

Project : 85 Roseville Road, Hayes UB3 4QZ

Drawing : Outbuilding Site Plan

Scale : 1 : 100

Status : Project Status

Rev :

Date : 10/16/25

Dwg No : APL-DR-PL-XX-73

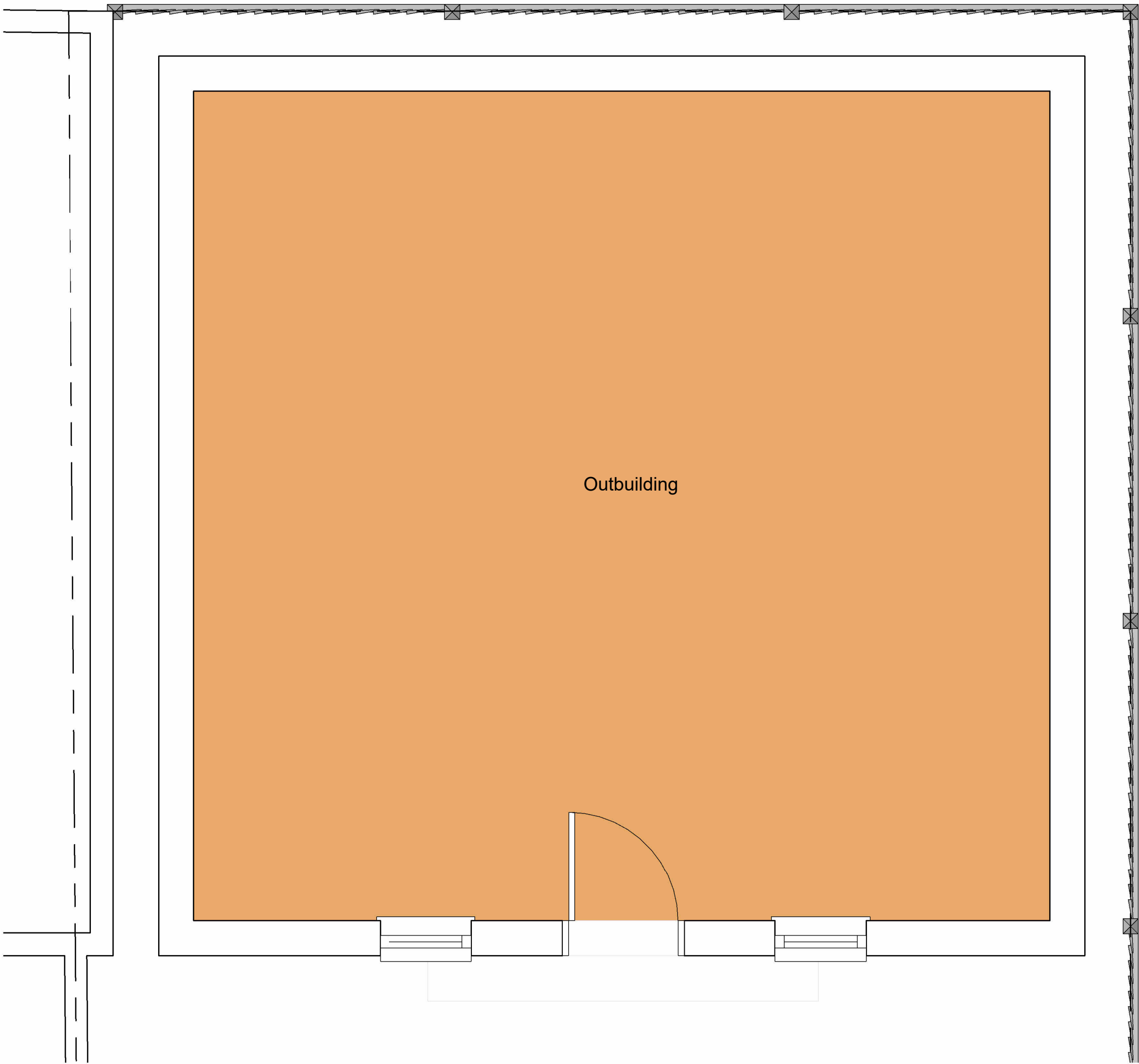
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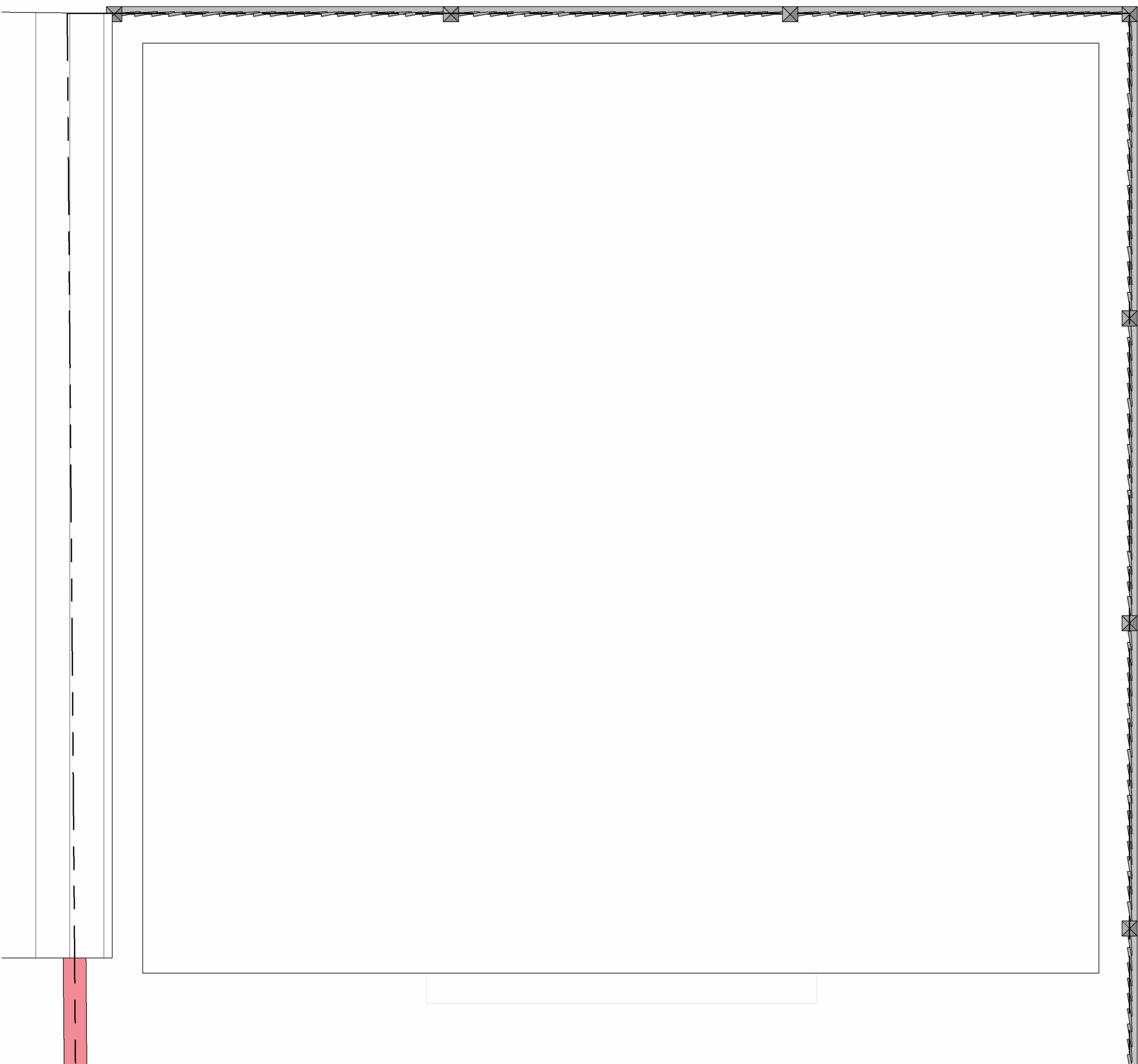
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1 Outbuilding Plan
1 : 25



2 Outbuilding Roof Plan
1 : 25

Project : 85 Roseville Road, Hayes UB3 4QZ

Drawing : Outbuilding Plans

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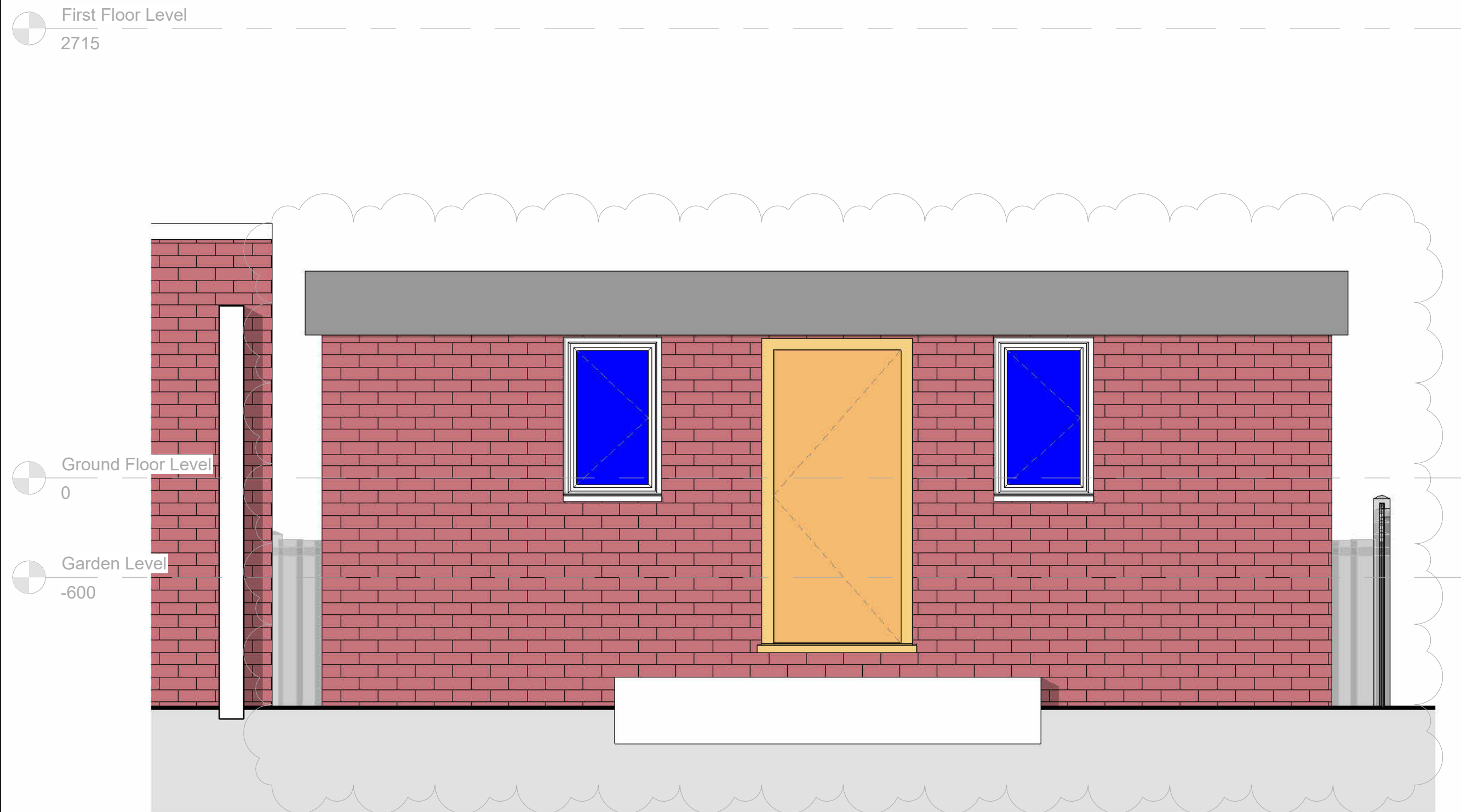
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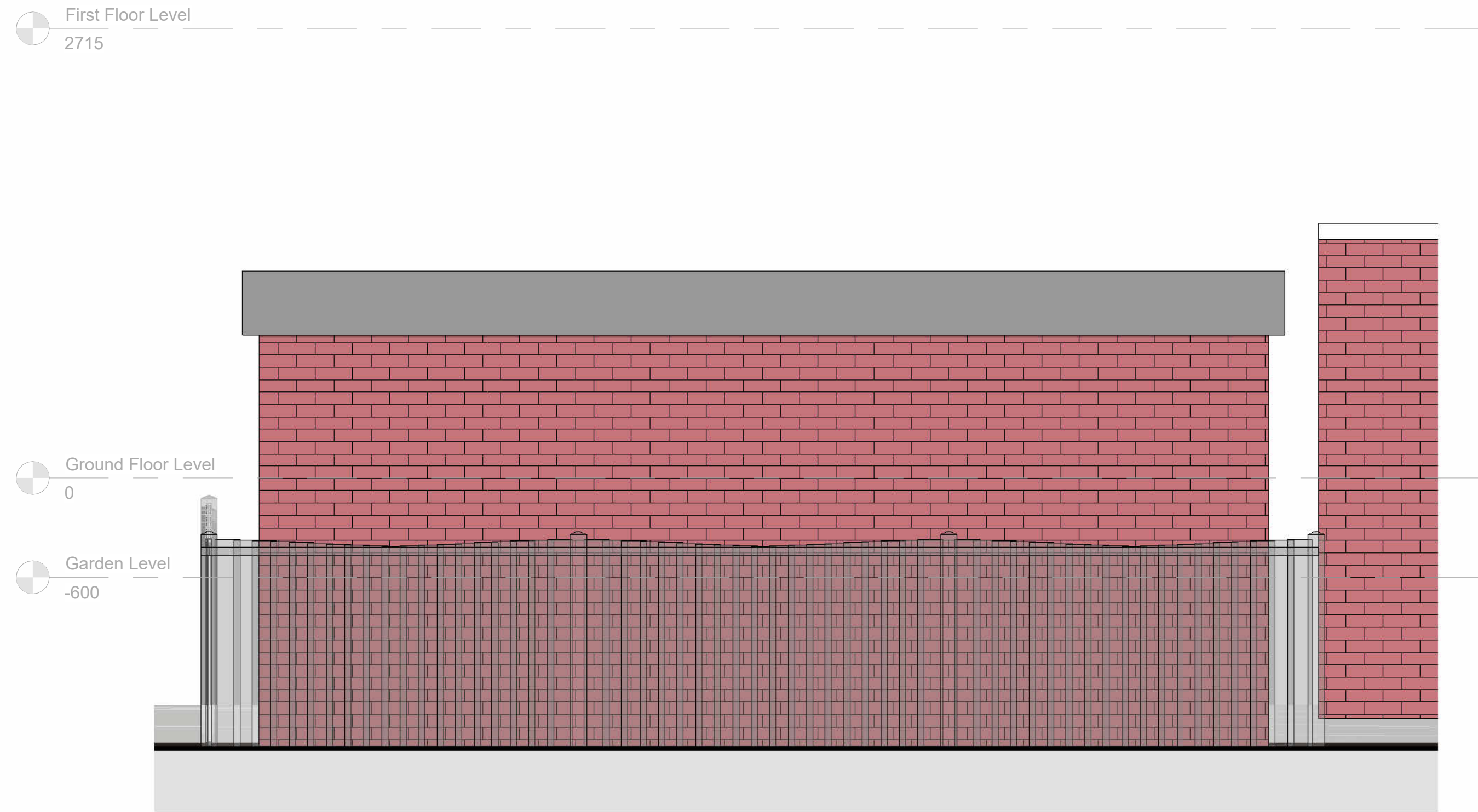
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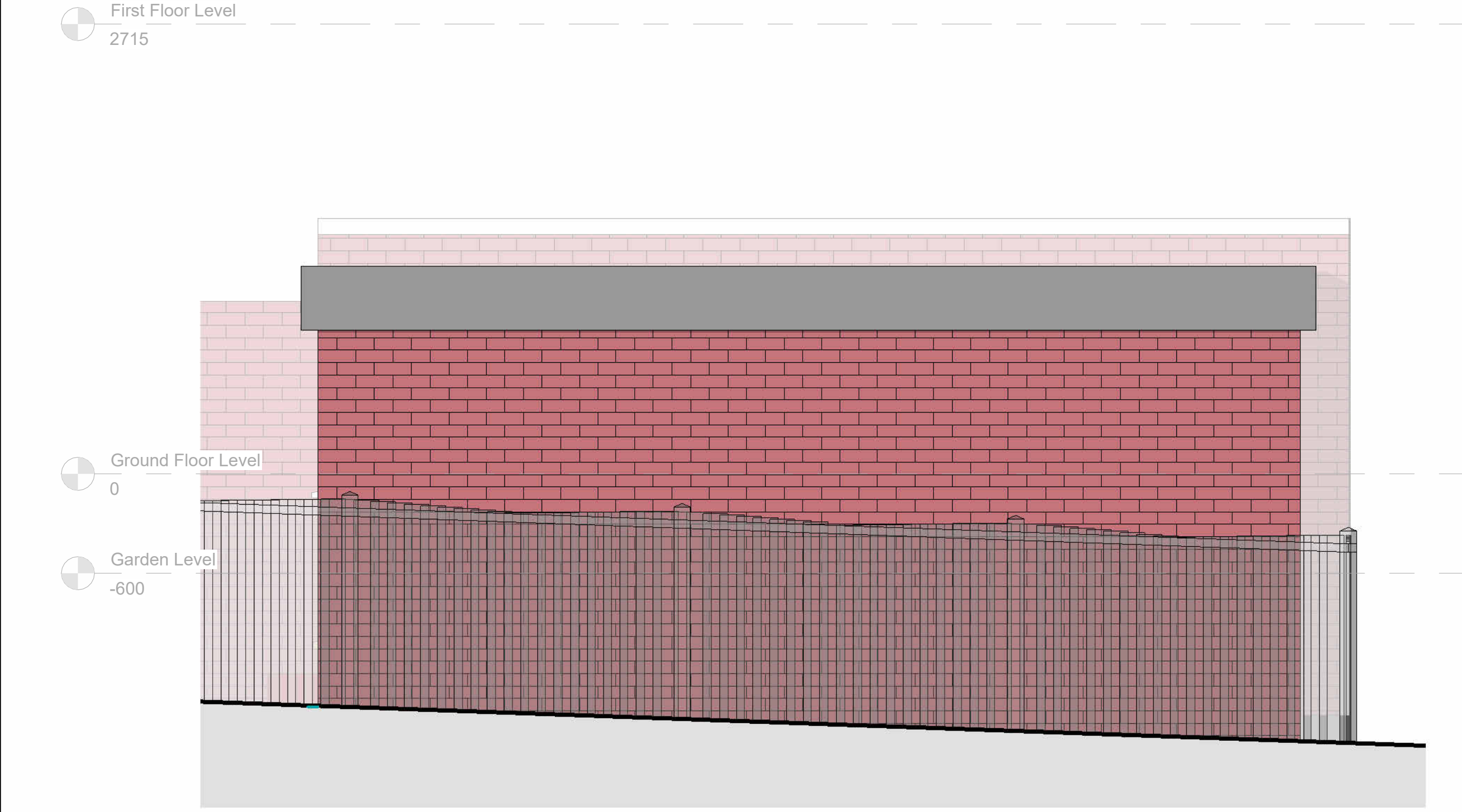
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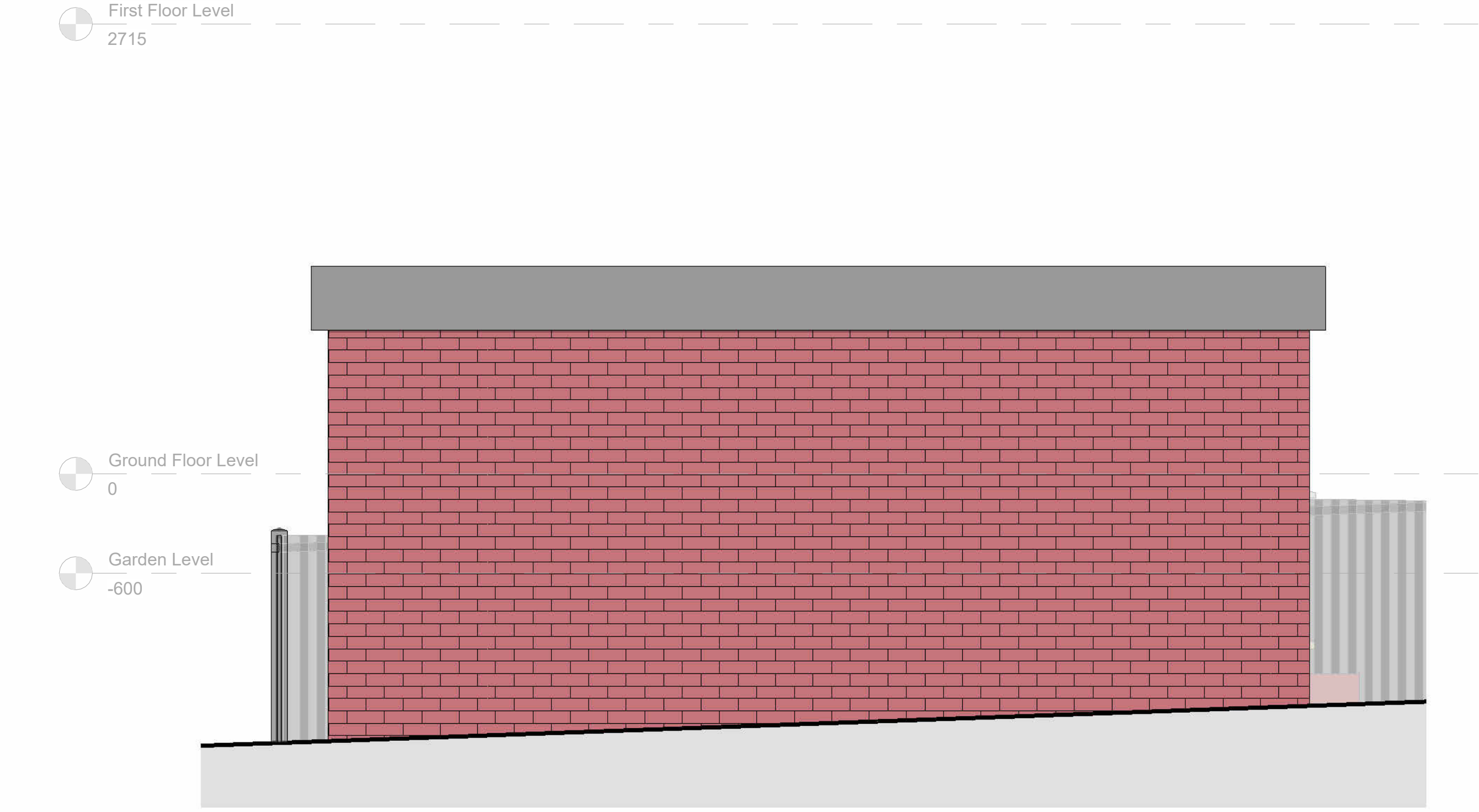
3 Outbuilding Front Elevation
1 : 25



1 Outbuilding Rear Elevation
1 : 25



2 Outbuilding RHS Elevation
1 : 25



4 Outbuilding LHS Elevation
1 : 25

Note:
"The outbuilding is not intended for anything other than storage and incidental use. Although the outbuilding floor level is under the flooding level, a higher floor level and coincidentally higher roof level would not be possible given the height restrictions of a similar outbuilding in the adjacent site. Therefore floors are to be set as high as is practicable and, so as to align with EA standing advice, the design will now include extra flood resistance and resilience measures like water sealed doors and higher level of wall water-proofing which are considered proportionate to the value of the contents withing the outbuilding (which are of negligible value)."

Project : 85 Roseville Road, Hayes UB3 4QZ		
Drawing : Outbuilding Elevations		
Scale : 1 : 25	Status : Project Status	Rev : 1
Date : 10/16/25	Dwg No : APL-DR-PL-XX-75	

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