50%
	R28	LKD	26.94	20.31	11.48	57%	150	50%
	R29	Bedroom	11.37	7.65	7.65	100%	100	50%
	R30	Bedroom	11.47	7.76	7.76	100%	100	50%
	R31	Bedroom	11.41	7.71	7.71	100%	100	50%
	R32	LKD	27.10	20.74	20.74	100%	150	50%
	R33	LKD	23.50	17.24	17.24	100%	150	50%
	R34	Bedroom	11.57	7.56	7.56	100%	100	50%
	R35	LKD	23.19	17.14	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	7.64	100%	100	50%
	R37	LKD	23.19	17.14	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	7.64	100%	100	50%
	R39	Bedroom	11.56	7.84	7.84	100%	100	50%
	R40	Bedroom	7.80	4.70	4.70	100%	100	50%

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R41	LKD	26.94	20.83	20.83	100%	150	50%
Fifth	R1	Bedroom	12.52	8.38	8.38	100%	100	50%
	R2	Bedroom	8.26	5.01	5.01	100%	100	50%
	R3	LKD	25.61	19.67	19.67	100%	150	50%
	R4	Bedroom	12.09	7.96	7.96	100%	100	50%
	R5	Bedroom	11.46	7.69	7.69	100%	100	50%
	R6	LKD	26.40	19.83	19.83	100%	150	50%
	R7	Bedroom	12.09	7.96	7.96	100%	100	50%
	R8	Bedroom	11.47	7.70	7.70	100%	100	50%
	R9	LKD	26.40	19.83	19.83	100%	150	50%
	R10	Bedroom	12.97	8.94	8.94	100%	100	50%
	R11	Bedroom	8.03	4.57	4.57	100%	100	50%
	R12	LKD	23.92	17.91	17.91	100%	150	50%
	R13	Bedroom	11.82	7.95	7.95	100%	100	50%
	R14	Bedroom	11.46	7.76	7.76	100%	100	50%
	R15	LKD	23.71	17.63	17.63	100%	150	50%
	R16	Bedroom	11.48	7.16	7.16	100%	100	50%
	R17	Bedroom	8.28	5.04	5.04	100%	100	50%
	R18	LKD	24.53	18.68	18.68	100%	150	50%
	R19	Bedroom	11.52	7.68	7.68	100%	100	50%
	R20	Bedroom	9.01	5.55	5.55	100%	100	50%
	R21	LKD	25.18	18.84	18.84	100%	150	50%
	R22	Bedroom	17.81	12.85	12.85	100%	100	50%
	R23	Bedroom	12.19	8.33	8.33	100%	100	50%

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R24	LKD	29.59	22.78	15.19	67%	150	50%
	R25	Bedroom	12.71	8.22	7.61	93%	100	50%
	R26	Bedroom	12.46	8.27	8.27	100%	100	50%
	R27	LKD	27.43	21.32	21.32	100%	150	50%
	R28	LKD	26.94	20.31	12.91	64%	150	50%
	R29	Bedroom	11.37	7.65	7.65	100%	100	50%
	R30	Bedroom	11.47	7.76	7.76	100%	100	50%
	R31	Bedroom	11.41	7.71	7.71	100%	100	50%
	R32	LKD	27.10	20.74	20.74	100%	150	50%
	R33	LKD	23.50	17.24	17.24	100%	150	50%
	R34	Bedroom	11.57	7.56	7.56	100%	100	50%
	R35	LKD	23.19	17.14	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	7.64	100%	100	50%
	R37	LKD	23.19	17.14	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	7.64	100%	100	50%
	R39	Bedroom	11.56	7.84	7.84	100%	100	50%
	R40	Bedroom	7.80	4.70	4.70	100%	100	50%
	R41	LKD	26.94	20.83	20.83	100%	150	50%
Sixth	R1	Bedroom	11.66	7.88	7.88	100%	100	50%
	R2	Bedroom	7.53	4.58	4.58	100%	100	50%
	R3	Bedroom	7.53	4.58	4.58	100%	100	50%
	R4	LKD	26.70	20.86	20.86	100%	150	50%
	R5	Bedroom	10.22	6.74	6.74	100%	100	50%
	R6	Bedroom	8.23	5.14	5.14	100%	100	50%

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R7	LKD	25.10	19.44	19.44	100%	150	50%
	R8	Bedroom	12.97	8.94	8.94	100%	100	50%
	R9	Bedroom	8.03	4.57	4.57	100%	100	50%
	R10	LKD	23.92	17.91	17.91	100%	150	50%
	R11	Bedroom	11.82	7.95	7.95	100%	100	50%
	R12	Bedroom	11.46	7.76	7.76	100%	100	50%
	R13	LKD	23.71	17.63	17.63	100%	150	50%
	R14	Bedroom	11.48	7.17	7.17	100%	100	50%
	R15	Bedroom	8.28	5.04	5.04	100%	100	50%
	R16	LKD	24.53	18.68	18.68	100%	150	50%
	R17	Bedroom	11.52	7.68	7.68	100%	100	50%
	R18	Bedroom	9.01	5.55	5.55	100%	100	50%
	R19	LKD	25.18	18.84	18.84	100%	150	50%
	R20	Bedroom	17.81	12.85	12.85	100%	100	50%
	R21	Bedroom	12.19	8.33	8.33	100%	100	50%
	R22	LKD	29.59	22.78	21.37	94%	150	50%
	R23	Bedroom	12.71	8.22	7.99	97%	100	50%
	R24	Bedroom	12.46	8.27	8.27	100%	100	50%
	R25	LKD	27.43	21.32	21.32	100%	150	50%
	R26	LKD	26.94	20.31	17.42	86%	150	50%
	R27	Bedroom	11.37	7.65	7.65	100%	100	50%
	R28	Bedroom	11.47	7.76	7.76	100%	100	50%
	R29	Bedroom	11.41	7.71	7.71	100%	100	50%
	R30	LKD	27.10	20.74	20.74	100%	150	50%

Project Name: 5380_R06_ID01

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

							Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R31	LKD	23.50	17.24	17.24	100%	150	50%
	R32	Bedroom	11.57	7.56	7.56	100%	100	50%
	R33	LKD	23.19	17.14	17.14	100%	150	50%
	R34	Bedroom	11.68	7.64	7.64	100%	100	50%
	R35	LKD	23.19	17.14	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	7.64	100%	100	50%



Appendix 2

Results of the daylight assessment within the submitted scheme with frosted glazing to
the east facing windows

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
Proposed									
Ground	R1	Bedroom	14.85	10.23	188	10.23	100%	100	50%
	R2	LKD	25.86	19.45	284	19.34	99%	150	50%
	R3	LKD	25.86	19.45	282	19.39	100%	150	50%
	R4	Bedroom	14.85	10.23	201	10.23	100%	100	50%
	R5	Bedroom	12.10	8.17	230	8.17	100%	100	50%
	R6	LKD	25.58	19.61	332	19.61	100%	150	50%
	R7	Bedroom	12.10	8.17	285	8.17	100%	100	50%
	R8	LKD	25.21	19.28	390	19.28	100%	150	50%
	R9	LKD	30.07	22.91	255	22.91	100%	150	50%
	R10	LKD	30.07	22.91	226	22.91	100%	150	50%
	R11	LKD	30.07	22.91	207	21.72	95%	150	50%
	R12	Bedroom	11.72	8.01	258	8.01	100%	100	50%
	R13	LKD	24.23	17.52	238	17.52	100%	150	50%
First	R1	LKD	34.32	26.31	1046	26.31	100%	150	50%
	R2	Bedroom	13.00	8.87	609	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	552	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	398	5.01	100%	100	50%
	R5	LKD	25.61	19.67	517	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	612	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	331	7.69	100%	100	50%
	R8	LKD	26.40	19.83	336	19.77	100%	150	50%
	R9	Bedroom	12.09	7.96	601	7.96	100%	100	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R10	Bedroom	11.47	7.70	340	7.70	100%	100	50%
	R11	LKD	26.40	19.83	337	19.77	100%	150	50%
	R12	Bedroom	12.97	8.94	592	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	473	4.57	100%	100	50%
	R14	LKD	23.92	17.91	603	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	298	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	331	7.76	100%	100	50%
	R17	LKD	23.71	17.63	455	17.63	100%	150	50%
	R18	Bedroom	11.48	7.16	578	7.16	100%	100	50%
	R19	Bedroom	8.28	5.04	491	5.04	100%	100	50%
	R20	LKD	24.53	18.68	536	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	682	7.68	100%	100	50%
	R22	Bedroom	9.01	5.55	499	5.55	100%	100	50%
	R23	LKD	25.18	18.84	603	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	155	12.44	97%	100	50%
	R25	Bedroom	12.19	8.33	103	4.63	56%	100	50%
	R26	LKD	29.59	22.78	93	6.69	29%	150	50%
	R27	Bedroom	16.17	11.30	174	11.30	100%	100	50%
	R28	LKD	27.43	21.32	167	12.27	58%	150	50%
	R29	LKD	26.94	20.31	127	8.86	44%	150	50%
	R30	Bedroom	11.37	7.65	207	7.65	100%	100	50%
	R31	Bedroom	11.47	7.76	454	7.76	100%	100	50%
	R32	Bedroom	11.41	7.71	389	7.71	100%	100	50%
	R33	LKD	27.10	20.74	202	14.52	70%	150	50%
	R34	LKD	23.50	17.24	222	13.68	79%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R35	Bedroom	11.57	7.56	413	7.56	100%	100	50%
	R36	LKD	23.19	17.14	190	11.73	68%	150	50%
	R37	Bedroom	11.68	7.64	346	7.64	100%	100	50%
	R38	LKD	31.09	23.30	119	8.43	36%	150	50%
	R39	Bedroom	7.54	4.57	87	1.69	37%	100	50%
	R40	Bedroom	8.17	4.95	105	2.69	54%	100	50%
	R41	Bedroom	11.58	7.81	130	5.37	69%	100	50%
	R42	Bedroom	8.27	5.02	144	3.81	76%	100	50%
	R43	Bedroom	11.58	7.81	138	5.45	70%	100	50%
	R44	Bedroom	9.72	6.17	144	5.40	87%	100	50%
	R45	Bedroom	13.60	9.06	198	9.06	100%	100	50%
	R46	Bedroom	15.46	10.77	610	10.77	100%	100	50%
	R47	Bedroom	11.70	7.82	497	7.82	100%	100	50%
	R48	Bedroom	11.70	7.82	492	7.82	100%	100	50%
	R49	LKD	24.60	18.39	227	18.39	100%	150	50%
	R50	Bedroom	11.01	7.11	528	7.11	100%	100	50%
	R51	LKD	27.26	20.82	260	20.82	100%	150	50%
	R52	Bedroom	10.90	7.17	622	7.17	100%	100	50%
	R53	Bedroom	15.78	11.10	481	11.10	100%	100	50%
	R54	Bedroom	9.90	6.18	660	6.18	100%	100	50%
	R55	Bedroom	11.59	7.71	509	7.71	100%	100	50%
Second	R1	LKD	34.32	26.31	1084	26.31	100%	150	50%
	R2	Bedroom	13.00	8.87	639	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	614	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	493	5.01	100%	100	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R5	LKD	25.61	19.67	499	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	618	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	304	7.69	100%	100	50%
	R8	LKD	26.40	19.83	385	19.83	100%	150	50%
	R9	Bedroom	12.09	7.96	604	7.96	100%	100	50%
	R10	Bedroom	11.47	7.70	313	7.70	100%	100	50%
	R11	LKD	26.40	19.83	385	19.83	100%	150	50%
	R12	Bedroom	12.97	8.94	632	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	503	4.57	100%	100	50%
	R14	LKD	23.92	17.91	578	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	332	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	321	7.76	100%	100	50%
	R17	LKD	23.71	17.63	526	17.63	100%	150	50%
	R18	Bedroom	11.48	7.17	643	7.17	100%	100	50%
	R19	Bedroom	8.28	5.04	604	5.04	100%	100	50%
	R20	LKD	24.53	18.68	519	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	710	7.68	100%	100	50%
	R22	Bedroom	9.01	5.55	521	5.55	100%	100	50%
	R23	LKD	25.18	18.84	614	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	181	12.85	100%	100	50%
	R25	Bedroom	12.19	8.33	129	6.09	73%	100	50%
	R26	LKD	29.59	22.78	107	7.93	35%	150	50%
	R27	Bedroom	12.71	8.22	123	6.11	74%	100	50%
	R28	Bedroom	12.46	8.27	233	8.27	100%	100	50%
	R29	LKD	27.43	21.32	193	15.23	71%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R30	LKD	26.94	20.31	147	10.16	50%	150	50%
	R31	Bedroom	11.37	7.65	235	7.65	100%	100	50%
	R32	Bedroom	11.47	7.76	507	7.76	100%	100	50%
	R33	Bedroom	11.41	7.71	439	7.71	100%	100	50%
	R34	LKD	27.10	20.74	233	20.65	100%	150	50%
	R35	LKD	23.50	17.24	253	15.87	92%	150	50%
	R36	Bedroom	11.57	7.56	487	7.56	100%	100	50%
	R37	LKD	23.19	17.14	226	13.83	81%	150	50%
	R38	Bedroom	11.68	7.64	405	7.64	100%	100	50%
	R39	LKD	23.19	17.14	145	8.61	50%	150	50%
	R40	Bedroom	11.68	7.64	248	7.49	98%	100	50%
	R41	Bedroom	11.49	7.64	309	7.64	100%	100	50%
	R42	LKD	29.43	22.68	233	22.10	97%	150	50%
	R43	Bedroom	11.61	7.88	178	7.88	100%	100	50%
	R44	Bedroom	12.11	7.88	150	7.88	100%	100	50%
	R45	LKD	24.51	18.93	271	18.93	100%	150	50%
	R46	LKD	24.51	17.85	391	17.85	100%	150	50%
	R47	Bedroom	12.01	7.76	564	7.76	100%	100	50%
	R48	LKD	27.26	20.82	303	20.82	100%	150	50%
	R49	Bedroom	10.90	7.17	673	7.17	100%	100	50%
	R50	Bedroom	15.78	11.10	516	11.10	100%	100	50%
	R51	Bedroom	9.90	6.18	707	6.18	100%	100	50%
	R52	Bedroom	11.59	7.71	551	7.71	100%	100	50%
	R53	Bedroom	7.52	4.57	81	2.10	46%	100	50%
Third	R1	LKD	34.32	26.31	1103	26.31	100%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R2	Bedroom	13.00	8.87	650	8.87	100%	100	50%
	R3	Bedroom	12.52	8.38	599	8.38	100%	100	50%
	R4	Bedroom	8.26	5.01	436	5.01	100%	100	50%
	R5	LKD	25.61	19.67	551	19.67	100%	150	50%
	R6	Bedroom	12.09	7.96	668	7.96	100%	100	50%
	R7	Bedroom	11.46	7.69	348	7.69	100%	100	50%
	R8	LKD	26.40	19.83	371	19.83	100%	150	50%
	R9	Bedroom	12.09	7.96	645	7.96	100%	100	50%
	R10	Bedroom	11.47	7.70	357	7.70	100%	100	50%
	R11	LKD	26.40	19.83	373	19.83	100%	150	50%
	R12	Bedroom	12.97	8.94	651	8.94	100%	100	50%
	R13	Bedroom	8.03	4.57	516	4.57	100%	100	50%
	R14	LKD	23.92	17.91	640	17.91	100%	150	50%
	R15	Bedroom	11.82	7.95	326	7.95	100%	100	50%
	R16	Bedroom	11.46	7.76	350	7.76	100%	100	50%
	R17	LKD	23.71	17.63	500	17.63	100%	150	50%
	R18	Bedroom	11.48	7.16	630	7.16	100%	100	50%
	R19	Bedroom	8.28	5.04	538	5.04	100%	100	50%
	R20	LKD	24.53	18.68	565	18.68	100%	150	50%
	R21	Bedroom	11.52	7.68	723	7.68	100%	100	50%
	R22	Bedroom	9.01	5.55	527	5.55	100%	100	50%
	R23	LKD	25.18	18.84	628	18.84	100%	150	50%
	R24	Bedroom	17.81	12.85	203	12.85	100%	100	50%
	R25	Bedroom	12.19	8.33	173	8.33	100%	100	50%
	R26	LKD	29.59	22.78	158	12.55	55%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R27	Bedroom	12.71	8.22	156	7.12	87%	100	50%
	R28	Bedroom	12.46	8.27	290	8.27	100%	100	50%
	R29	LKD	27.43	21.32	215	17.51	82%	150	50%
	R30	LKD	26.94	20.31	157	10.66	53%	150	50%
	R31	Bedroom	11.37	7.65	253	7.65	100%	100	50%
	R32	Bedroom	11.47	7.76	554	7.76	100%	100	50%
	R33	Bedroom	11.41	7.71	471	7.71	100%	100	50%
	R34	LKD	27.10	20.74	253	20.74	100%	150	50%
	R35	LKD	23.50	17.24	281	17.24	100%	150	50%
	R36	Bedroom	11.57	7.56	538	7.56	100%	100	50%
	R37	LKD	23.19	17.14	277	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	472	7.64	100%	100	50%
	R39	LKD	23.19	17.14	223	13.28	78%	150	50%
	R40	Bedroom	11.68	7.64	378	7.64	100%	100	50%
	R41	Bedroom	9.64	5.92	284	5.92	100%	100	50%
	R42	Bedroom	10.25	6.47	1013	6.47	100%	100	50%
	R43	Bedroom	7.36	4.17	412	4.17	100%	100	50%
	R44	LKD	28.74	21.82	277	21.21	97%	150	50%
	R45	LKD	30.25	23.34	299	23.01	99%	150	50%
	R46	Bedroom	8.21	4.99	367	4.99	100%	100	50%
	R47	Bedroom	12.42	8.15	555	8.15	100%	100	50%
	R48	Bedroom	13.61	8.92	483	8.92	100%	100	50%
	R49	LKD	27.26	20.82	439	20.82	100%	150	50%
	R50	Bedroom	10.90	7.17	725	7.17	100%	100	50%
	R51	Bedroom	15.78	11.10	532	11.10	100%	100	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R52	Bedroom	9.90	6.18	729	6.18	100%	100	50%
	R53	Bedroom	11.59	7.71	565	7.71	100%	100	50%
Fourth	R1	Bedroom	12.52	8.38	635	8.38	100%	100	50%
	R2	Bedroom	8.26	5.01	508	5.01	100%	100	50%
	R3	LKD	25.61	19.67	518	19.67	100%	150	50%
	R4	Bedroom	12.09	7.96	646	7.96	100%	100	50%
	R5	Bedroom	11.46	7.69	317	7.69	100%	100	50%
	R6	LKD	26.40	19.83	395	19.83	100%	150	50%
	R7	Bedroom	12.09	7.96	628	7.96	100%	100	50%
	R8	Bedroom	11.47	7.70	327	7.70	100%	100	50%
	R9	LKD	26.40	19.83	396	19.83	100%	150	50%
	R10	Bedroom	12.97	8.94	664	8.94	100%	100	50%
	R11	Bedroom	8.03	4.57	526	4.57	100%	100	50%
	R12	LKD	23.92	17.91	595	17.91	100%	150	50%
	R13	Bedroom	11.82	7.95	345	7.95	100%	100	50%
	R14	Bedroom	11.46	7.76	333	7.76	100%	100	50%
	R15	LKD	23.71	17.63	536	17.63	100%	150	50%
	R16	Bedroom	11.48	7.17	658	7.17	100%	100	50%
	R17	Bedroom	8.28	5.04	617	5.04	100%	100	50%
	R18	LKD	24.53	18.68	530	18.68	100%	150	50%
	R19	Bedroom	11.52	7.68	726	7.68	100%	100	50%
	R20	Bedroom	9.01	5.55	530	5.55	100%	100	50%
	R21	LKD	25.18	18.84	640	18.84	100%	150	50%
	R22	Bedroom	17.81	12.85	240	12.85	100%	100	50%
	R23	Bedroom	12.19	8.33	206	8.33	100%	100	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R24	LKD	29.59	22.78	155	12.14	53%	150	50%
	R25	Bedroom	12.71	8.22	168	7.23	88%	100	50%
	R26	Bedroom	12.46	8.27	350	8.27	100%	100	50%
	R27	LKD	27.43	21.32	251	20.13	94%	150	50%
	R28	LKD	26.94	20.31	173	11.48	57%	150	50%
	R29	Bedroom	11.37	7.65	272	7.65	100%	100	50%
	R30	Bedroom	11.47	7.76	592	7.76	100%	100	50%
	R31	Bedroom	11.41	7.71	501	7.71	100%	100	50%
	R32	LKD	27.10	20.74	273	20.74	100%	150	50%
	R33	LKD	23.50	17.24	304	17.24	100%	150	50%
	R34	Bedroom	11.57	7.56	583	7.56	100%	100	50%
	R35	LKD	23.19	17.14	320	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	548	7.64	100%	100	50%
	R37	LKD	23.19	17.14	317	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	556	7.64	100%	100	50%
	R39	Bedroom	11.56	7.84	626	7.84	100%	100	50%
	R40	Bedroom	7.80	4.70	417	4.70	100%	100	50%
	R41	LKD	26.94	20.83	619	20.83	100%	150	50%
Fifth	R1	Bedroom	12.52	8.38	660	8.38	100%	100	50%
	R2	Bedroom	8.26	5.01	535	5.01	100%	100	50%
	R3	LKD	25.61	19.67	609	19.67	100%	150	50%
	R4	Bedroom	12.09	7.96	688	7.96	100%	100	50%
	R5	Bedroom	11.46	7.69	369	7.69	100%	100	50%
	R6	LKD	26.40	19.83	429	19.83	100%	150	50%
	R7	Bedroom	12.09	7.96	669	7.96	100%	100	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R8	Bedroom	11.47	7.70	379	7.70	100%	100	50%
	R9	LKD	26.40	19.83	430	19.83	100%	150	50%
	R10	Bedroom	12.97	8.94	674	8.94	100%	100	50%
	R11	Bedroom	8.03	4.57	531	4.57	100%	100	50%
	R12	LKD	23.92	17.91	653	17.91	100%	150	50%
	R13	Bedroom	11.82	7.95	333	7.95	100%	100	50%
	R14	Bedroom	11.46	7.76	358	7.76	100%	100	50%
	R15	LKD	23.71	17.63	509	17.63	100%	150	50%
	R16	Bedroom	11.48	7.16	638	7.16	100%	100	50%
	R17	Bedroom	8.28	5.04	549	5.04	100%	100	50%
	R18	LKD	24.53	18.68	571	18.68	100%	150	50%
	R19	Bedroom	11.52	7.68	732	7.68	100%	100	50%
	R20	Bedroom	9.01	5.55	532	5.55	100%	100	50%
	R21	LKD	25.18	18.84	654	18.84	100%	150	50%
	R22	Bedroom	17.81	12.85	286	12.85	100%	100	50%
	R23	Bedroom	12.19	8.33	243	8.33	100%	100	50%
	R24	LKD	29.59	22.78	202	15.19	67%	150	50%
	R25	Bedroom	12.71	8.22	200	7.61	93%	100	50%
	R26	Bedroom	12.46	8.27	400	8.27	100%	100	50%
	R27	LKD	27.43	21.32	290	21.32	100%	150	50%
	R28	LKD	26.94	20.31	187	12.91	64%	150	50%
	R29	Bedroom	11.37	7.65	287	7.65	100%	100	50%
	R30	Bedroom	11.47	7.76	623	7.76	100%	100	50%
	R31	Bedroom	11.41	7.71	529	7.71	100%	100	50%
	R32	LKD	27.10	20.74	285	20.74	100%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
Sixth	R33	LKD	23.50	17.24	318	17.24	100%	150	50%
	R34	Bedroom	11.57	7.56	606	7.56	100%	100	50%
	R35	LKD	23.19	17.14	339	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	579	7.64	100%	100	50%
	R37	LKD	23.19	17.14	345	17.14	100%	150	50%
	R38	Bedroom	11.68	7.64	601	7.64	100%	100	50%
	R39	Bedroom	11.56	7.84	732	7.84	100%	100	50%
	R40	Bedroom	7.80	4.70	483	4.70	100%	100	50%
	R41	LKD	26.94	20.83	774	20.83	100%	150	50%
	R1	Bedroom	11.66	7.88	695	7.88	100%	100	50%
	R2	Bedroom	7.53	4.58	547	4.58	100%	100	50%
	R3	Bedroom	7.53	4.58	545	4.58	100%	100	50%
	R4	LKD	26.70	20.86	451	20.86	100%	150	50%
	R5	Bedroom	10.22	6.74	757	6.74	100%	100	50%
	R6	Bedroom	8.23	5.14	471	5.14	100%	100	50%
	R7	LKD	25.10	19.44	470	19.44	100%	150	50%
	R8	Bedroom	12.97	8.94	750	8.94	100%	100	50%
	R9	Bedroom	8.03	4.57	542	4.57	100%	100	50%
	R10	LKD	23.92	17.91	744	17.91	100%	150	50%
	R11	Bedroom	11.82	7.95	392	7.95	100%	100	50%
	R12	Bedroom	11.46	7.76	395	7.76	100%	100	50%
	R13	LKD	23.71	17.63	584	17.63	100%	150	50%
	R14	Bedroom	11.48	7.17	673	7.17	100%	100	50%
	R15	Bedroom	8.28	5.04	650	5.04	100%	100	50%
	R16	LKD	24.53	18.68	633	18.68	100%	150	50%

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: SDA BS En17037 Analysis - Proposed Scheme

Date of Analysis: 29/07/2022

								Criteria	
Floor Ref	Room Ref	Room Use	Room Area m2	Effective Area	Median Lux	Area Meeting Req Lux	% of Area Meeting Req Lux	Req Lux	Req % of Effective Area
	R17	Bedroom	11.52	7.68	734	7.68	100%	100	50%
	R18	Bedroom	9.01	5.55	534	5.55	100%	100	50%
	R19	LKD	25.18	18.84	779	18.84	100%	150	50%
	R20	Bedroom	17.81	12.85	325	12.85	100%	100	50%
	R21	Bedroom	12.19	8.33	291	8.33	100%	100	50%
	R22	LKD	29.59	22.78	295	21.45	94%	150	50%
	R23	Bedroom	12.71	8.22	256	7.99	97%	100	50%
	R24	Bedroom	12.46	8.27	494	8.27	100%	100	50%
	R25	LKD	27.43	21.32	371	21.32	100%	150	50%
	R26	LKD	26.94	20.31	226	17.42	86%	150	50%
	R27	Bedroom	11.37	7.65	310	7.65	100%	100	50%
	R28	Bedroom	11.47	7.76	647	7.76	100%	100	50%
	R29	Bedroom	11.41	7.71	627	7.71	100%	100	50%
	R30	LKD	27.10	20.74	337	20.74	100%	150	50%
	R31	LKD	23.50	17.24	384	17.24	100%	150	50%
	R32	Bedroom	11.57	7.56	650	7.56	100%	100	50%
	R33	LKD	23.19	17.14	410	17.14	100%	150	50%
	R34	Bedroom	11.68	7.64	622	7.64	100%	100	50%
	R35	LKD	23.19	17.14	414	17.14	100%	150	50%
	R36	Bedroom	11.68	7.64	649	7.64	100%	100	50%



Appendix 3

Results of the sunlight assessments
within the proposed dwellings

Project Name: Comag, West Drayton
Project No.: 5380
Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03
Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Proposed				
Ground	R1	Bedroom	W1	4.9
				4.9
Ground	R2	LKD	W2	7.4
				7.4
Ground	R3	LKD	W3	5.7
				5.7
Ground	R4	Bedroom	W4	6.1
				6.1
Ground	R5	Bedroom	W5	4.5
				4.5
Ground	R6	LKD	W6	4.5
				4.5
Ground	R7	Bedroom	W7	6.1
				6.1
Ground	R8	LKD	W8	7.4
				7.4
Ground	R9	LKD	W9	0.4
				0.4
Ground	R10	LKD	W10	0.4
				0.4
Ground	R11	LKD	W11	0.4
				0.4
Ground	R12	Bedroom	W12	0
				0
Ground	R13	LKD	W13	0
				0
First	R1	LKD	W1	7.1
			W2	7.1
			W3	1.7
			W63	3.3
				7.2
First	R2	Bedroom	W4	2.7
				2.7
First	R3	Bedroom	W5	4.6
				4.6
First	R4	Bedroom	W6	3.7
				3.7
First	R5	LKD	W7	7.4
				7.4
First	R6	Bedroom	W8	6.8
				6.8
First	R7	Bedroom	W9	5.1
				5.1
First	R8	LKD	W10	5
				5
First	R9	Bedroom	W11	6.8
				6.8

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
First	R10	Bedroom	W12	5.2
				5.2
First	R11	LKD	W13	4.9
				4.9
First	R12	Bedroom	W14	4.5
				4.5
First	R13	Bedroom	W15	4.6
				4.6
First	R14	LKD	W16	3.8
				3.8
First	R15	Bedroom	W17	5.1
				5.1
First	R16	Bedroom	W18	4.9
				4.9
First	R17	LKD	W19	5
				5
First	R18	Bedroom	W20	4.7
				4.7
First	R19	Bedroom	W21	3.7
				3.7
First	R20	LKD	W22	7.4
				7.4
First	R21	Bedroom	W23	6.7
				6.7
First	R22	Bedroom	W24	6.2
				6.2
First	R23	LKD	W25	2.4
			W26	3.7
				5.7
First	R24	Bedroom	W27	2.6
			W28	0
				2.6
First	R25	Bedroom	W29	0
				0
First	R26	LKD	W30	0
				0
First	R27	Bedroom	W31	0
				0
First	R28	LKD	W32	0
				0
First	R29	LKD	W33	0
				0
First	R30	Bedroom	W34	0
				0
First	R31	Bedroom	W35	0
				0
First	R32	Bedroom	W36	0
				0
First	R33	LKD	W37	0
				0

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
First	R34	LKD	W38	0
				0
First	R35	Bedroom	W39	0
				0
First	R36	LKD	W40	0
				0
First	R37	Bedroom	W41	0
				0
First	R38	LKD	W42	0
				0
First	R39	Bedroom	W43	1.1
				1.1
First	R40	Bedroom	W44	1.3
				1.3
First	R41	Bedroom	W45	1.8
				1.8
First	R42	Bedroom	W46	2.6
				2.6
First	R43	Bedroom	W47	2
				2
First	R44	Bedroom	W48	3.3
				3.3
First	R45	Bedroom	W49	3.8
				3.8
First	R46	Bedroom	W50	0
			W51	0
First	R47	Bedroom	W52	0
				0
First	R48	Bedroom	W54	0
				0
First	R49	LKD	W56	0.1
				0.1
First	R50	Bedroom	W57	0
				0
First	R51	LKD	W58	0
				0
First	R52	Bedroom	W59	0
				0
First	R53	Bedroom	W60	0
				0
First	R54	Bedroom	W61	0
				0
First	R55	Bedroom	W62	0
				0
Second	R1	LKD	W1	7.1
			W2	7.1
			W3	1.7
			W57	3.3
				7.1

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Second	R2	Bedroom	W4	2.6
				2.6
Second	R3	Bedroom	W5	6.8
				6.8
Second	R4	Bedroom	W6	5.2
				5.2
Second	R5	LKD	W7	4.9
				4.9
Second	R6	Bedroom	W8	4.6
				4.6
Second	R7	Bedroom	W9	3.5
				3.5
Second	R8	LKD	W10	7.4
				7.4
Second	R9	Bedroom	W11	4.6
				4.6
Second	R10	Bedroom	W12	3.6
				3.6
Second	R11	LKD	W13	7.4
				7.4
Second	R12	Bedroom	W14	4.9
				4.9
Second	R13	Bedroom	W15	4.6
				4.6
Second	R14	LKD	W16	3.6
				3.6
Second	R15	Bedroom	W17	5
				5
Second	R16	Bedroom	W18	3.4
				3.4
Second	R17	LKD	W19	7.4
				7.4
Second	R18	Bedroom	W20	6.7
				6.7
Second	R19	Bedroom	W21	5.3
				5.3
Second	R20	LKD	W22	4.9
				4.9
Second	R21	Bedroom	W23	6.7
				6.7
Second	R22	Bedroom	W24	6.2
				6.2
Second	R23	LKD	W25	2.3
			W26	3.7
				5.6
Second	R24	Bedroom	W27	2.8
			W28	0
				2.8
Second	R25	Bedroom	W29	0
				0

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Second	R26	LKD	W30	0
				0
Second	R27	Bedroom	W31	0
				0
Second	R28	Bedroom	W32	0
				0
Second	R29	LKD	W33	0
				0
Second	R30	LKD	W34	0
				0
Second	R31	Bedroom	W35	0
				0
Second	R32	Bedroom	W36	0
				0
Second	R33	Bedroom	W37	0
				0
Second	R34	LKD	W38	0
				0
Second	R35	LKD	W39	0
				0
Second	R36	Bedroom	W40	0
				0
Second	R37	LKD	W41	0
				0
Second	R38	Bedroom	W42	0
				0
Second	R39	LKD	W43	0
				0
Second	R40	Bedroom	W44	0
				0
Second	R41	Bedroom	W45	5
				5
Second	R42	LKD	W46	0.1
				0.1
Second	R43	Bedroom	W47	0
				0
Second	R44	Bedroom	W48	0
				0
Second	R45	LKD	W49	0
				0
Second	R46	LKD	W50	0.1
				0.1
Second	R47	Bedroom	W51	0
				0
Second	R48	LKD	W52	0
				0
Second	R49	Bedroom	W53	0
				0
Second	R50	Bedroom	W54	0
				0

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Second	R51	Bedroom	W55	0
				0
Second	R52	Bedroom	W56	0
				0
Second	R53	Bedroom	W58	4.4
				4.4
Third	R1	LKD	W1	7.1
			W2	7.1
			W3	1.7
			W59	3.3
Third	R2	Bedroom	W4	7.1
				7.1
Third	R2	Bedroom	W4	2.6
				2.6
Third	R3	Bedroom	W5	4.6
				4.6
Third	R4	Bedroom	W6	3.6
				3.6
Third	R5	LKD	W7	7.4
				7.4
Third	R6	Bedroom	W8	6.8
				6.8
Third	R7	Bedroom	W9	5.1
				5.1
Third	R8	LKD	W10	4.9
				4.9
Third	R9	Bedroom	W11	6.8
				6.8
Third	R10	Bedroom	W12	5.2
				5.2
Third	R11	LKD	W13	4.8
				4.8
Third	R12	Bedroom	W14	4.5
				4.5
Third	R13	Bedroom	W15	4.6
				4.6
Third	R14	LKD	W16	3.8
				3.8
Third	R15	Bedroom	W17	5
				5
Third	R16	Bedroom	W18	4.9
				4.9
Third	R17	LKD	W19	4.9
				4.9
Third	R18	Bedroom	W20	4.7
				4.7
Third	R19	Bedroom	W21	3.6
				3.6
Third	R20	LKD	W22	7.4
				7.4
Third	R21	Bedroom	W23	6.7

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
				6.7
Third	R22	Bedroom	W24	6.2
				6.2
Third	R23	LKD	W25	2.3
			W26	3.7
				5.6
Third	R24	Bedroom	W27	2.9
			W28	0
				2.9
Third	R25	Bedroom	W29	0
				0
Third	R26	LKD	W30	0
				0
Third	R27	Bedroom	W31	0
				0
Third	R28	Bedroom	W32	0
				0
Third	R29	LKD	W33	0
				0
Third	R30	LKD	W34	0
				0
Third	R31	Bedroom	W35	0
				0
Third	R32	Bedroom	W36	0
				0
Third	R33	Bedroom	W37	0
				0
Third	R34	LKD	W38	0
				0
Third	R35	LKD	W39	0
				0
Third	R36	Bedroom	W40	0
				0
Third	R37	LKD	W41	0
				0
Third	R38	Bedroom	W42	0
				0
Third	R39	LKD	W43	0
				0
Third	R40	Bedroom	W44	0
				0
Third	R41	Bedroom	W45	5.3
				5.3
Third	R42	Bedroom	W46	0
			W47	0
				0
Third	R43	Bedroom	W48	0
				0
Third	R44	LKD	W49	0.5
				0.5

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Third	R45	LKD	W50	0.4
				0.4
Third	R46	Bedroom	W51	0
				0
Third	R47	Bedroom	W52	0
				0
Third	R48	Bedroom	W53	0
				0
Third	R49	LKD	W54	0
				0
Third	R50	Bedroom	W55	0
				0
Third	R51	Bedroom	W56	0
				0
Third	R52	Bedroom	W57	0
				0
Third	R53	Bedroom	W58	0
				0
Fourth	R1	Bedroom	W2	6.8
				6.8
Fourth	R2	Bedroom	W3	5.2
				5.2
Fourth	R3	LKD	W4	4.9
				4.9
Fourth	R4	Bedroom	W5	4.6
				4.6
Fourth	R5	Bedroom	W6	3.5
				3.5
Fourth	R6	LKD	W7	7.4
				7.4
Fourth	R7	Bedroom	W8	4.6
				4.6
Fourth	R8	Bedroom	W9	3.6
				3.6
Fourth	R9	LKD	W10	7.4
				7.4
Fourth	R10	Bedroom	W11	4.9
				4.9
Fourth	R11	Bedroom	W12	4.6
				4.6
Fourth	R12	LKD	W13	3.6
				3.6
Fourth	R13	Bedroom	W14	5
				5
Fourth	R14	Bedroom	W15	3.4
				3.4
Fourth	R15	LKD	W16	7.4
				7.4
Fourth	R16	Bedroom	W17	6.7
				6.7

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Fourth	R17	Bedroom	W18	5.3
				5.3
Fourth	R18	LKD	W19	4.9
				4.9
Fourth	R19	Bedroom	W20	6.7
				6.7
Fourth	R20	Bedroom	W21	6.2
				6.2
Fourth	R21	LKD	W22	2.3
			W23	3.7
				5.6
Fourth	R22	Bedroom	W24	2.9
			W25	0
				2.9
Fourth	R23	Bedroom	W26	0
				0
Fourth	R24	LKD	W27	0
				0
Fourth	R25	Bedroom	W28	0
				0
Fourth	R26	Bedroom	W29	0
				0
Fourth	R27	LKD	W30	0
				0
Fourth	R28	LKD	W31	0
				0
Fourth	R29	Bedroom	W32	0
				0
Fourth	R30	Bedroom	W33	0
				0
Fourth	R31	Bedroom	W34	0
				0
Fourth	R32	LKD	W35	0
				0
Fourth	R33	LKD	W36	0
				0
Fourth	R34	Bedroom	W37	0
				0
Fourth	R35	LKD	W38	0
				0
Fourth	R36	Bedroom	W39	0
				0
Fourth	R37	LKD	W40	0
				0
Fourth	R38	Bedroom	W41	0
				0
Fourth	R39	Bedroom	W42	2
				2
Fourth	R40	Bedroom	W43	0.9
				0.9

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Fourth	R41	LKD	W1	3.2
			W44	0.9
				3.2
Fifth	R1	Bedroom	W2	6.8
				6.8
Fifth	R2	Bedroom	W3	6.1
				6.1
Fifth	R3	LKD	W4	7.4
				7.4
Fifth	R4	Bedroom	W5	6.8
				6.8
Fifth	R5	Bedroom	W6	6
				6
Fifth	R6	LKD	W7	7.4
				7.4
Fifth	R7	Bedroom	W8	6.8
				6.8
Fifth	R8	Bedroom	W9	6.1
				6.1
Fifth	R9	LKD	W10	7.4
				7.4
Fifth	R10	Bedroom	W11	4.9
				4.9
Fifth	R11	Bedroom	W12	4.6
				4.6
Fifth	R12	LKD	W13	3.8
				3.8
Fifth	R13	Bedroom	W14	5
				5
Fifth	R14	Bedroom	W15	4.9
				4.9
Fifth	R15	LKD	W16	4.9
				4.9
Fifth	R16	Bedroom	W17	4.7
				4.7
Fifth	R17	Bedroom	W18	3.6
				3.6
Fifth	R18	LKD	W19	7.4
				7.4
Fifth	R19	Bedroom	W20	6.7
				6.7
Fifth	R20	Bedroom	W21	6.2
				6.2
Fifth	R21	LKD	W22	2.3
			W23	3.7
				5.6
Fifth	R22	Bedroom	W24	3.1
			W25	0
				3.1
Fifth	R23	Bedroom	W26	0

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
				0
Fifth	R24	LKD	W27	0
				0
Fifth	R25	Bedroom	W28	0
				0
Fifth	R26	Bedroom	W29	0
				0
Fifth	R27	LKD	W30	0
				0
Fifth	R28	LKD	W31	0
				0
Fifth	R29	Bedroom	W32	0
				0
Fifth	R30	Bedroom	W33	0
				0
Fifth	R31	Bedroom	W34	0
				0
Fifth	R32	LKD	W35	0
				0
Fifth	R33	LKD	W36	0
				0
Fifth	R34	Bedroom	W37	0
				0
Fifth	R35	LKD	W38	0
				0
Fifth	R36	Bedroom	W39	0
				0
Fifth	R37	LKD	W40	0
				0
Fifth	R38	Bedroom	W41	0
				0
Fifth	R39	Bedroom	W42	2
				2
Fifth	R40	Bedroom	W43	0.9
				0.9
Fifth	R41	LKD	W1	5.2
			W44	0.9
				5.2
Sixth	R1	Bedroom	W1	7
				7
Sixth	R2	Bedroom	W2	6.1
				6.1
Sixth	R3	Bedroom	W3	6.1
				6.1
Sixth	R4	LKD	W4	7.4
				7.4
Sixth	R5	Bedroom	W5	7
				7
Sixth	R6	Bedroom	W6	6.1
				6.1

Project Name: Comag, West Drayton

Project No.: 5380

Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03

Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Sixth	R7	LKD	W7	7.4
				7.4
Sixth	R8	Bedroom	W8	6.4
				6.4
Sixth	R9	Bedroom	W9	4.6
				4.6
Sixth	R10	LKD	W10	7.4
				7.4
Sixth	R11	Bedroom	W11	5.9
				5.9
Sixth	R12	Bedroom	W12	5.8
				5.8
Sixth	R13	LKD	W13	7.4
				7.4
Sixth	R14	Bedroom	W14	6.7
				6.7
Sixth	R15	Bedroom	W15	6.3
				6.3
Sixth	R16	LKD	W16	7.4
				7.4
Sixth	R17	Bedroom	W17	6.7
				6.7
Sixth	R18	Bedroom	W18	6.2
				6.2
Sixth	R19	LKD	W19	6.2
			W20	3.7
				8.3
Sixth	R20	Bedroom	W21	3.5
			W22	0
				3.5
Sixth	R21	Bedroom	W23	0
				0
Sixth	R22	LKD	W24	0
				0
Sixth	R23	Bedroom	W25	0
				0
Sixth	R24	Bedroom	W26	0
				0
Sixth	R25	LKD	W27	0
				0
Sixth	R26	LKD	W28	0
				0
Sixth	R27	Bedroom	W29	0
				0
Sixth	R28	Bedroom	W30	0
				0
Sixth	R29	Bedroom	W31	0
				0
Sixth	R30	LKD	W32	0
				0

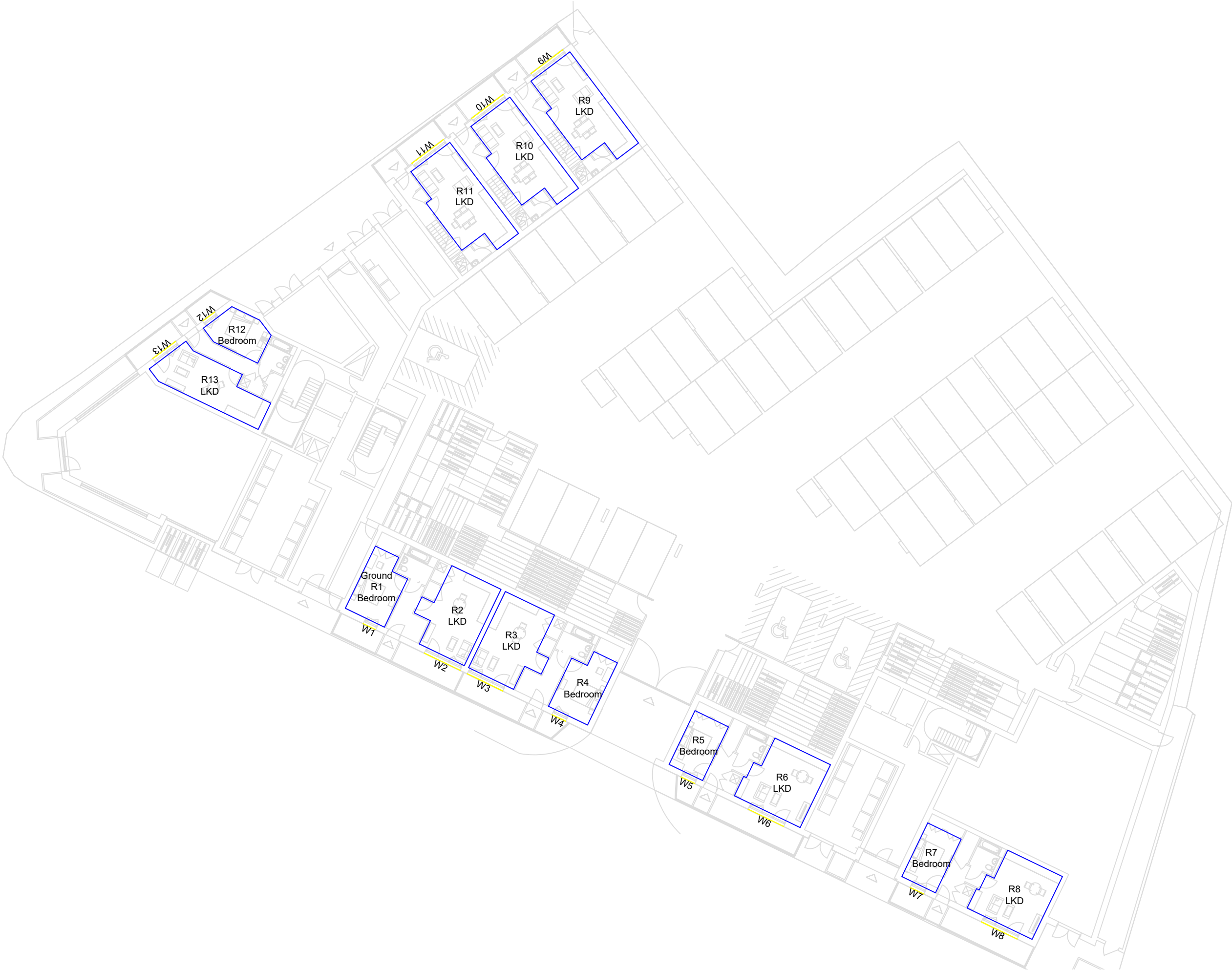
Project Name: Comag, West Drayton
Project No.: 5380
Report Title: Sunlight Exposure Analysis - Proposed Scheme 5380_R06_ID03
Date: 29/07/2022

Floor Ref	Room Ref	Room Use	Window Ref	Proposed Sunlight Exposure (Hours)
Sixth	R31	LKD	W33	0
				0
Sixth	R32	Bedroom	W34	0
				0
Sixth	R33	LKD	W35	0
				0
Sixth	R34	Bedroom	W36	0
				0
Sixth	R35	LKD	W37	0
				0
Sixth	R36	Bedroom	W38	0
				0



Appendix 4

Proposed Layouts



Sources of information

Cloud10
0868 Tavistock Road West Drayton_
DISI_180522.dwg
Received 18/05/2022

RMA
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Ordnance Survey



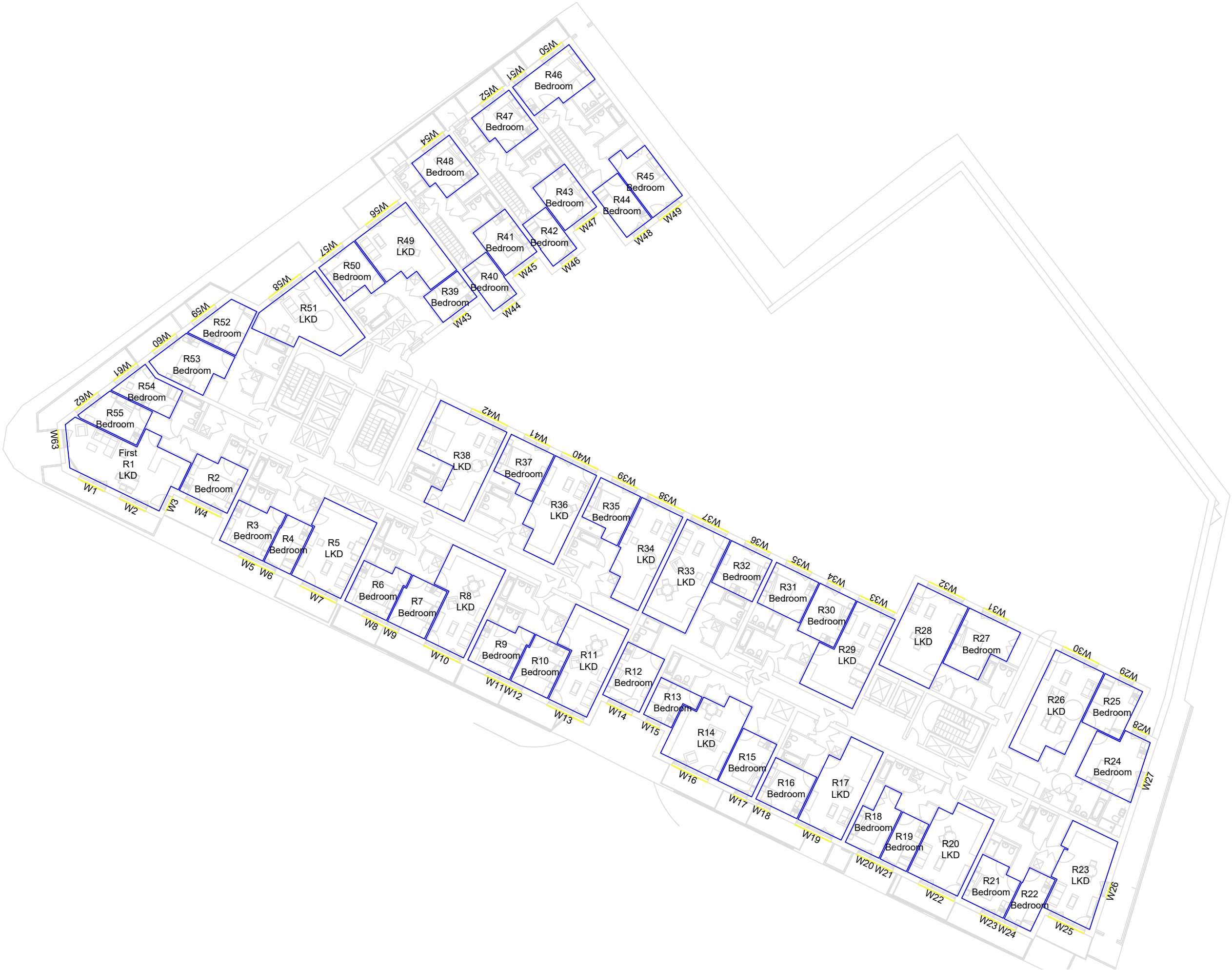
Project Comag West Drayton
UB7

Title Ground Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 01



Sources of information

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0868 Tavistock Road West Drayton_
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Received 19/07/2022

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Ordnance Survey



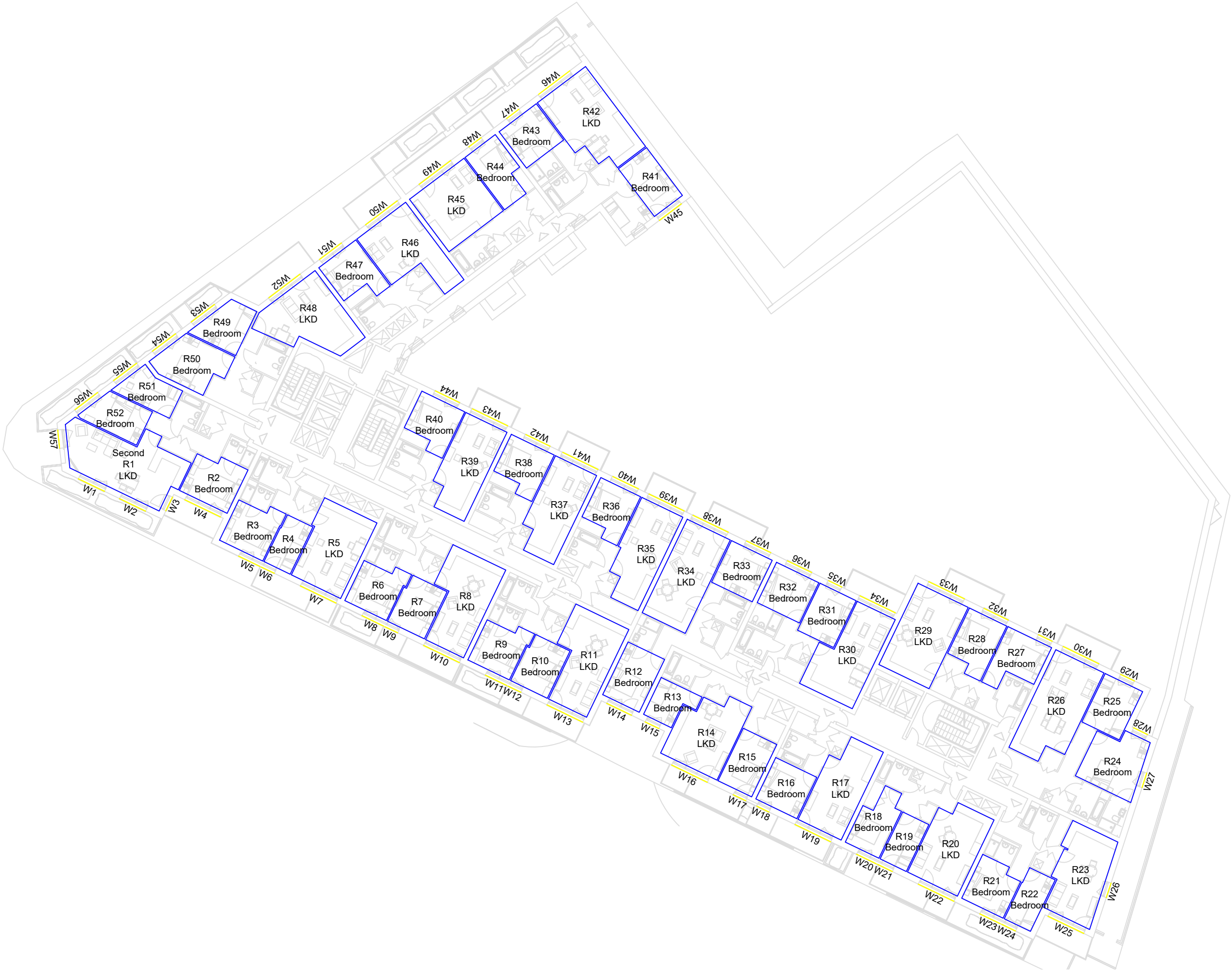
Project Comag West Drayton
UB7

Title First Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 02



Sources of information

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0868 Tavistock Road West Drayton_
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Ordnance Survey



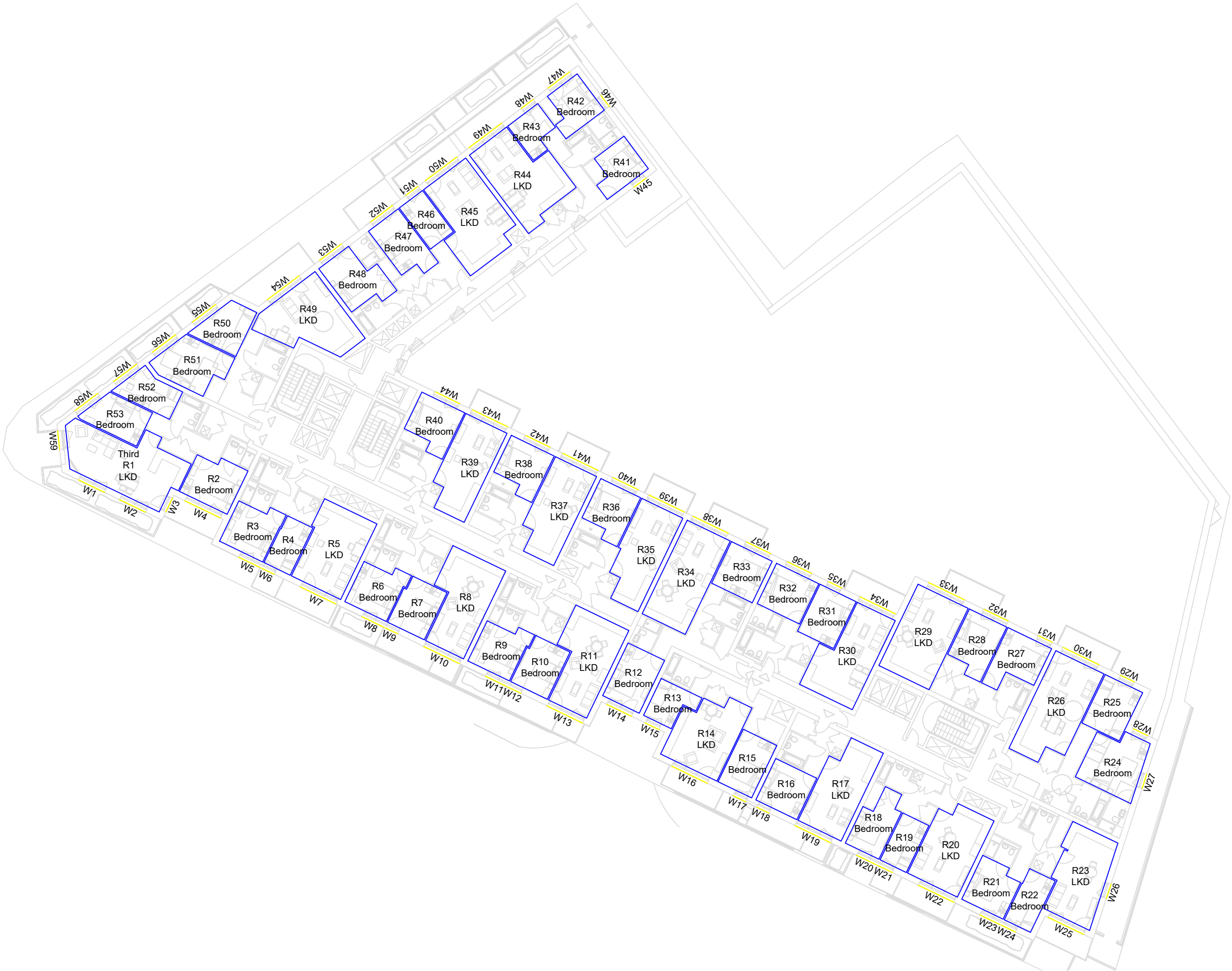
Project Comag West Drayton
UB7

Title Second Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 03



Sources of information

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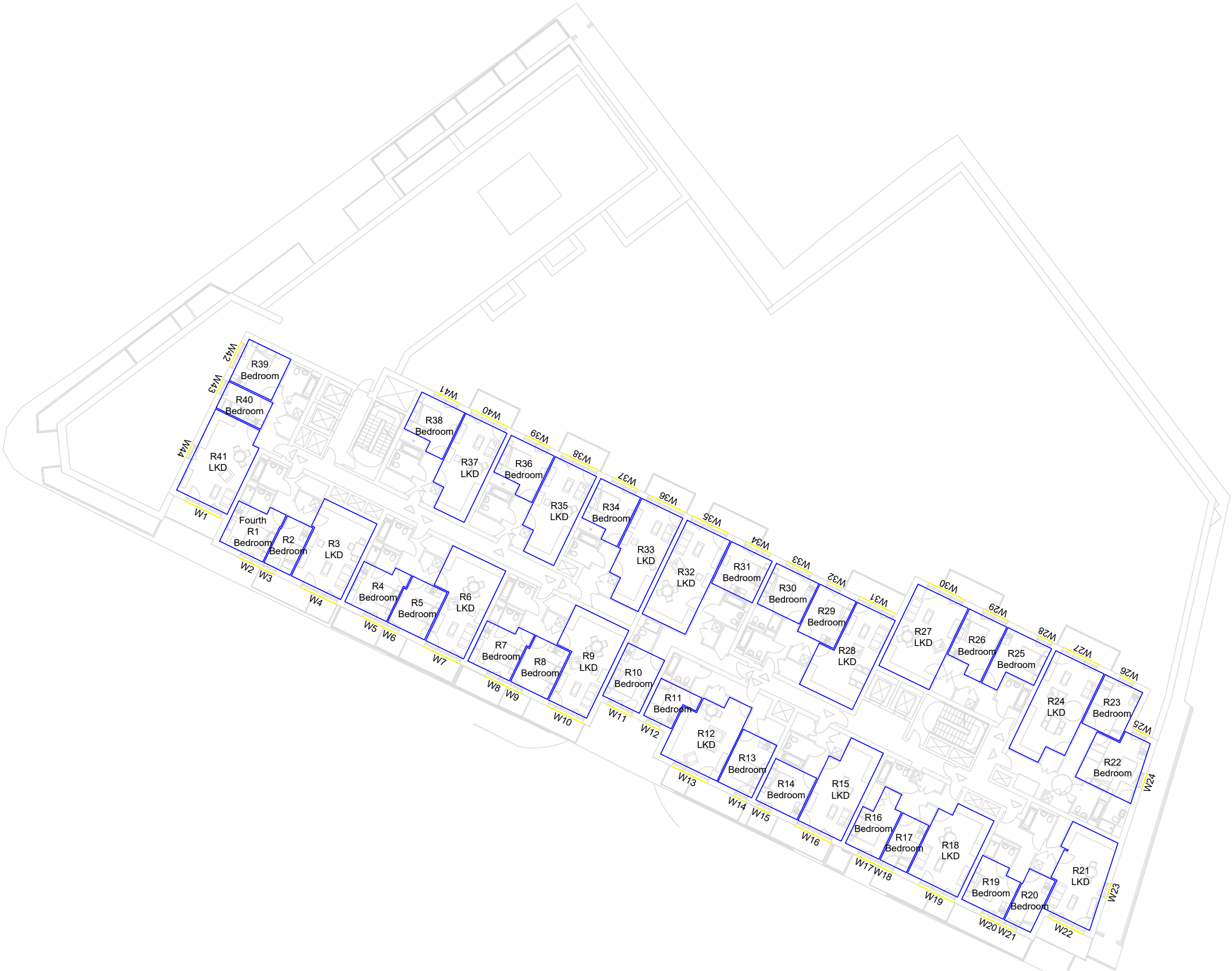
Project Comag West Drayton
UB7

Title Third Floor
Room Layout

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Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 04



Sources of information

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EB7 Ltd
Ordnance Survey



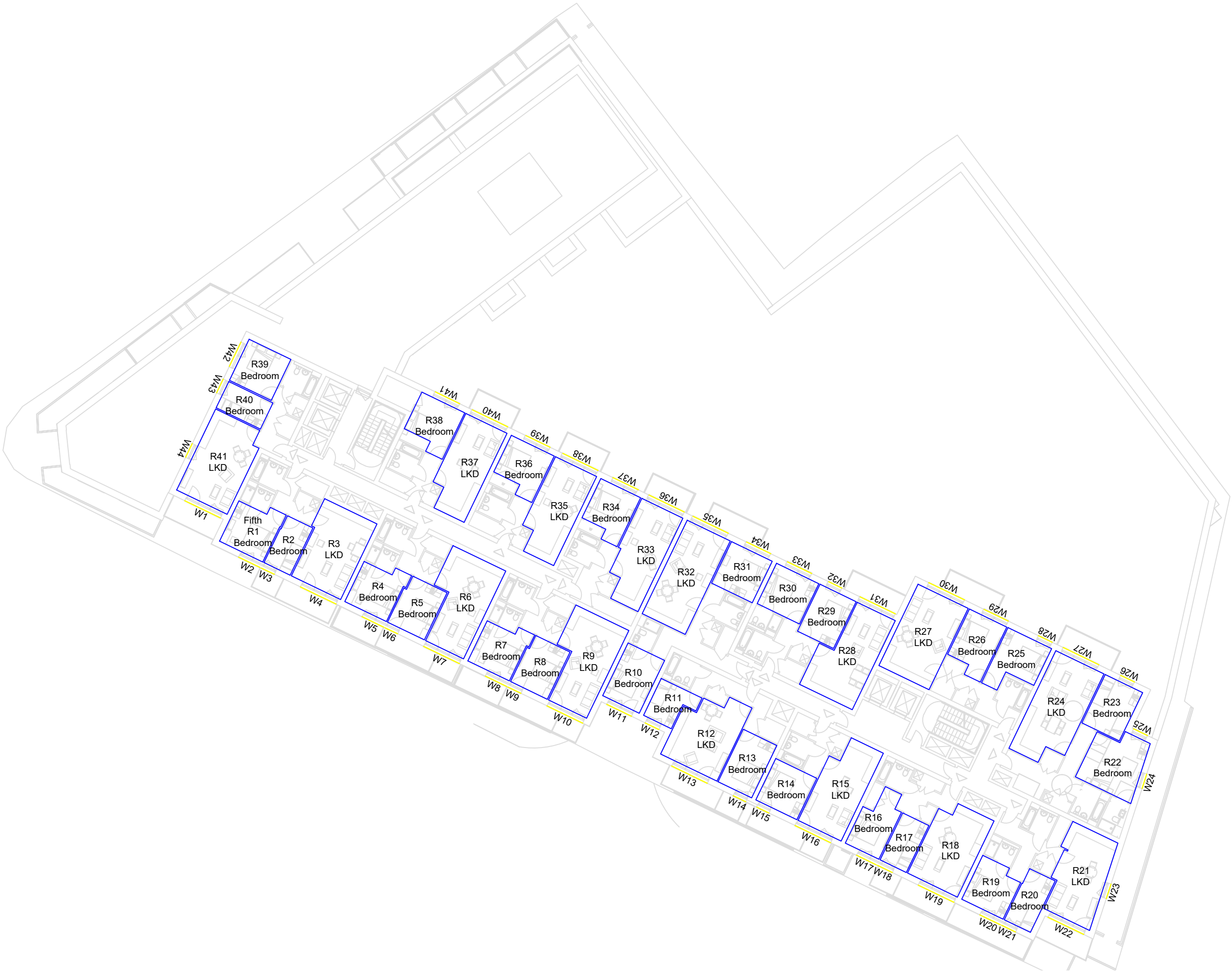
Project Comag West Drayton
UB7

Title Fourth Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 05



Sources of information

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Received 19/07/2022

EB7 Ltd
Ordnance Survey



Project Comag West Drayton
UB7

Title Fifth Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

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Sources of information

Cloud10
0868 Tavistock Road West Drayton_
DISI_180522.dwg
Received 18/05/2022

RMA
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CWD-RMA-ZZ-00-DR-A-0200_P3.dwg
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CWD-RMA-ZZ-XX-M3-A-9050_18-07-
2022.dwg
Received 19/07/2022

EB7 Ltd
Ordnance Survey



Project Comag West Drayton
UB7

Title Sixth Floor
Room Layout

Drawn JC Checked --

Date 29/07/2022 Project 5380

Rel no. 06 Prefix ID01 Page no. 07



Appendix 5

Results of the sunlight amenity assessments

Sources of information

Cloud10

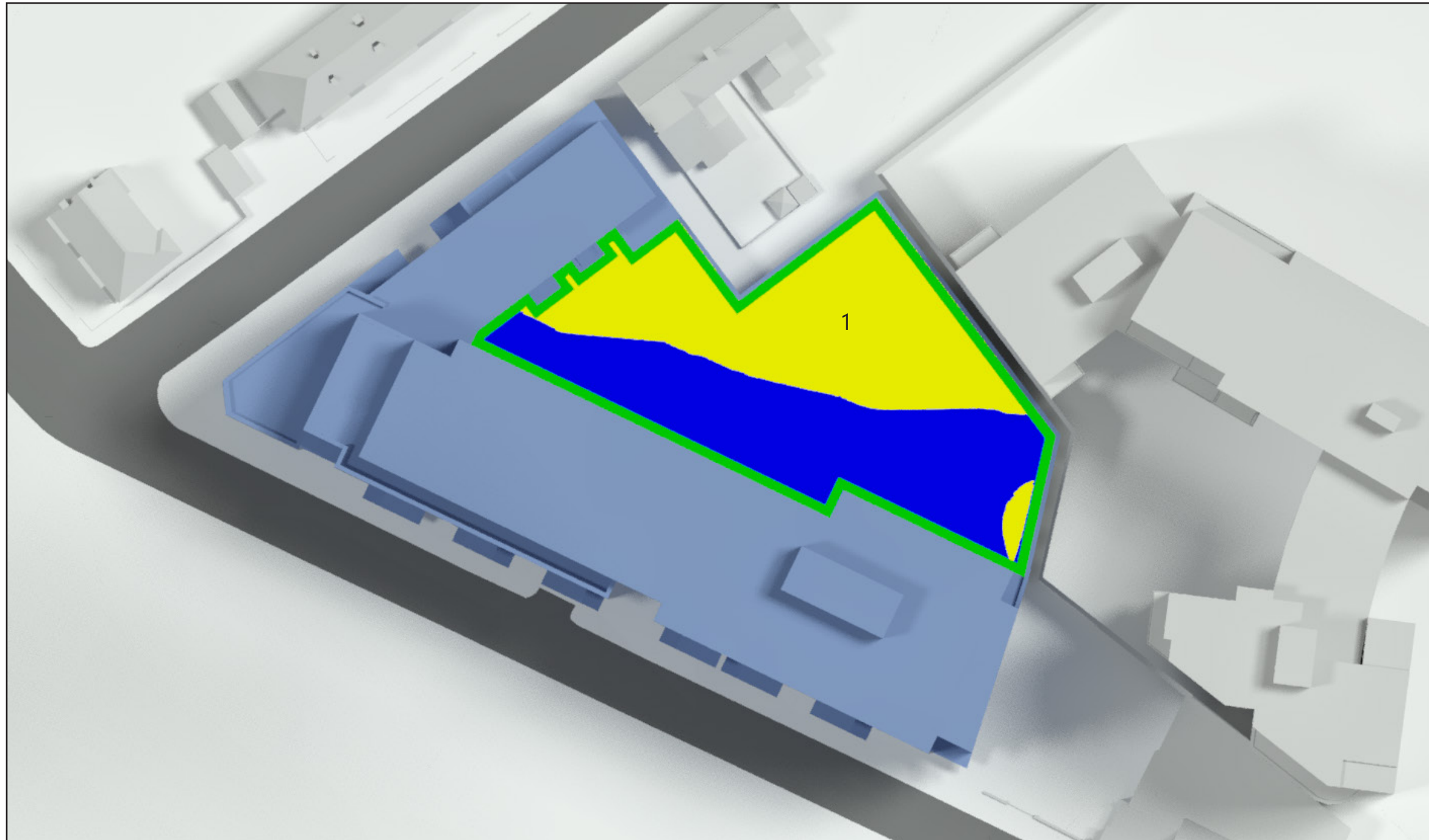
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Received 18/05/2022

RMA

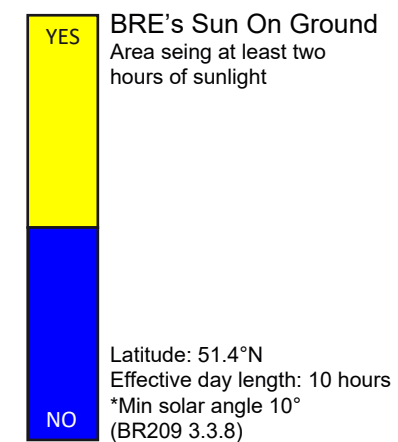
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Received 19/07/2022

EB7 Ltd

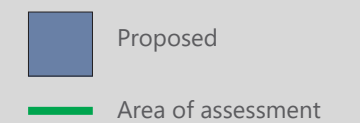
Ordnance Survey



Area	Total Area (sq.m)	Area more than 2 hours (sq.m)	Area % more than 2 hours
1	1156.79	579.10	50



Key:



NORTH



Project Comag West Drayton
UB7

Title Sunlight Amenity Study
Proposed
10th April

Drawn JC Checked --

Date 17/11/2022 Project 5380

Rel no. 06 Prefix SA01 Page no. 01

Sources of information

Cloud10

0868 Tavistock Road West Drayton_
DISL_180522.dwg
Received 18/05/2022

RMA

CWD-RMA-ZZ-XX-M3-A-9050_ 18-07-
2022.dwg
Received 19/07/2022

EB7 Ltd

Ordnance Survey

Key:

- Proposed
- Area of assessment

NORTH



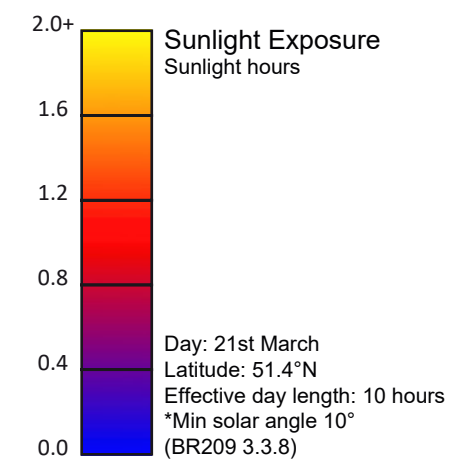
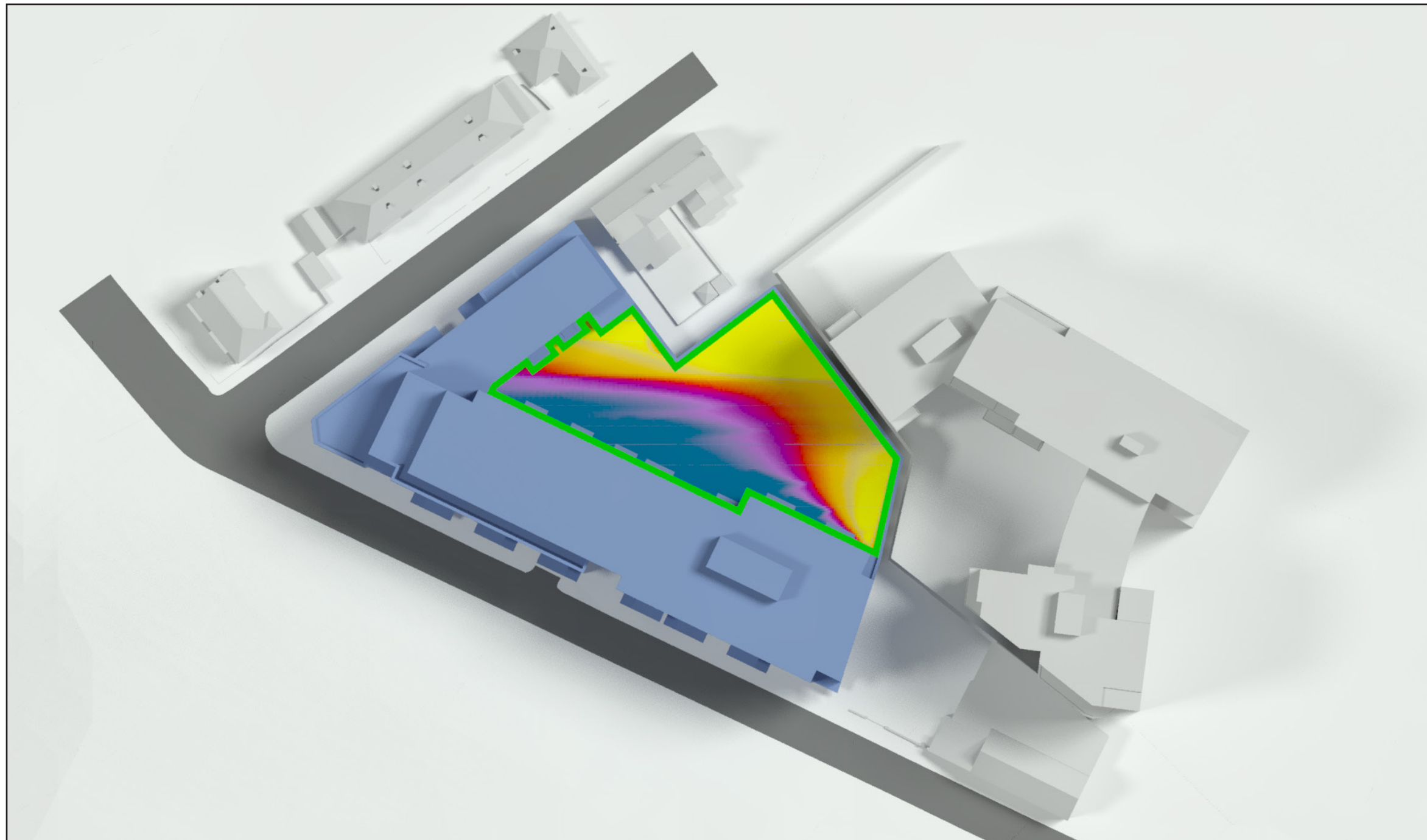
Project Comag West Drayton
UB7

Title Sunlight Amenity Study
Proposed
21st March

Drawn JC Checked --

Date 17/11/2022 Project 5380

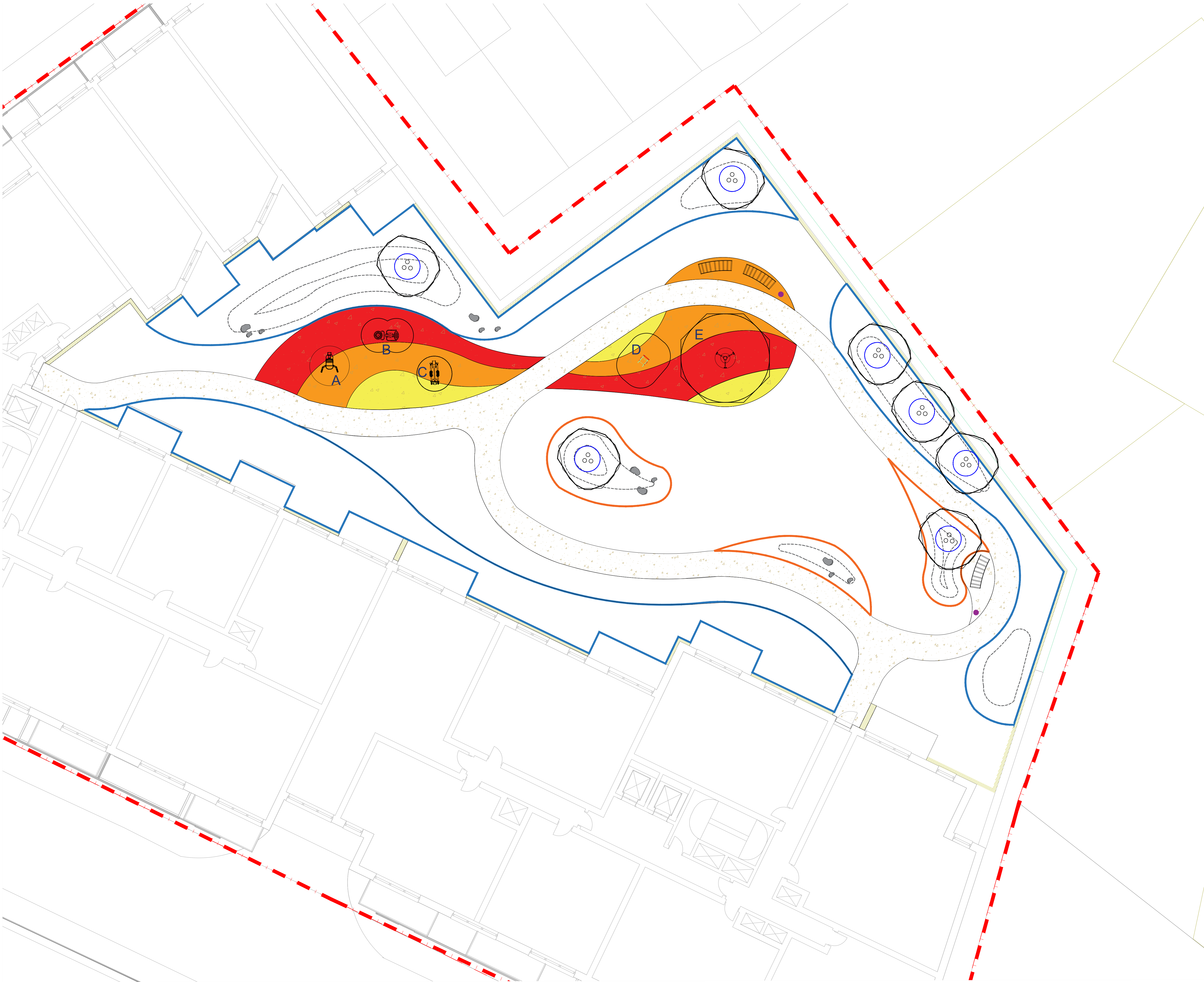
Rel no. 06 Prefix SA02 Page no. 01



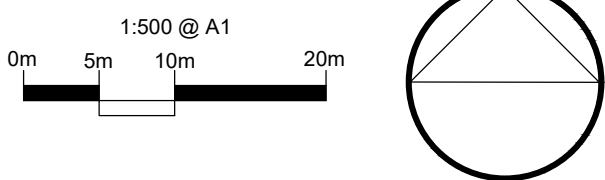


Appendix 6

Landscape Plan



NOTES:
Based upon the Ordnance Survey map with permission of The Controller of Her Majesty's Stationery Office, © Crown Copyright.
Aspect Landscape Planning Ltd, West Court, Hardwick Business Park, Noral Way, Banbury OX16 2AF.
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- KEY:**
- Site Boundary
 - Metal Edged Resin Bound Gravel Buff or similar approved.
 - PlayBound rubber paving. Colour - Yellow Supplier: SureSet
 - PlayBound rubber paving. Colour - Fire Supplier: SureSet
 - PlayBound rubber paving. Colour - Orange Supplier: SureSet
 - Powder Coated Metal Edge
 - 10mm thicknes
 - 300 mm height above path level
 - Colour orange RAL 2000
 - Powder Coated Metal Edge
 - 10mm thicknes
 - 600 mm height above path level
 - Colour grey RAL 7016
 - Powder Coated Metal Edge
 - 10mm thicknes
 - 900 mm height above path level
 - Colour black RAL 9005
 - Proposed Warwick Curved Bench
 - Supplier: Bollard Street
 - Finish: Grade 304 Stainless Steel
 - Size/: L1800mm W605mm H465mm
 - Fixing: Base plate
 - Weight: 71kg
 - Ref: SE.WA.BCH.SS.RD
 - Proposed Weyburn Open Top Litter Bin 45L
 - Supplier: Broxap
 - Finish: Stainless Steel
 - Size/: D300 H850mm
 - Ref: BX50S 203/LB
 - Small 30mm Decorative Gravel overlaid over geotextile membrane (Gravel to be agreed with Bellway before instillation and include a timber edge)
 - Proposed Rocks / Boulders Size 600mm and 400mm
 - Proposed Soil Mound Mound to provide min 900mm soil depth where trees are indicated in the planter.

- Outdoor gym equipment**
- A Hydraulic Butterfly R37-UBX-208B - PROLUDIC
 - B Pendulum and Hip Twister R37-UBX-232B - PROLUDIC
 - C Elliptical Trainer R37-UBX-203C - PROLUDIC
- Play equipment**
- D Springer J841 - PROLUDIC
 - E Rotating equipment J2401 - PROLUDIC

HARD LANDSCAPE NOTES
All detailed hard surface information is to be built up to required depths set out by the project engineer and reviewed to ensure sufficient construction requirements are achieved. For specific build up and kerb requirements to specified products please see supplier technical information and relevant BS requirements. All Kerbs and Edging to be used when necessary where there is a change in surface. Any additional safety attenuation fencing should be confirmed by the drainage and CDM coordinator to ensure sufficient safety measures are in place and included within the drainage design information.

REV	DATE	NOTE	Drawn/Chkd

aspect landscape planning

TITLE
Former Comag Works, West Drayton
Hard Landscape Plan-First Flore

CLIENT
Bellway Homes Limited (North London)

SCALE	DATE	DRAWN	CHKD
1:100@A1	JUN 2022	PC	CW
DRAWING NUMBER		REVISION	
7943.FF.HS.2.1			