



Supporting Statement

**Variation of Conditions of
Approved Planning
Application Ref.
2430/APP/2019/1331 under
Section 73 of TCPA 1990**

July 2023

**WEA Planning
14 Windermere Rd, Islington, London N19 5SG**

**T: 020 7993 2075
E: info@weaplanning.co.uk**

WEA Planning Ref: 2022_40

Copyright

The contents of this document must not be copied or reproduced in whole or in part without the written consent of WEA Planning.

Contents

1.	Introduction.....	5
2.	Assessment of the Amendments	9
3.	Conclusion and Proposed Amendments.....	17

Chapter 1

Introduction

1. Introduction

- 1.1. This statement has been prepared by WEA Planning to support an application under Section 73 of the Town and Country Planning Act 1990 to vary Conditions 2, 3, 4, and 8 associated with planning permission 2430/APP/2019/1331 dated 3rd October 2019, in relation to *Erection of two storey, 5-bed, detached dwelling with habitable roofspace, involving demolition of existing dwelling* at 46 Warren Road, Ickenham UB10 8AD.
- 1.2. This statement comprises:
- A summary of the background of the site and what was consented.
 - A justification for the amendments.
 - A conclusion and proposed amendments to Conditions 2, 3, 4, 8.
- 1.3. We enclose the following documents and drawings in support of this application:
- Location Plan
 - Plans and Elevations
 - Details of materials and external surfaces
 - Details of the landscape scheme
 - Details of step free access

Background

- 1.4. Planning permission 2430/APP/2019/1331, granted on 3rd October 2019, is for the erection of two storey, 5-bed, detached dwelling with habitable roofspace, involving demolition of existing dwelling at 46 Warren Road, Ickenham UB10 8AD.
- 1.5. The application site is neither located in a conservation area nor within an area affected by any other relevant planning designations.
- 1.6. The conditions to which this Section 73 application relates are:

Condition 2

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 07022019-01C and 11042019-02B and shall thereafter be retained/maintained for as long as the development remains in existence.

Condition 3

No development above superstructure level shall take place until details of all materials and external surfaces have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such. Details should include information relating to make, product/type, colour and photographs/images.

Condition 4

Prior to the commencement of the superstructure works details of a landscape scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
 - 1.a Planting plans (at not less than a scale of 1:100),
 - 1.b Written specification of planting and cultivation works to be undertaken,
 - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
2. Details of Hard Landscaping
 - 2.a Refuse Storage
 - 2.b Cycle Storage
 - 2.c Means of enclosure/boundary treatments
 - 2.d Car Parking Layouts
 - 2.e Hard Surfacing Materials
 - 2.f External Lighting
3. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details

Condition 8

Prior to works commencing, details of step free access via the principal private entrance shall be submitted to, and approved in writing, by the Local Planning Authority. Such provision shall remain in place for the life of the building.

The Proposed Alterations

- 1.7. The proposals as consented include various features which this S73 application seeks to amend.
- Different style windows, lintels and sills (type/format/size);
 - Positioning and number of rooflights;
 - Altered dimensions of front porch/canopy;
 - Chimney/vent type is different to approved;
 - Render at first floor level;
 - Style and position of rear dormer.
- 1.8. The situation on site is that most of the construction work has been undertaken, although the development is not yet complete. In particular, the porch has not yet been constructed, and the landscaping not yet implemented. Accordingly, this S73 application is effectively part-retrospective, part-proposed.
- 1.9. This application also includes the details required for Conditions 3, 4, and 8, relating to materials, landscaping, and access respectively. These details will discharge these conditions, meaning that the conditions will no longer need to be attached to the permission.
- 1.10. It is proposed that those conditions are therefore removed, and the relevant drawings can instead be referenced under Condition 2. Alternatively, all conditions could be amended to compliance conditions rather than requiring discharge, and a reference to the relevant drawings included as required.

Chapter 2

Planning Justification

2. Assessment of the Amendments

Windows, lintels and sills

- 2.1. Since the approved application, the window design has been slightly altered. Primarily this consists of a lintel design with vertical bricks and the addition of a white windowsill on all windows. The windows are also of a slightly different format. The windows are UPVC in a black finish and include glazing bars. It is considered that the overall impact of this revised window design is to enhance the appearance of the property, creating a more balanced and traditional look.

Rooflights

- 2.2. Compared to the approved design the roof lights have been slightly repositioned. The front roof slope still contains two roof lights with one positioned slightly higher and the other slightly lower compared to the approved designs. On the eastern roof slope there is now just one roof light and there is no roof light on the rear roof slope. The roof light on the crown roof is a marginally different shape to that approved. On the western roof slope there are now two rooflights, including one on the two-storey rear projection. The roof light on top of the single storey rear extension is also slightly smaller than approved.
- 2.3. The visual impact of these changes is considered to be negligible, and they would generally be unnoticeable from most angles. Externally, the changes are discreet and unremarkable, and a member of the public would generally be hard-pressed to notice how the proposed plans deviate from the extant approval.

Front porch/canopy

- 2.4. The approved designs included a front canopy projecting as far as the front gable projection. Proposed amended design is slightly different in that it has a dual pitched roof that projects slightly beyond the front gable projection. There are numerous examples of similarly designed porches along Warren Road including the recently approved redevelopment at number 48 (Application ref. 4185/APP/2022/429). Front porches which project beyond the main front elevation are therefore an established feature in the area and its addition would not be incongruous. It will be a subtle and smart addition to the front of the property enhancing the appearance. We note that the approved front porch at

number 48 would project further forward than the proposed porch at number 46. All the properties along the street are set well back from the road with substantial front gardens or driveways. The impact of this porch is therefore considered to be minor, and the designs are acceptable.

Figure 1 - Approved porch/canopy at no. 48

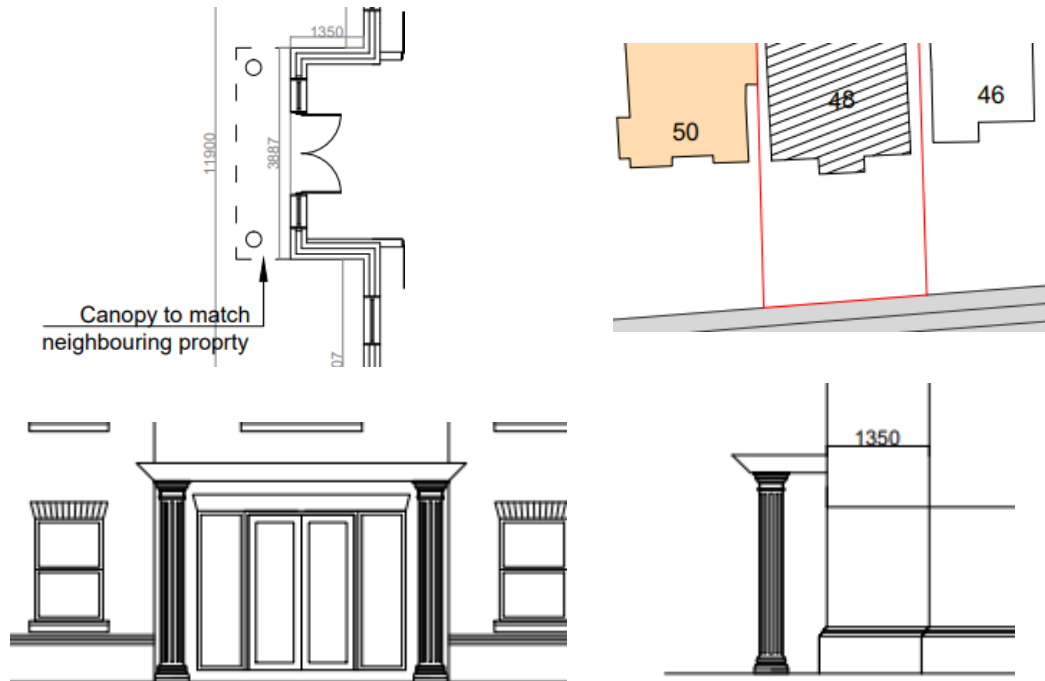


Figure 2 - Porch/Canopy structures on Warren Road



No. 50



No. 56



No. 31



No. 77

Chimney/vent

- 2.5. The chimney design is different to the approved. It now consists of a black external wall flue rather than a traditional brick-built chimney. Again, this change is considered to be minor and the installation of such a flue would be possible under permitted development rights in normal circumstances.

Figure 3 - Wall flue as built



Render

- 2.6. Render has been applied at first floor level on all walls with the exception of the front gable end projection. The brick lintels above each window also remain unrendered. Whilst the render significantly alters the appearance of the property, the visual impact of this is positive. It smartens the exterior and creates a less imposing and more traditional appearance.
- 2.7. We also note that render is very common in the locality, for example numbers 50 and 52 being all or partially rendered, and the approved development at number 48 also having a rendered finish. Render is a well-established feature of the character of the area and should be considered acceptable.

Rear dormer

- 2.8. The rear dormer has been constructed in a slightly different style to that approved. However, the visual impact of this is considered to be minor given it is at the rear of the property and remains small in scale. In terms of neighbouring amenity and privacy the proposed dormer does not bring any different impacts than the approved development.
- 2.9. There are examples of very similar dormers on nearby properties as well as dormers which are significantly larger and more visually dominating. We note that policy provides various criteria for the design of dormers. This includes that *“it should be lower than the height of the main ridge and sit well above the eaves and away from the roof’s hips and valleys. As a guide, new roof extensions should not cover more than a third of the main roof. A dormer window should be no larger in size than those on the first floor and comprise an individual window and roof”* (Local Plan Part 2 A1.20 and A1.21). The rear dormer largely matches these criteria. It is set down lower than the height of the main Ridge and well above the eaves. It covers significantly less than one third of the main roof and the window is no larger in size than those on the first floor. The dormer comprises an individual window and roof.
- 2.10. In this case it is relevant to consider the wider context of the development and the overall impact of the dormer as-built. The property next door at number 44 has a rear dormer much larger in scale than the dormer at number 46. The dormer at

number 44 extends all the way up to the main ridge and down to the eaves creating a dominant, top-heavy appearance rather than being subordinate. On the other side at number 48, the recently approved application involves the replacement of the property with a substantially enlarged dwelling. At the rear of number 50 there is a similar dormer to the retrospectively proposed dormer. However, at number 50 it is placed higher up the roof slope, with its roof in line with the main ridge.

Figure 4 - Neighbouring dormers



No. 50



No. 50



No. 44 (Bing Maps)

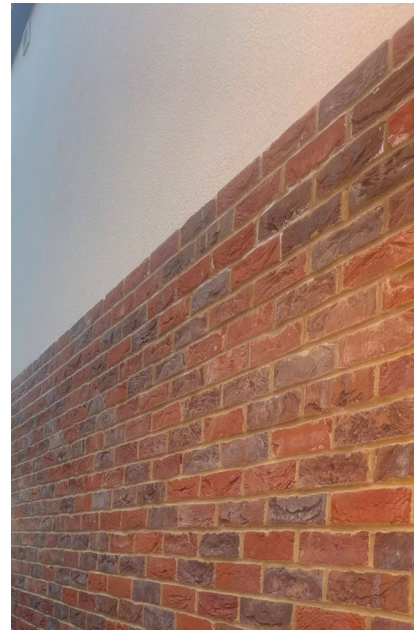
- 2.11. Given the location of the retrospectively proposed dormer at the rear of the property, it is not visible from the street. Combined with the context of the

neighbouring developments, it is considered that this minor deviation from the previously approved plans is entirely acceptable. The dormer is respectable and tidy in appearance and does not bring any harm.

Materials (Condition 3)

- 2.12. Condition 3 requires details of all materials and external surfaces. As such this information is provided in a separate document submitted with this application (Drawings ref. B108 and B109) and are shown in photographs below. The driveway will use brick paving, and concrete block paving will be used in an area closer to the front of the house as shown in the drawings submitted with this application. The house itself will be finished with traditional bricks and rendered at first floor level as explained earlier in this statement. The materials implemented so far are shown below.

Figure 5 - Materials as-built



Landscaping (Condition 4)

- 2.13. Condition 4 requires details of a landscape scheme to be submitted. This is provided in the drawings submitted with this application (Drawings ref. B107 and B108) showing the areas of hardstanding, flower beds, hedges and trees. It is considered that this presents an appropriate landscaping scheme for the site and should be approved. It also includes details of the position of refuse and cycle storage.

Accessibility (Condition 8)

- 2.14. Condition 8 requires the submission of details of step free access via the principal private entrance. Section drawings are provided with this application which show the step free access to the front door (Drawings ref. B103, B104, B105, and B107).

Chapter 3

Conclusion

3. Conclusion and Proposed Amendments

- 3.1. This supporting statement has explained the case for the amendment of Conditions 2, 3, 4, and 8, on the basis that the designs have been minorly amended, and the relevant details now supplied. The changes consist of different style windows, lintels and sills; the positioning and number of rooflights; altered dimensions of front porch/canopy; altered vent/flue design; addition of render at first floor level; and the style and position of rear dormer.
- 3.2. Taken as a whole, the overall impact of the proposed changes is positive. In terms of amenity impacts, there are no differences to the approved scheme. In terms of appearance, the changes smarten the appearance of the house and create a more balanced, traditional appearance entirely appropriate in this location. There is a range of house styles along the street and little uniformity in terms of architectural typology. Most of the alterations are negligible and it would be unlikely for a member of the public to notice the discrepancies against the previously approved plans. The details of landscaping, materials and step-free access are also considered to be appropriate and acceptable.
- 3.3. It is therefore considered that Condition 3, 4, and 8 are no longer required and can be removed, or amended to compliance conditions rather than requiring discharge, and a reference to the relevant drawings included. Similarly, Condition 2 should be amended to reflect the latest designs by referencing the updated drawings.
- 3.4. It is suggested that the conditions are amended as follows:

Condition 2

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers ~~07022019-01C and 11042019-02B~~ **04072023 01A and 07022019 01B** and shall thereafter be retained/maintained for as long as the development remains in existence.

Condition 3

~~No development above superstructure level shall take place until details of all materials and external surfaces have been submitted to and approved in writing~~

~~by the Local Planning Authority. Thereafter~~ The development shall be constructed in accordance with the approved details **of all materials and external surfaces shown on the submitted plans, numbers B108 and B109** and be retained as such. ~~Details should include information relating to make, product/type, colour and photographs/images.~~

Condition 4

~~Prior to the commencement of the superstructure works details of a landscape scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include:—~~

- ~~1. Details of Soft Landscaping~~
 - ~~1.a Planting plans (at not less than a scale of 1:100),~~
 - ~~1.b Written specification of planting and cultivation works to be undertaken,~~
 - ~~1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate~~
- ~~2. Details of Hard Landscaping~~
 - ~~2.a Refuse Storage~~
 - ~~2.b Cycle Storage~~
 - ~~2.c Means of enclosure/boundary treatments~~
 - ~~2.d Car Parking Layouts~~
 - ~~2.e Hard Surfacing Materials~~
 - ~~2.f External Lighting~~
- ~~3. Schedule for Implementation~~

~~Thereafter~~ The development shall be carried out and maintained in full accordance with **the details of a landscape scheme shown on the submitted plans, numbers B108 and B109** ~~the approved details~~

Condition 8

~~Prior to works commencing, details of step free access via the principal private entrance shall be submitted to, and approved in writing, by the Local Planning Authority. Such provision~~ **of step free access via the principal private entrance shall be constructed in accordance with the submitted plans, numbers B103, B104, B105, and B107 and** shall remain in place for the life of the building.

- 3.5. The proposed changes are minor amendments and will retrospectively bring the permission in line with the current built development on site. As such, we ask that the council approve this application. We look forward to receiving your decision. Should you have any queries in respect of this submission, please do not hesitate to contact us.