

GENERAL NOTES

All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person/s immediately.

No dimension to be scaled from the drawings for construction purposes unless otherwise indicated. All work is to comply with current Building Regulations.

Party Wall etc. Act 1996 would apply and contractor

is to assure that no work is commenced until this

Architect/Surveyor/Engineer or responsible person/s

immediately.

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immediately.

The sole purpose of this drawing is the procurement

of Planning Permission and Building Regulation

approval and work is NOT to commence before such

approvals.

Where this drawing is used for the works, contractor

should request at the time of tender, from the tenderer

disputes, this schedule of works in conjunction with the

drawings, would be used to resolve matters.

Contractor to assure and satisfy himself that necessary

Planning permission and Building Regulations are

approved before tendering or commencement of works.

The competent person is to send to the local authority

via the scheme provider a self-certification certificate

within 30 days of the electrical works' completion. The

client must receive both a copy of the self certificate

and a BS7671 Electrical Installation Test Certificate.

(Reg. P1)

The Gas and Boiler installations will be carried out by a

suitably qualified CORGI registered gas engineer or

equally approved.

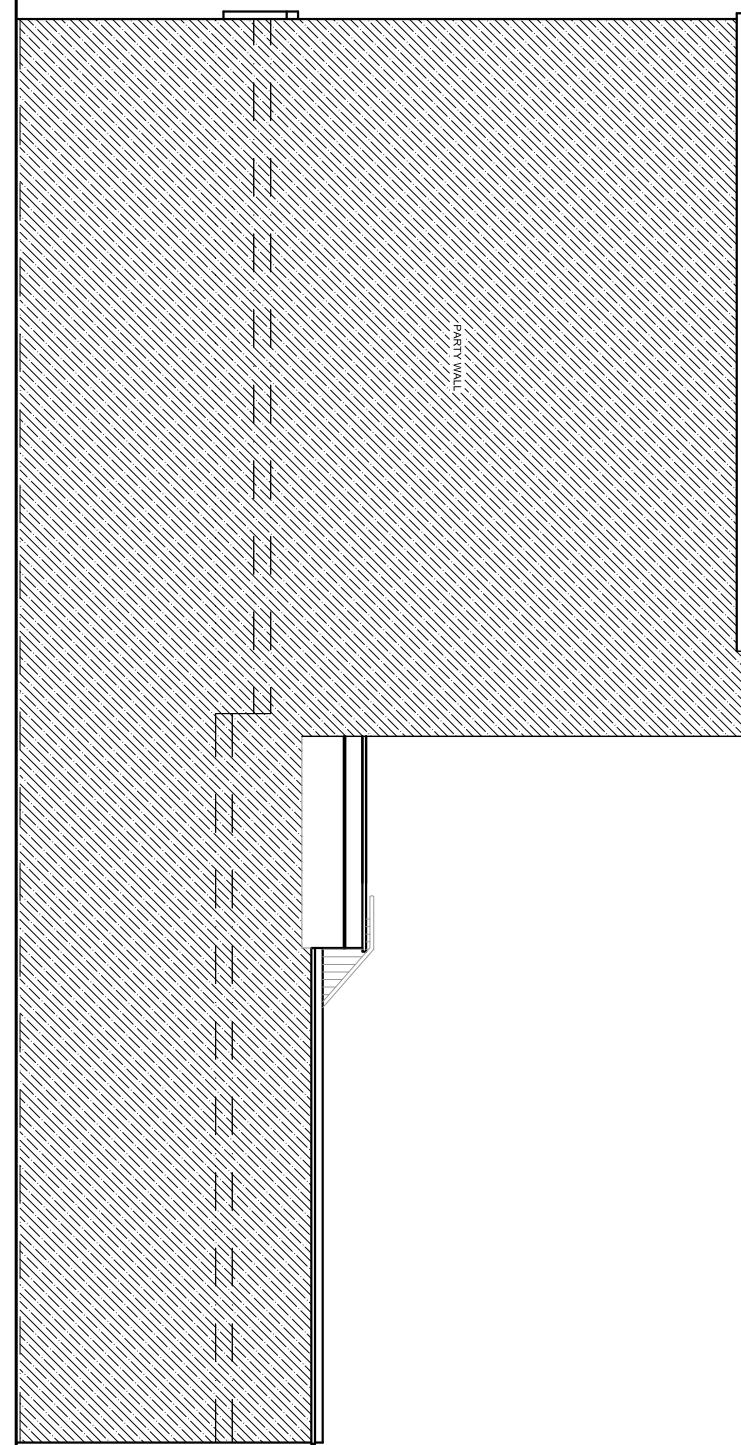
The Contractor is responsible for ensuring compliance

with the CDM Regulations, and appropriate Health &

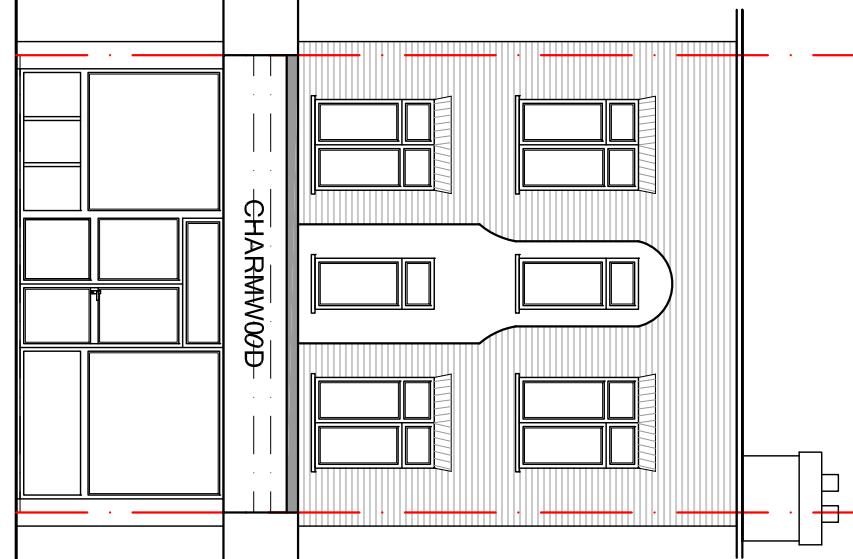
Safety on site precautions.

PLANNING ISSUE

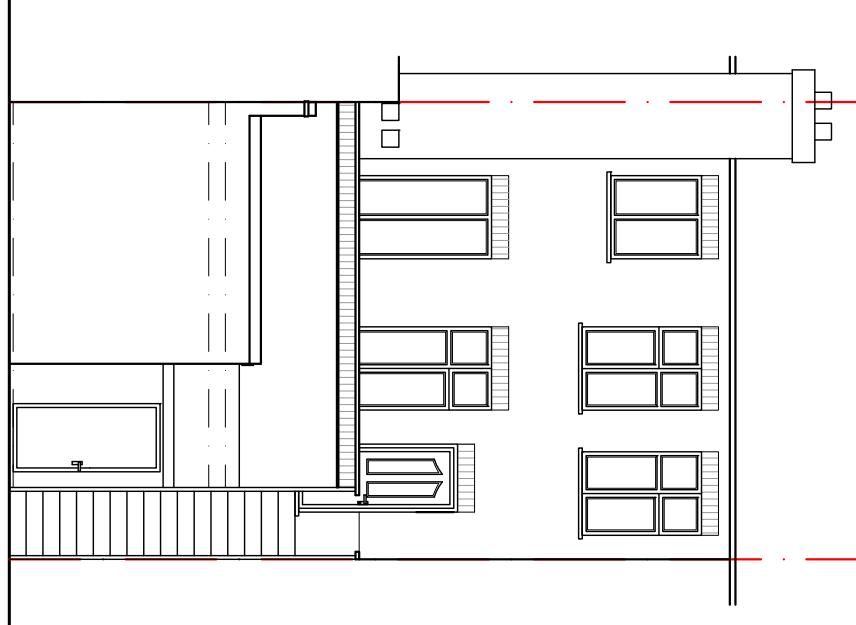
EXISTING SIDE ELEVATION (VIEW FROM NO. 39)



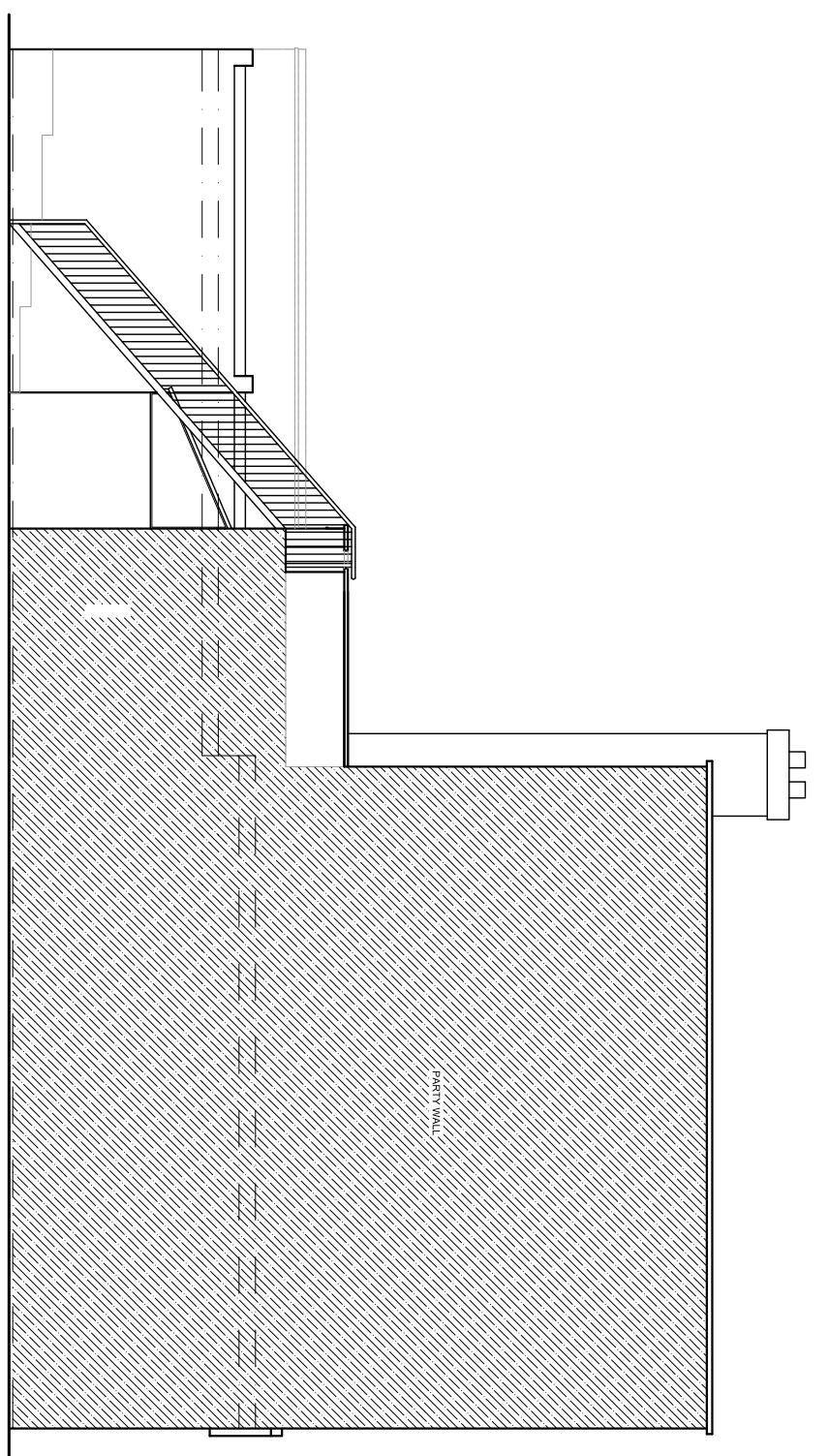
EXISTING FRONT ELEVATION
SCALE 1:100



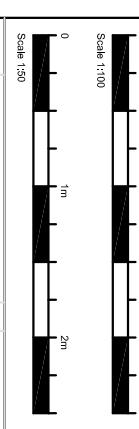
EXISTING SIDE ELEVATION (VIEW FROM NO. 39)
SCALE 1:100



EXISTING REAR ELEVATION
SCALE 1:100



EXISTING SIDE ELEVATION (VIEW FROM NO. 35)
SCALE 1:100



REVISION	DESCRIPTION	BY	DATE
	Architectural and interior design services	SDH designs Ltd	

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RUISLIP
HA4 9AB

DRAWING TITLE: EXISTING AND PROPOSED GROUND
FLOOR PLAN

DATE: 19.01.2020	DRAWN BY: SD
DRAWING NO: SD1875(P)12	CHECKED BY: SD
REVISION:	