



Arboricultural Report

for planning purposes

41-67 High Street
Yiewsley
West Drayton
UB7 7QQ

June 2023

180315-PD-21b

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Author	Chris Wright
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1 EXECUTIVE SUMMARY

- 1.1 This *Arboricultural Report* ('the Report') has been instructed by *Harbourside Investments Ltd* ('the Client').
- 1.2 The proposed development at *41-67 High Street* ('the Site') is for the demolition of the existing structures at the Site and the subsequent construction of a new mixed-use development comprising retail and residential space ('the Proposed Development'), within the area administrated by the *London Borough of Hillingdon* ('the LPA').
- 1.3 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 15th of January 2021 by the Author.
- 1.4 The Proposed Development requires the removal of 7no. trees of which all are either *Category C* (6no.) or *Category U* (1no.). It is considered that the loss of these trees will not have a significant detrimental impact on the visual character of the local area as is provided by trees.
- 1.5 The Proposed Development includes the planting of 33no. new trees, comprising 10no. standards and 23no. smaller trees. This amounts to a net gain of 26no. trees. The positions of the proposed trees are such that they will be able to positively contribute to the character of the Site to an acceptable degree.
- 1.6 The Proposed Development requires the pruning of 1no. *Category B* tree (i.e., T8) and 11no. *Category C* trees (i.e., T12-T22). This pruning is not considered to be of any particular significance, in terms of the impact the pruning is likely to have on the health of these trees nor their amenity values.
- 1.7 The Proposed Development is considered to carry a low residual risk of significant harm to the retained trees, subject to the principles of protection within this Report being further articulated within a detailed *Arboricultural Method Statement*.

2 INTRODUCTION

Instruction

- 2.1 This *Arboricultural Report* ('the Report') has been instructed by *Harbourside Investments Ltd* ('the Client').

Author

- 2.2 This Report was written by Christopher Wright ('the Author'). Christopher is an arboricultural consultant dealing with trees in relation to all forms of human activity including built development. He is a *Technician Member* of the *Arboricultural Association*, a member of the *Royal Forestry Society*, a member of the *Institute of Chartered Foresters*, holds the *Level 6 Diploma in Arboriculture (ABC)*, the *Professional Tree Inspection certificate (LANTRA)*, and has received a *BSc (Hons) Conservation and Environment (2:1)* from *Writtle University College*.

Proposed development

- 2.3 The proposed development at *41-67 High Street* ('the Site') is for the demolition of the existing structures at the Site and the subsequent construction of a new mixed-use development comprising retail and residential space ('the Proposed Development'), within the area administrated by the *London Borough of Hillingdon* ('the LPA').

Scope

- 2.4 This Report has been provided to assist all parties involved in the planning process, in accordance with *British Standard 5837:2012 - Trees in relation to design demolition and construction - Recommendations* ('BS5837').

Site survey

Survey date

- 2.5 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 15th of January 2021 by the Author. The details of this survey are found within the Report appendices.

Health and safety

- 2.6 The survey was not an assessment of the health and safety of the trees (i.e., the survey was not a thorough investigation of the condition of all of the trees). In this instance, no particular works in this context were specified to any of the surveyed trees, following the survey.



Map 1: Showing the area discussed in this Report within the indicative line and sourced from Google Earth (note: this is not the red line plan of the Proposed Development).

Report preparation

External documents

2.7 This Report has been prepared, with reference to the following supplied documents and information:

- *Topographical Survey (29475_T Rev 0);*
- *Proposed Basement Floor Plan (22050-2-110);*
- *Proposed Ground Floor Plan (22050-2-101K);*
- *Proposed Mezzanine Floor (22050-2-102F);*
- *Proposed 1st Floor Plan (22050-2-103G);*
- *Proposed 2nd & 3rd Floor Plan (22050-2-104G);*
- *Proposed 4th Floor Plan (22050-2-105F);*
- *Proposed 5th & 6th Floor Plan (22050-2-106F);*
- *Proposed 7th Floor Plan (22050-2-107G);*
- *Proposed Street Elevations (22050-2-200H);*
- *Proposed Rear Elevations (22050-2-201G); and*
- *Drainage Strategy Plan (10-4897-SK500).*

Appendices

2.8 The appendices of this Report include:

- Appendix A (plans); and
- Appendix B (schedules).

Definition of terms

2.9 The following terms and abbreviations may be used within this Report. These terms are defined by BS5837 as follows, unless provided without quotation marks:

- **Arboricultural Method Statement ('AMS')** - *"methodology for the implementation of any aspect of development that is within the root protection area, or has the potential to result in loss of or damage to a tree to be retained"*.
- **Local Planning Authority ('LPA')** - the planning department of the borough, district, or metropolitan council.
- **Root Protection Area ('RPA')** - *"layout design tool indicating the minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority"*.
- **Service(s)** - *"any above- or below-ground structure or apparatus required for utility provision"* that may for example include *"drainage, gas supplies, ground source heat pumps, CCTV and satellite communications"*.
- **Tree Protection Plan ('TPP')** - *"scale drawing, informed by descriptive text where necessary, based upon the finalized proposals, showing trees for retention and illustrating the tree and landscape protection measures"*.

3 SITE INFORMATION

Current Site use

- 3.1 The Site currently comprises a former supermarket (specifically, a *Morrisons*) with an associated car park that is accessed from *St. Stephen's Road* (see Photo 1 below); there is also some ad hoc parking beneath the trees along this same road (see Photo 2 below). Consequently, the majority of the Site is covered by structures and hard surfaces.



Photo 1: Looking north towards T8 (front left) adjacent to the existing vehicular entrance into the Site.

Relevant planning history

- 3.2 For the purposes of clarity, the Site was subject to a previous planning consent under planning reference 2370/APP/2018/2793. This application was determined in August 2019. A subsequent S73 application (2370/APP/2019/2880) was allowed at appeal in October 2020. However, this Report has been prepared in relation to the current details of the Proposed Development and no further discussion is afforded to these previously-consented applications.

Geotechnical information

British Geological Survey

- 3.3 The *British Geological Survey* ('BGS') provides on-line information, regarding the general soil properties of an area, including the underlying bedrock and any superficial deposits that overlay the bedrock. This information indicates that the Site is situated upon a bedrock of *London Clay Formation* (comprised of clays, sands, and silts), over which the recorded superficial deposits are *Langley Silt Member* (comprised of clays and silts).
- 3.4 There is a publicly available borehole log from adjacent to the Site (specifically, from just to the north of the Site - *TQ08SE8*) that confirms the presence of clay from a shallow depth.



Photo 2: Looking north-west towards T4 (front right) and T5 (middle centre) showing some examples of ad hoc car parking beneath both trees.

Root morphology

- 3.5 Soils where the clay content is significant will tend to encourage tree root growth at shallower depths - often, within the upper 600mm of soil¹. Where other soil components are present to greater extents, root morphology may differ, though impermeable layers of heavy compacted clay may restrict penetrative root growth, which may influence how far roots radiate from the stem of the tree to acquire nutrients.

1 - Forestry Commission. (2005) Information Note FCN078 - The influence of soils and species on tree root depth.

4 TECHNICAL ARBORICULTURAL DETAILS

Landscape details

Distribution

4.1 The surveyed trees and other forms of vegetation are located around the edges of the Site, both within and beyond its bounds - specifically, as follows:

- **T1-T5** - within the Site along the southern side of the existing building along *St. Stephen's Road*;
- **T6, T7, & G25** - outside of the Site on the southern side of *St. Stephen's Road*;
- **T8 & T9** - within the Site at the south- and north-western corners of the car park respectively (accessed from *St. Stephen's Road*);
- **T10** - within the Site to the immediate west of the north-western corner of the existing building;
- **T11-T22 & G24** - outside of the Site within properties to the north of the car park and existing building; and
- **T23** - within the Site to the north of the existing building.

Visibility

4.2 Given that the Site is open to use by the public, all of the trees within and adjacent to the Site are visible from the public realm. However, the 2no. large plane trees (i.e., T8 & T9) are considered to be the most prominent trees; though T12-T22 are also tall trees that form a near-contiguous line adjacent to the Site's northern boundary (see Photo 4 below).

4.3 T23 is also considered to be of note, as regards its visibility, though views of it are generally limited to pedestrians passing along the footpath that tracks along the northern side of the existing building.



Photo 3: Looking north towards T9 (centre) located at the north-western corner of the Site.

BS5837 details

Survey criteria

- 4.4 The surveyed trees and other vegetation items have been generally categorised, in terms of the arboricultural and landscape criteria as defined in BS5837. These criteria consider the arboricultural merits of individual trees, in addition to the wider value afforded in contributing to the character of the landscape.

BS5837 categorisation

- 4.5 In BS5837 terms, the surveyed trees and other forms of vegetation comprise:

- *Category B* (i.e., moderate-quality): 2no. trees;
- *Category C* (i.e., low-quality): 19no. trees & 2no. tree/vegetation groups; and
- *Category U* (i.e., poor-quality): 2no. trees.



Photo 4: Looking north-east towards T12-T22 that are located behind the Site's boundary wall.

Root Protection Areas

- 4.6 Based on the ground conditions of the Site that includes the known or foreseeable presence of buried structures, in addition to the context within which the surveyed trees and other vegetation items are growing, the standardised circular RPAs have not been amended.

Statutory protections

Conservation Areas

- 4.7 The LPA publishes details of its *Conservation Areas* ('CAs') online. According to this information, the Site and any surveyed trees adjacent to the Site are not within a CA.

Tree Preservation Orders

- 4.8 The LPA publishes details of its *Tree Preservation Orders* ('TPOs') online. According to this information, no TPOs apply to any of the surveyed trees. However, this information is indicative and should not therefore be relied upon as definitive.

5 PLANNING POLICY AND GUIDANCE

National

Background information

- 5.1 Planning policy at national level is set out in the government's *National Planning Policy Framework* (the 'NPPF')², published in July 2021.
- 5.2 At this level, policy addresses the key principles of development. At its core, there is a presumption in favour of sustainable development incorporating good and durable design, by combining economic, social, and environmental strands in a balanced manner. Trees comprise an element of green infrastructure, which is one aspect of the environmental strand of sustainability.

National Planning Policy Framework 2021

- 5.3 In the context of the Proposed Development, the NPPF provides the following guidance that is relevant in terms of the surveyed trees:
- **Paragraph 174** - *"Planning policies and decisions should contribute to and enhance the natural and local environment by: ... b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services including the economic and other benefits of ... trees and woodland"*.

Greater London

Background information

- 5.4 Planning policy at the *Greater London* level is currently set out in *The London Plan* (the 'LP'). The current iteration of the LP was published, in March 2021.

London Plan 2021

- 5.5 In the context of the Proposed Development the LP provides the following guidance that is relevant in terms of the surveyed trees:
- **Policy G7: Trees and Woodlands** - *"Development proposals should ensure that, wherever possible, existing trees of value are retained. If planning permission is granted that necessitates the removal of trees there should be adequate replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy"*.

Local

Background information

- 5.6 Planning policy at the local level is currently set out in the LPA's *Part 1: Strategic Policies* and *Part 2: Development Management Policies* documents ('the LDP'), published respectively in 2012 and 2020.

Strategic Policies 2012 & Development Management Policies 2020

- 5.7 In the context of the Proposed Development, the current LDP provides the following guidance that is relevant in terms of the surveyed trees:
- **Policy DMHB 11: Design of New Development** - *"All development... will be required to be designed to the highest standards and, incorporate principles of good design including: ... v) landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure."*
 - **Policy DMHB 14: Trees and Landscaping** - *"Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey Where the tree survey identifies trees of merit, tree root protection areas and an arboricultural method statement will be required to show how the trees will be protected. Where trees are to be removed, proposals for replanting of new trees on-site must be provided or include contributions to offsite provision."*

6 ARBORICULTURAL IMPACT ASSESSMENT

Removals

Numerical data

- 6.1 The Proposed Development requires the removal of 7no. trees, which in BS5837 terms comprises:

- *Category C* (i.e., low-quality): 6no. trees; and
- *Category U* (i.e., poor-quality): 1no. tree

Reasons for removals

- 6.2 The basis for the specified removals is to directly facilitate the implementation of the Proposed Development. It is in turn not considered appropriate for any of the trees that are specified for removal to be retained, either due to the fact that they occupy positions where new structures are to be located or because they are in such close proximity to development activities that they require removal.

Impacts of removals

- 6.3 The loss of the specified trees isn't considered to be of any particular significance, in terms of the effect that it will have on the character of the landscape as is provided by trees. Fundamentally, this is because of the trees within the Site that are specified for removal, none are considered to be prominent features and whilst all do have amenity value they are not considered to be defining features of the locality. It is in turn considered that other trees within the locality are able to maintain the current character of the locality as is provided by trees.

Mitigation greening

- 6.4 The Proposed Development includes the planting of 10no. standard trees, which includes 7no. trees in the same general position as T1-T5 (i.e., along *St. Stephen's Road* towards its junction with *High Street*) and a further 3no. trees south-west of T9 (i.e., within the car parking area towards the western edge of the Site). A further 23no. smaller trees are also specified along the northern boundary of the Site. Overall, this amounts to a net gain of 26no. trees.
- 6.5 At the time of this Report being produced, details pertaining to the species of these trees and the sizes that they are to be planted at are not available. However, this is not considered to be an issue, because in any eventuality the LPA retains the statutory right to require such details in response to a planning condition.

Pruning

Numerical data

6.6 The Proposed Development requires the pruning of 12no. trees, which in BS5837 terms comprises:

- *Category B* (i.e., moderate-quality): 1no. tree (i.e., T8); and
- *Category C* (i.e., low-quality): 11no. trees (i.e., T12-T22).

Specifications of pruning

6.7 The specifications for the pruning of T8 and T12-T22 are provided on the *Tree Work Schedule* that is located at Appendix B of this Report and subsequently reflected on the appropriate plans at Appendix A.

6.8 For clarity, the specification of works to T8 is as follows: *Cut back the south-eastern aspect of the crown that faces onto the proposed building back to establish a lateral separation between the two of 2.5m and no more.* Further, the pruning specification for T12-T22 is as follows: *Cut back the southern crown aspect of these trees to establish a 2m separation from the outer edge of the adjacent proposed piled wall.*

Reasons for pruning

- 6.9 The basis for the pruning of the affected trees to the extent specified is to enable the implementation of the Proposed Development. Specifically, a 2.5m clearance from the adjacent elevation of the proposed building is considered necessary, to ensure that there is sufficient space adjacent to the building to provide access during works to access the facade. Furthermore, this 2.5m clearance is considered to ensure that there is a sufficient separation from the building to which future repeat pruning operations can occur. It is considered that a 2.5m separation presents a realistic degree of separation to allow the adjacent space within the building to be appropriately used without introducing any particularly elevated risk of requests for the tree to be removed.
- 6.10 A slightly reduced separation of 2m is specified for T12-T22, for the same reasons as stated above; though, due to the nature of the affected species (i.e., Leyland cypress) not regrowing from 'brown' wood a slightly lesser reduction is specified here. However, this matter ought to be reviewed with the piling contractor prior to works commencing, to ensure that the space is sufficient to facilitate this element of work.

Impacts of pruning

- 6.11 The specified pruning work to the affected trees is not considered to be of any particular significance, as regards their amenity value - fundamentally, the majority of their crowns will be retained and their heights will remain unaffected, which means that in the case of T8 the tree will remain a prominent tree within the context of the local landscape (and T12-T22 will remain suitable in the context of their combined visual buffering value).
- 6.12 Furthermore, with regard to T8, considering that the pruning works affect only one side of the tree and that plane as a genus is typically understood to tolerate pruning relatively well, there is not considered to be any particularly significant risk of the tree's structural and physiological condition being undermined.

Retained tree juxtapositions

- 6.13 As is stated from paragraph 6.9, T8 will need to be managed in a manner whereby the 2.5m clearance from the adjacent building is maintained; this will probably require the tree to be pruned every 2-3 years.
- 6.14 It is not considered that there is any particularly elevated risk of further works being required to this tree, based on the use of the adjacent proposed building being residential. It is considered that residents will value the privacy that the tree provides and given that it is positioned to the north-west of the building there is little risk of shading being a notable issue.
- 6.15 The LPA also retains statutory controls wherein they can serve a TPO to gain capacity to control what could be considered 'excessive' tree works, should they consider it appropriate to do so.
- 6.16 The same matters apply to T12-T22, though it is considered to be less of an issue given that this species does not regrown from 'brown' wood; and therefore crown growth up against the proposed building may not be a particular issue.

Arboricultural oversight during works

- 6.17 The implementation of the Proposed Development is considered to require a continued presence of the arboriculturist, to ensure that the principles of protection as are outlined in this Report are adhered to (that are discussed from the following sub-section within this Report). For clarity, this ought to be a factor incorporated into a detailed AMS that ought to be provided to the LPA in response to an appropriate planning condition (note: as was the case of the consented scheme in 2019 wherein an AMS was required under *Condition 6*).

6.18 In order to ensure that the risk of significant harm that may occur to any of the retained trees is as low a probability as possible, it is considered that a Site visit by the arboriculturist will occur at least at the following points, with the findings of each visit being summarised in written format and issued to at least the Client, main contractor, and LPA tree officer:

- a pre-commencement meeting at Site with at least the main appointed contractor to discuss the details of tree protection and works;
- to sign-off the tree protection measures prior to the commencement of any enabling works to implement the Proposed Development (note: tree works can occur prior to this point);
- at monthly intervals during the implementation of the Proposed Development comprising at least the enabling, demolition, construction, and landscaping phases; and
- upon the completion of all works to implement the Proposed Development (i.e., a sign-off visit).

Development works

General protection details

6.19 The indicative TPP at Appendix A sets out the specifications for tree protection that are associated with the implementation of the Proposed Development, based on the details that are currently available. This TPP includes an outline AMS (i.e., indicative of the basic principles of works), which provides some baseline information relating to the installation, implementation, and management of the specified tree protection measures. However, as outlined at paragraph 6.17, it is considered necessary for a detailed AMS to be provided in response to a planning condition.

Access and logistics

6.20 This Report has been developed in the absence of detailed logistical information and therefore the TPP at Appendix A does not consider this matter in detail.

6.21 It is assumed that the existing access point adjacent to T8 along *St. Stephen's Road* will remain the primary access point, during the process of implementing the Proposed Development. Subject to this access point not being widened towards T8, this isn't considered to be of any particular significance, in terms of potential detrimental impacts to T8. Given that the wider Site where it abuts adjacent vehicular highways does not contain trees, any additional access points aren't considered to place any of the retained trees at any risk of harm.

- 6.22 With regard to the positioning of a compound area and contractor parking, it is considered to be likely that the existing car parking area between T8 and T9 will be used for this purpose. This is considered to be acceptable, subject to the existing hard surfaces being retained and barrier protection being installed to ensure that there is no access into the soft landscaped areas around the bases of both trees. This is reflected on the TPP at Appendix A.
- 6.23 It is considered that a detailed AMS will need to consider the finalised details of construction logistics, which is typically developed following planning consent but prior to the commencement of any development works. Therefore, the absence of such logistical information at this stage isn't considered to be of any particular issue; though, it will need to be the case that the arboriculturist is involved in the development of logistical details so that tree protection remains appropriately considered and can be implemented in a manner that can deliver a sufficient degree of protection to the retained trees.

Demolition works

- 6.24 The demolition of the existing building does not affect any of the retained trees and therefore no particular methods of work are considered necessary for the purposes of tree protection. Fundamentally, there is not considered to be any risk of harm to retained trees, in the context of directly completing this element of work.
- 6.25 The demolition of the low walls within the RPAs of T8, T9, and T12-T22 will, by comparison, need to be undertaken with particular care. The principles of works are articulated on the TPP at Appendix A and for clarity will require manual working to demolish the superstructural and foundation elements. Subject to compliance with the principles of the TPP (and as will be further elaborated within a detailed AMS), the risk of significant harm to both trees is considered to be negligible.
- 6.26 For clarity, matters pertaining to the management of the car parking area adjacent to T8 and T9 are discussed from paragraph 6.37.

Construction works

- 6.27 Predominantly, works to construct the proposed building (including the basement level) do not affect retained trees and no particular measures are considered necessary to ensure that the trees are appropriately protected (subject to general compliance with a detailed AMS that builds upon the principles of this Report).

- 6.28 However, there is an area of the proposed building that affects T8 - specifically, 5% of its RPA at a closest distance from its stem of 8.5m (i.e., a 27% radial encroachment from the periphery of the 12m radius of the RPA). At this distance from the tree, there isn't considered to be any significant probability that large roots (i.e., those in excess of 25mm diameter) will be affected, though even if some roots are affected the majority of the RPA remains unaffected and the condition of the tree is unlikely to be undermined to any discernible extent.
- 6.29 For clarity, it is not considered possible to implement any technical design solutions to avoid excavations into the RPA of T8, given that the adjacent proposed building is 6no. storeys (that will require deep foundations likely on piles) - though, as already ascertained, a technical design solution to avoid excavation into the RPA isn't considered to be necessary.
- 6.30 With regard to the means of constructing the proposed building, it will need to be the case that a detailed AMS addresses the use of any piling rigs, tower cranes, and other large plant. This will need to include the means of their delivery and access into the Site, to ensure that tree protection is upheld during such times - including adjacent to T12-T22 where for clarity the piled wall line marginally clips the RPAs of T14 and T16 (amounting to approximately 2% encroachment).

Drainage and attenuation works

- 6.31 Initial details relating to the foul and surface drainage of the Site (including attenuation to control outward flows of surface water) are currently known and are shown on the TPP at Appendix A. Generally, these proposed elements remain outside of RPAs, though there are some exceptions to this that are discussed below.
- 6.32 With regard to T8, both the surface and foul drainage runs discharge out of the Site beneath the existing entrance that is within its RPA. Nominally, the closest run will be 7.2m away from its stem, which is slightly closer than the edge of the adjacent proposed building but still represents only a 40% radial encroachment from the periphery of the RPA. It is therefore considered that no particular methods of work are required to protect the roots of this tree, should they be present; instead, works can occur using an excavator, with any roots that may be present being removed as part of the working process. It is considered that the structural and physiological condition of T8 will not be adversely affected to any discernible degree by this, noting that the majority of its RPA remains unaffected by excavations.

- 6.33 Furthermore, the attenuation tank that is proposed between the RPAs of T8 and T9 (as shown on the TPP) may require excavations into the peripheral RPAs of both trees. Whilst the dimensions of the tank itself do not encroach into either RPA, the process of its installation typically requires further outward excavation to provide the space within which to install attenuation crates that combined comprise the attenuation tank.
- 6.34 For clarity, the invert level of the proposed attenuation tank is approximately 3.4m below the existing ground level (based on the available drainage details), which means that the detailed AMS will need to consider the means by which it will be installed without requiring significant excavations around its perimeter and into the RPAs of T8 and T9. Nominally, it is considered that a 1m additional width around the attenuation tank is acceptable, as the incursion into both RPAs will in such an instance not exceed 3% of their total areas (that is considered not to result in any discernible detrimental impact to either tree).

Other utilities and services

- 6.35 Currently, no details pertaining to other utilities are available (e.g., comms, electricity, and mains water). Therefore, such elements of the Proposed Development will need to be addressed within the detailed AMS.
- 6.36 Nominally, there is considered to be space within which to bring these into Site without causing any significant harm to the retained trees, though assuming these utilities enter the Site adjacent to T8 then finalised designs will need to follow a period of liaison (i.e., review) by the arboriculturist.

Landscaping works

- 6.37 Currently, details pertaining to landscaping works are not understood in detail and therefore as a precursory comment to this section of the Report this element of works will also need to be dealt with in more detail as part of the AMS.
- 6.38 Based on the details that are currently available, it is understood that some areas of the existing car parking are being removed from within the RPAs of T8 and T9, and that the remaining car parking area is being replaced (after the attenuation tank is installed beneath it). Generally, this work isn't considered to be of any significant risk to T8 and T9, given that the situation is largely remaining as it current stands.
- 6.39 Instead, the focus needs to be on the completion of works so that the soil environment within both RPAs (i.e., of T8 & T9) remains undisturbed. These principles are articulated within the TPP at Appendix A and will require further articulation within a detailed AMS. For clarity, the AMS will need to be developed in accordance with the relevant landscaping details for this area of the Site, once they are developed, to ensure all relevant matters are co-ordinated and consistent.

Planning policy considerations

National policies

6.40 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.1), the Proposed Development is considered to respond to these policies in the following manners:

- **Paragraph 174** - The Proposed Development is considered to ensure that the manner within which trees within the Site contribute to the character of the local area is maintained. Whilst there are specified tree losses, there is an overall net gain of trees at the Site and those trees considered to be of the greatest value are to be retained.

Regional policies

6.41 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.4), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy G7** - The Proposed Development is considered to retain the trees of the greatest value at the Site. Where trees are to be removed, it is considered that they can be adequately replaced with new trees to ensure that there is no net loss at the Site in terms of tree numbers.

Local policies

6.42 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.6), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy DMHB 11** - The Proposed Development is considered to protect the amenity value of the Site, based on the new trees that are specified as part of the submitted details.
- **Policy DMHB 14** - The Proposed Development is considered to retain the trees of the greatest value that have been accurately surveyed using a topographical base. It is not appropriate at this stage for a detailed AMS to be provided, though this is typically a matter satisfied in response to a planning condition. This Report considers that the Proposed Development, based on the currently available details, carries a low residual risk of harm to the retained trees, subject to compliance with the principles outlined that will need further elaboration within a detailed AMS.

7 CONCLUSIONS

- 7.1 The Proposed Development requires the removal of 7no. trees of which all are either *Category C* (6no.) or *Category U* (1no.). It is considered that the loss of these trees will not have a significant detrimental impact on the visual character of the local area as is provided by trees.
- 7.2 The Proposed Development includes the planting of 33no. new trees, comprising 10no. standards and 23no. smaller trees. This amounts to a net gain of 26no. trees. The positions of the proposed trees are such that they will be able to positively contribute to the character of the Site to an acceptable degree.
- 7.3 The Proposed Development requires the pruning of 1no. *Category B* tree (i.e., T8) and 11no. *Category C* trees (i.e., T12-T22). This pruning is not considered to be of any particular significance, in terms of the impact the pruning is likely to have on the health of these trees nor their amenity values.
- 7.4 The Proposed Development is considered to carry a low residual risk of significant harm to the retained trees, subject to the principles of protection within this Report being further articulated within a detailed AMS that ought to be provided in response to a suitable planning condition.

8 APPENDICES CONTENTS

APPENDIX A - Plans

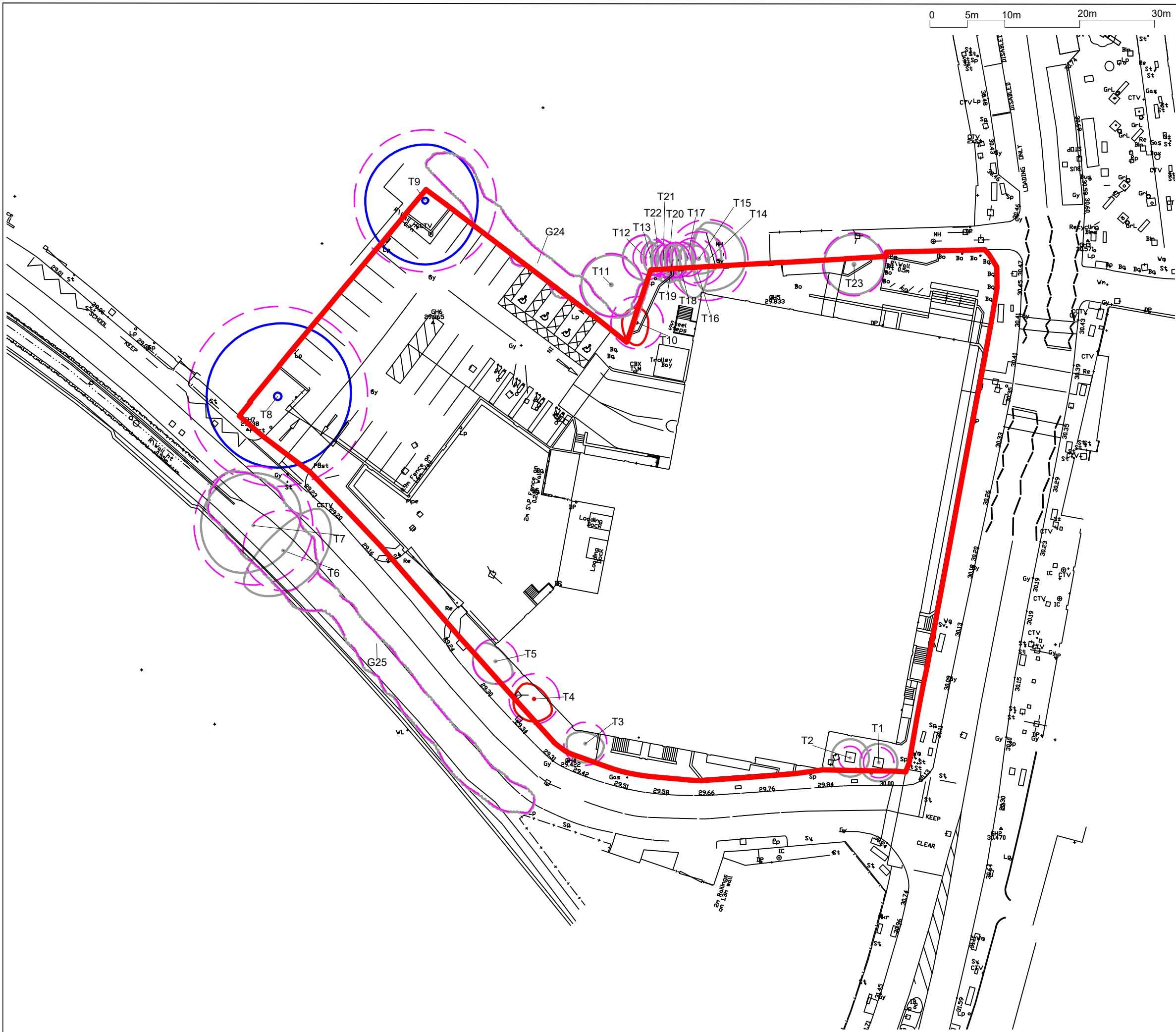
- 180315-P-20 Tree Survey
- 180315-P-21.01a Proposed Layout and Tree Works - Basement Level
- 180315-P-21.02a Proposed Layout and Tree Works - Ground Level
- 180315-P-21.03a Proposed Layout and Tree Works - Roof Level
- 180315-P-22a Tree Protection Plan

APPENDIX B - Schedules

- 180315-PD-20 Tree Schedule
- 180315-PD-22a Tree Work Schedule

APPENDIX A - Plans

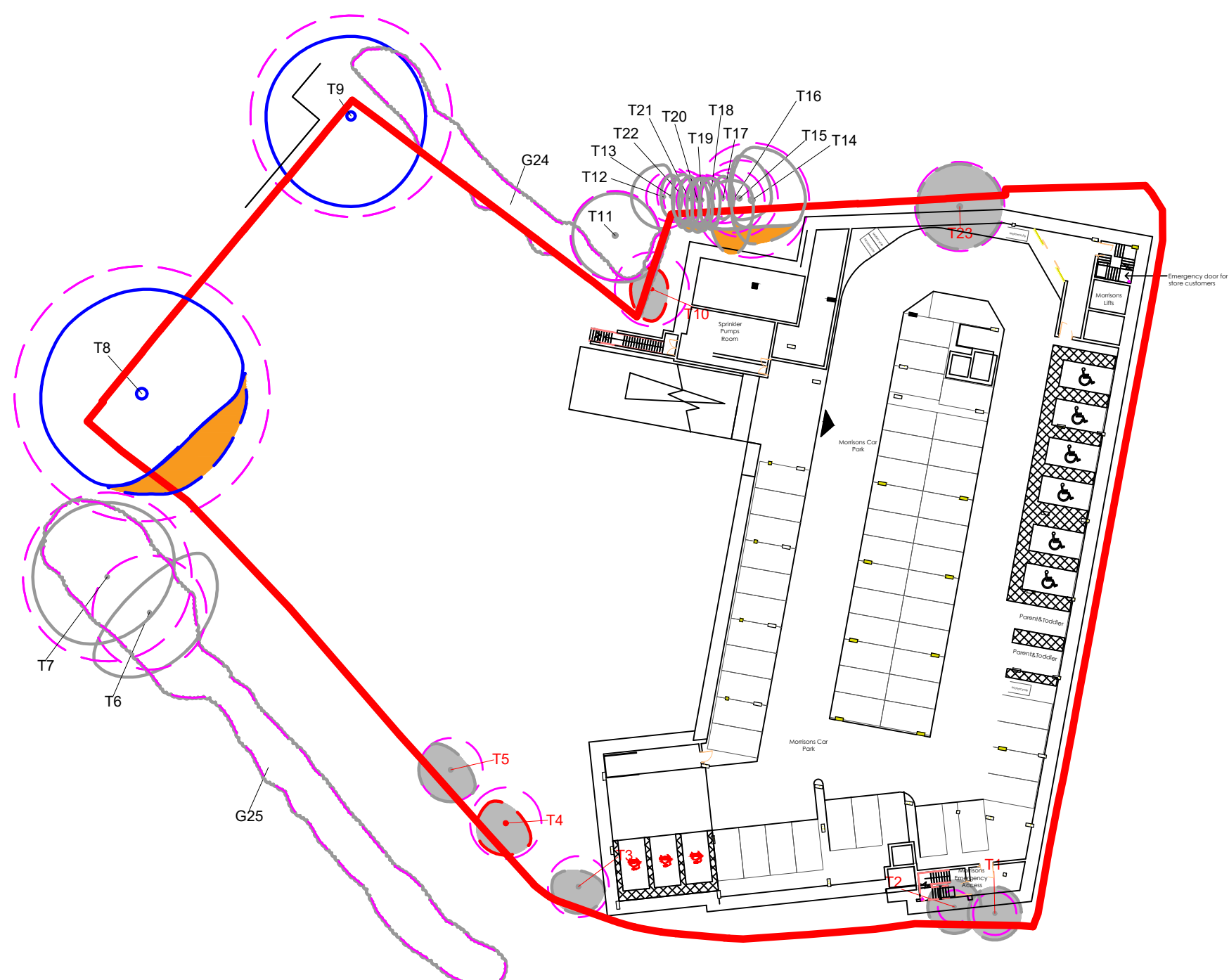
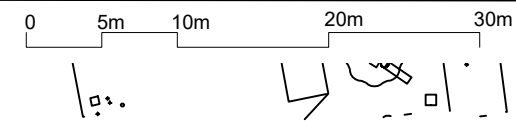
- 180315-P-20 Tree Survey
- 180315-P-21.01a Proposed Layout and Tree Works - Basement Level
- 180315-P-21.02a Proposed Layout and Tree Works - Ground Level
- 180315-P-21.03a Proposed Layout and Tree Works - Roof Level
- 180315-P-22a Tree Protection Plan



BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category LI**
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.

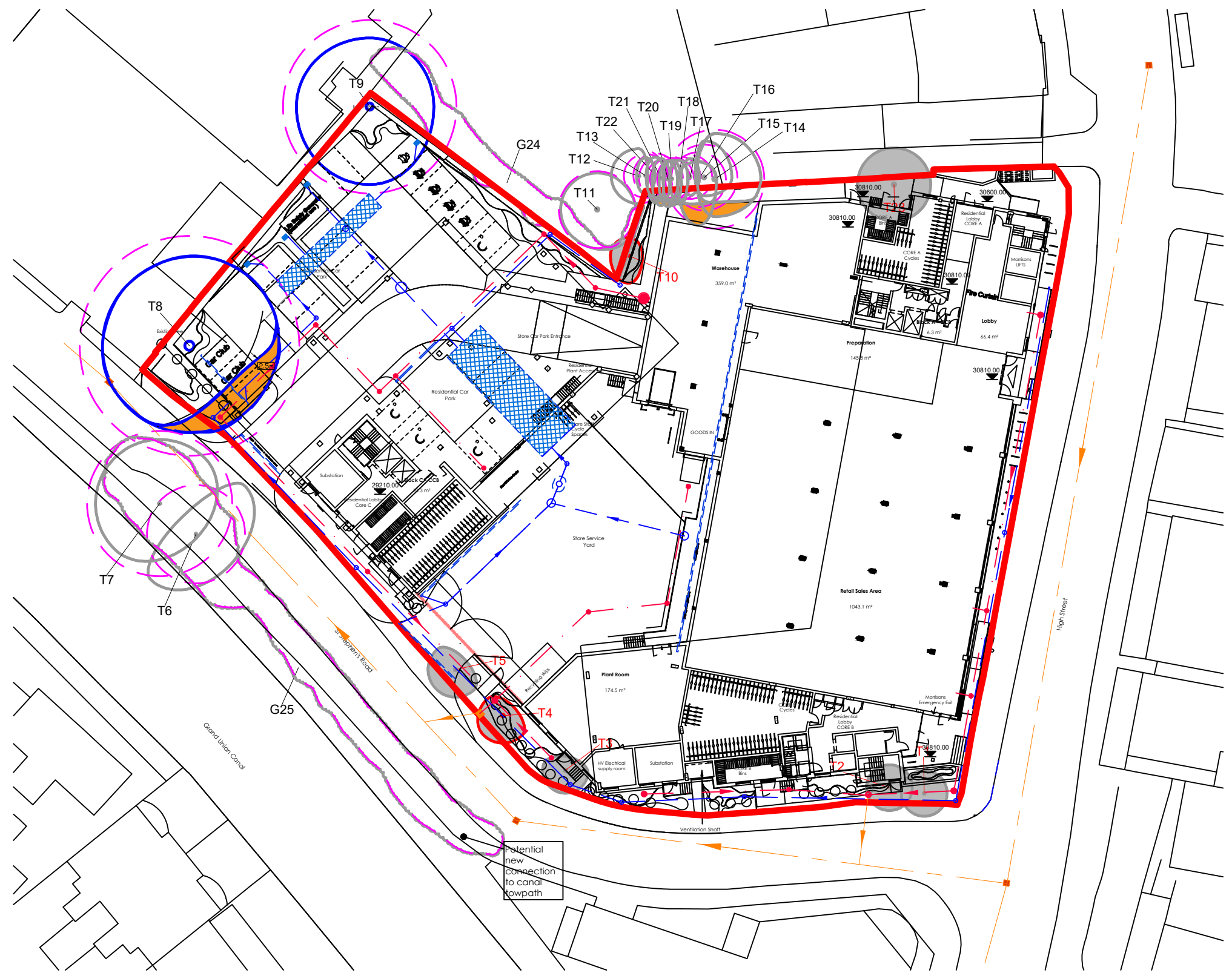
XX.XX.XX		XX
rev	date	description
Base Drawing: Topographical Survey		
Title		
Tree Survey		
Client		
Harbourside Investments Ltd		
Project		
43-67 High Street, Yiewsley, West Drayton UB7 7QQ		
Date	Drawn by	Authorised
20/01/23	HR	CW
Drawing No	Rev	Scale
180315-P-20	-	1:500@A3



BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category LI**
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.
- Trees and groups to be removed shown shaded grey and dashed.
- Trees to be pruned back shown shaded orange. Please refer to tree works schedule for exact extents.

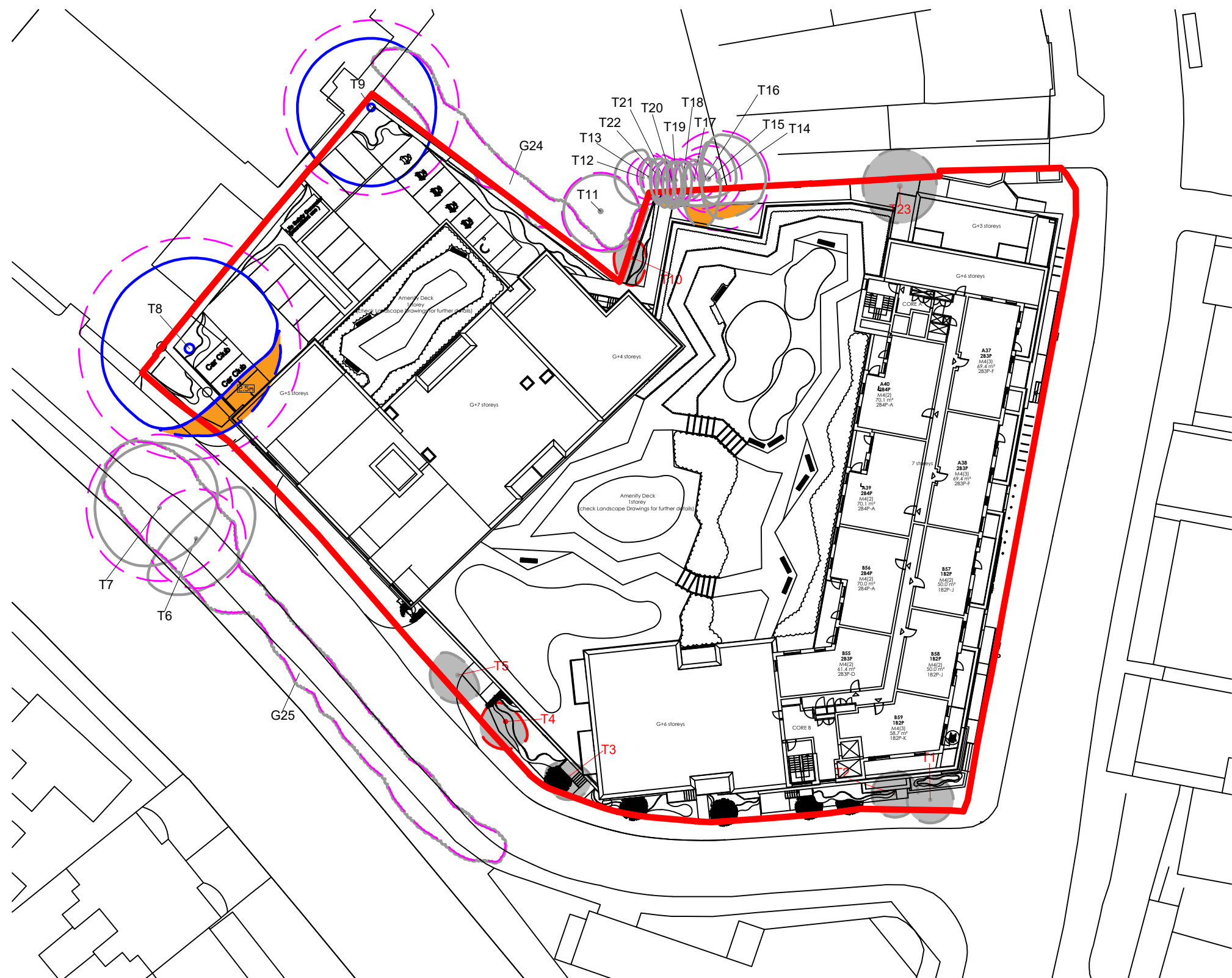
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Rev	date	description	drawn by
Base Drawing: 22050 - 2-110 - Proposed Basement Floor Plan			
Title			
Proposed Layout and Tree Works - Basement Level			
Client			
Harbourside Investments Ltd			
Project			
43-67 High Street, Yiewsley, West Drayton UB7 7QQ			
Date	20/01/23	Drawn by	HR
		Authorised	CW
Drawing No	180315-P-21.01	Rev	a
		Scale	1:500@A3



BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category U**
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.
- Trees and groups to be removed shown shaded grey and dashed.
- Trees to be pruned back shown shaded orange. Please refer to tree works schedule for exact extents.
- Proposed surface water drain
- Proposed foul water drain
- Existing foul drain
- Existing boundary treatment to be retained and used as a suitable analogue to barrier

a	05.06.23	2-101K - Proposed Ground Floor Plan	HR
Rev	date	description	drawn by
Base Drawing: 22050 - 2-101 - Proposed Ground Floor Plan			
Title			
Proposed Layout and Tree Works - Ground Level			
Client			
Harbourside Investments Ltd			
Project			
43-67 High Street, Yiewsley, West Drayton UB7 7QQ			
Date	20/01/23	Drawn by	HR
		Authorised	CW
Drawing No	180315-P-21.02	Rev	a
		Scale	1:500@A3



BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category LI**
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.
- Trees and groups to be removed shown shaded grey and dashed.
- Trees to be pruned back shown shaded orange. Please refer to tree works schedule for exact extents.

a	05.06.23	2-107G - Proposed 7th Floor Plan	HR
Rev	date	description	drawn by
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Title
Proposed Layout and Tree Works -
Roof Level

Client
Harbourside Investments Ltd

Project
43-67 High Street, Yiewsley, West Drayton
UB7 7QQ

Date	Drawn by	Authorised
20/01/23	HR	CW

Drawing No	Rev	Scale
180315-P-21.03	a	1:500@A3



The Barn, FelthamesPark, Chalk Lane, Harlow, Essex CM17 0PF
0845 094 3268 | info@tma-consultants.co.uk
www.timoyaassociates.co.uk

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General Arboricultural Method Statement

TREE WORKS

Only the tree works specified within this report may be undertaken, after the appropriate planning consents have been acquired and in order to implement the consent. In the event of any uncertainty regarding tree works, the arboriculturist will be consulted and where appropriate the Local Planning Authority.

All tree works will be undertaken, in accordance with the best-practice recommendations provided in BS 3998:2010. The statutory responsibilities as outlined in the Wildlife and Countryside Act 1981 (as amended) and the Habitat Regulations 2010 will also be complied with.

TREE PROTECTION FENCING

The tree protection fencing and (where appropriate) ground protection, will be installed as specified within this plan, prior to the commencement of any demolition and construction works. No plant or materials will be delivered to site prior to the construction of the tree protective fencing other than those required to install the tree protection fencing. On every third panel, a sign will be fixed that states "Tree Protection Zone (CEZ). Keep out. Any incursion into this area must be agreed in advance with the arboriculturist and Local Planning Authority." An example of this sign is provided within this plan.

The position of the tree protection fencing must not be amended and no individual panels will be uncoupled, without the agreement of the arboriculturist and/or Local Planning Authority.

SERVICES AND DRAINAGE

The installation of drainage runs, manholes, storage tanks, and utilities will be positioned outside the root protection areas of retained trees. If the installation of new services and drainage runs are required within the root protection areas (RPAs) of retained trees, all methods of working will follow the guidance within Table 3 of BS 5837 or the National Joint Utilities Group's (NJUG) Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees (volume 4, issue 2).

Excavation works within the RPAs of retained trees will be undertaken manually with the use of hand tools only (under the supervision of the arboriculturist), unless otherwise agreed in advance by the arboriculturist. It is recommended that an air lance - and if required a soil vacuum - is used, to excavate service trenches within RPAs. If soil conditions are not suitable for this method of excavation, alternative hand tools can be used once agreed in advance by the arboriculturist.

All roots greater than 25mm in diameter will be retained and will immediately be wrapped in hessian or another appropriate material, to prevent desiccation and temperature fluctuations. Roots will be pushed aside to allow for runs to be installed, where this is practical and without causing root damage.

No machinery will be permitted within the CEZ, at any time, unless agreed in advance with the arboriculturist.

NO-DIG CONSTRUCTION AREAS

Areas that will require no-dig methods of construction are shown within this plan. Working methods within these areas will comply with the details outlined in the main report and in advance of works being undertaken will be agreed with the arboriculturist.

ARBORICULTURAL CLERK OF WORKS

Attendance by the arboriculturist on Site is required, as per the specifications outlined within the Report to which this plan is appended.

It will be the responsibility of the main contractor (or other managing individual or organisation) to confirm the date and time of attendance, providing at least five working days of notice so that the project arboriculturist can confirm attendance.

GENERAL PROTECTION METHODS

No fires will be permitted, within 20m of the crown of any tree or other area of vegetation that includes hedgerows and groups of trees.

No changes in soil level will occur, within the CEZs and RPAs, without agreement in advance with the arboriculturist.

The CEZs will at all times remain free of liquids, materials, vehicles, plant, and personnel, without agreement in advance with the arboriculturist.

Any liquid materials spilled on site will immediately be cleared up. If liquids are spilled within 2m of any CEZ or RPA, the incident will immediately be reported to the arboriculturist, to determine the appropriate response.

All damage to trees and other vegetation will immediately be reported to the arboriculturist, to determine the appropriate response.

Figure 2 - Protective Fencing Specification

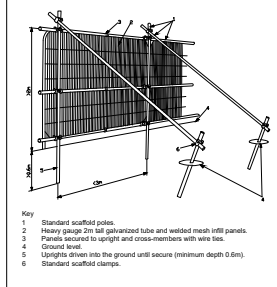
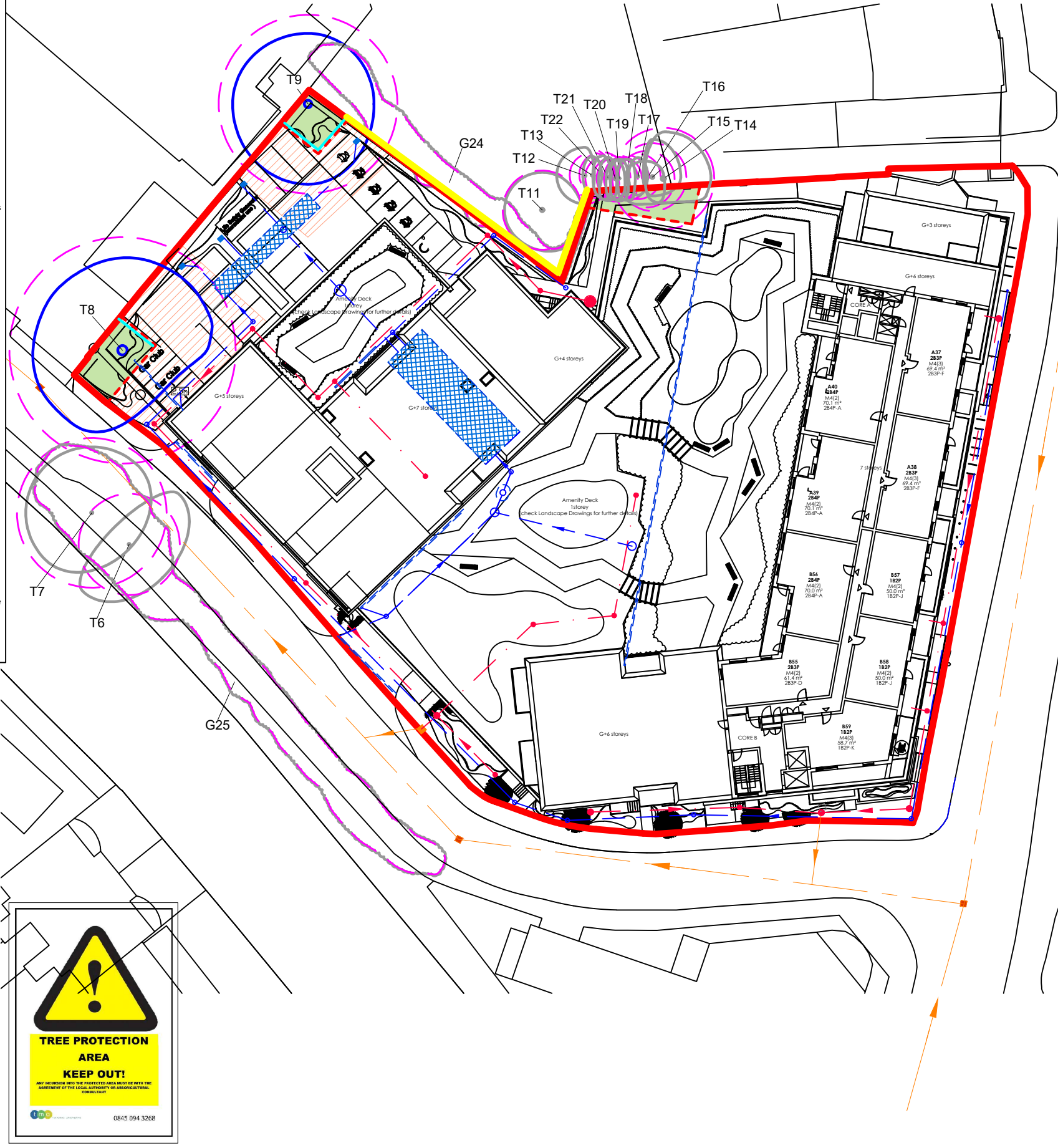
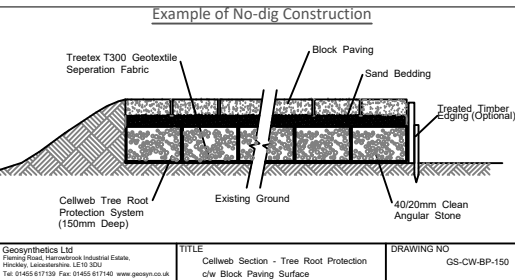
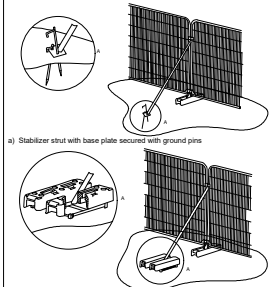
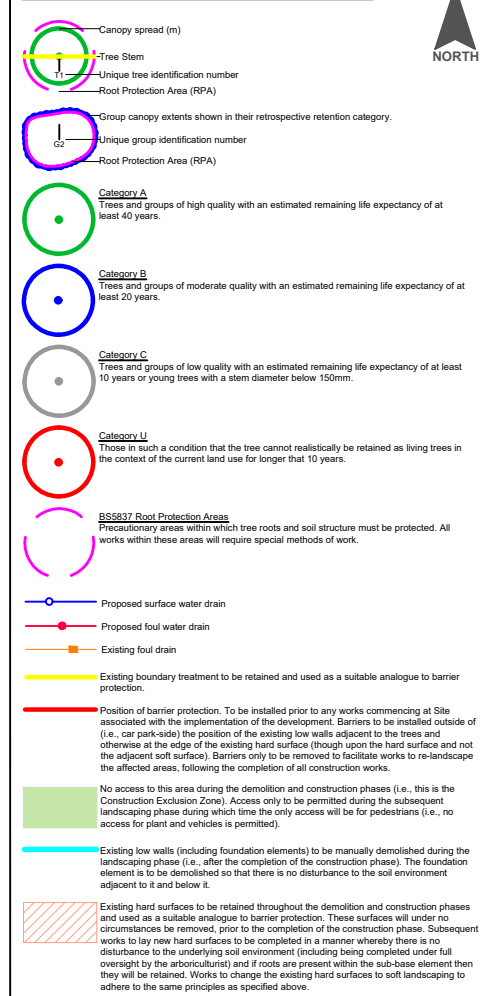


Figure 3 - Examples of above-grounds stabilizing systems



BS 5837:2012 TREE RETENTION CATEGORIES



a	05.06.23	2-101K - Proposed Ground Floor Plan	HR
date	description	drawn by	
Base Drawing: 22050 - 2-101 - Proposed Ground Floor Plan			
Title			
Tree Protection Plan			
Client			
Harbourside Investments Ltd			
Project			
43-67 High Street, Yiewsley, West Drayton UB7 7QQ			
Date	Drawn by	Authorised	
20/01/23	HR	CW	
Drawing No	Rev	Scale	
180315-P-22	a	1:500@A3	



The Barn, FeltmoresPark, Chalk Lane, Harlow, Essex CM17 0PF

0845 094 3268 | info@tma-consultants.co.uk

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APPENDIX B - Schedules

- 180315-PD-20 Tree Schedule
- 180315-PD-22a Tree Work Schedule

180315-PD-20 Tree Schedule (BS5837)

180315 - 43-67 High Street, Yiewsley

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T1	1 Betula jacquemontii (Himalayan Birch)	7.0	17	1	2.5		2.5		2.5		2.5		2.0		Early Mature	Structural condition Fair. Physiological condition Fair. Root environment - Compacted.	15/01/2021	13.1	2.0	10-20	C2
Tree T2	1 Betula jacquemontii (Himalayan Birch)	10.0	13	1	2.5		2.5		2.5		2.5		2.0		Early Mature	Structural condition Fair. Physiological condition Fair. Root environment - Compacted.	15/01/2021	7.6	1.6	10-20	C2
Tree T3	1 Sorbus aria (Whitebeam)	7.0	24	1	1.5		2.5		2.5		2.5		2.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown reduction - Recent. Suppressed crown - Minor.	15/01/2021	26.1	2.9	10-20	C2
Tree T4	1 Sorbus aria (Whitebeam)	7.0	28	1		1.5		3.0		3.0		2.5	2.0		Early Mature	Structural condition Poor. Physiological condition Fair. Crown reduction - Recent. Decay / structural defect - Bole. Form - Attenuated stem / stems. Suppressed crown - Minor.	15/01/2021	35.5	3.4	0-10	U
Tree T5	1 Sorbus aria (Whitebeam)	7.0	25	1		1.5		3.0		3.0		3.0	2.0		Early Mature	Structural condition Fair. Physiological condition Fair. Branch - Broken. Crown reduction - Recent. Suppressed crown - Minor.	15/01/2021	28.3	3.0	10-20	C2
Tree T6	1 Fraxinus excelsior (Ash)	14.0	44 COM	5		7.5		5.0		7.0		2.4	4.0		Mature	Structural condition Fair. Physiological condition Fair. Base / stems obscured - Vegetation. Die-back - Mid crown.	15/01/2021	90.5	5.4	10-20	C2
Tree T7	1 Fraxinus excelsior (Ash)	14.0	66 COM	7		7.0		5.5		7.0		7.0	4.0		Mature	Structural condition Fair. Physiological condition Fair. Base / stems obscured - Vegetation. Die-back - Mid crown.	15/01/2021	197.9	7.9	10-20	C2
Tree T8	1 Platanus x hispanica (London Plane)	18.0	100	1		10.0		9.5		9.5		9.5	2.5	1.8 NE	Mature	Structural condition Good. Physiological condition Good. Arboricultural work - Recent. Branch weight - Heavy. Form - Spreading crown.	15/01/2021	452.4	12.0	20-40	B1/B2

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By

180315 - 43-67 High Street, Yiewsley

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T9	1 Platanus x hispanica (London Plane)	19.0	79	1	7.5		7.0		8.5		8.0		2.0	2 S	Mature	Structural condition Good. Physiological condition Good. Arboricultural work - Historic. Branch weight - Heavy. Form - Spreading crown. Located within raised brick planter.	15/01/2021	282.3	9.5	20-40	B2
Tree T10	1 Sambucus nigra (Elder)	6.0	29 COM	5	2.0		1.5		3.0		2.0		4.0		Mature	Structural condition Poor. Physiological condition Poor. Base / stems obscured - Vegetation. Unbalanced crown - Major.	15/01/2021	38.2	3.5	0-10	U
Tree T11	1 Fraxinus angustifolia (Narrow Leaved Ash)	12.0	35	1		4.0		4.7		4.0		4.0	4.0		Early Mature	Structural condition Fair. Physiological condition Fair. Offsite tree dimensions estimated.	15/01/2021	55.4	4.2	10-20	C2
Tree T12	1 Cupressocyparis leylandii (Leyland Cypress)	10.0	25	1	3.0		1.0		3.0		3.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	28.3	3.0	10-20	C2
Tree T13	1 Cupressocyparis leylandii (Leyland Cypress)	11.0	20	1	2.0		1.0		2.0		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T14	1 Cupressocyparis leylandii (Leyland Cypress)	13.0	45	1	5.0		5.0		4.1		2.0		4.0		Early Mature	Structural condition Poor. Physiological condition Fair. Branch - Broken. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	91.6	5.4	10-20	C2
Tree T15	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	30	1	4.0		3.0		2.0		1.0		6.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	40.7	3.6	10-20	C2
Tree T16	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	25	1	2.0		2.0		5.0		2.3		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	28.3	3.0	10-20	C2

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By

MyTREES
tree management software

180315 - 43-67 High Street, Yiewsley

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T17	Cupressocyparis leylandii (Leyland Cypress)	14.0	20	1	2.0		1.0		2.0		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T18	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	20	1	2.0		1.0		2.83		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T19	1 Cupressocyparis leylandii (Leyland Cypress)	13.0	20	1	2.0		1.0		2.92		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T20	1 Cupressocyparis leylandii (Leyland Cypress)	12.0	20	1	2.0		1.0		3.0		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T21	1 Cupressocyparis leylandii (Leyland Cypress)	12.0	20	1	2.0		1.0		3.0		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T22	1 Cupressocyparis leylandii (Leyland Cypress)	12.0	20	1	2.0		1.0		3.0		1.0		3.0		Early Mature	Structural condition Fair. Physiological condition Fair. Crown lifted site side. Narrow spacing. Boundary screening.	15/01/2021	18.1	2.4	10-20	C2
Tree T23	1 Acer negundo (Box Elder (Ash - Leaved) Maple)	10.0	35	1	4.0		4.0		4.0		4.0		2.5		Mature	Structural condition Fair. Physiological condition Fair. Crown reduction - Recent. Decline - Suspected. Suppressed crown - Minor. Located in raised brick planter.	15/01/2021	55.4	4.2	10-20	C1

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By



180315 - 43-67 High Street, Yiewsley

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Group G24	Rhus typhina (Stag's Horn Sumach)	4.0	12 AVE	1									1.0		Early Mature	Structural condition Fair. Physiological condition Fair. Offsite shrubs, ivy and vegetation.	15/01/2021	-	1.4	10-20	C2
	4 Malus sp. (Apple sp.)																				
Group G25	6 Ulmus procera (English Elm)	5.0	12 AVE	1									2.0		Early Mature	Structural condition Fair. Physiological condition Fair. Offsite shrubs, ivy and vegetation.	15/01/2021	-	1.4	10-20	C2
	3 Crataegus monogyna (Common Hawthorn/Quick/May)																				
	3 Sambucus nigra (Elder)																				
	2 Cerasus avium (Wild Cherry)																				
	10 Fraxinus excelsior (Ash)																				

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

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Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see note)				
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none">* Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)* Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline* Trees infected with pathogens of significance to health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7			RED
	1 Mainly arboricultural qualities	2 Mainly landscape qualities	3 Mainly cultural values, including conservation	
Trees to be considered for retention				
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Tree that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue).	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features.	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture).	GREEN
Category B Trees of moderate quality with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation.	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality.	Trees with material conservation or other cultural value.	BLUE
Category C Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories.	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits.	Trees with no material conservation or other cultural value.	GREY

180315-PD-22a Tree Work Schedule

180315 - 43-67 High Street, Yiewsley

ID	No. / Species	BS5837 Category	Purpose of works Recommended works	Status
T1	1 <i>Betula jacquemontii</i> Himalayan Birch	C2	To facilitate development Fell - Ground level.	Proposed
T2	1 <i>Betula jacquemontii</i> Himalayan Birch	C2	To facilitate development Fell - Ground level.	Proposed
T3	1 <i>Sorbus aria</i> Whitebeam	C2	To facilitate development Fell - Ground level.	Proposed
T4	1 <i>Sorbus aria</i> Whitebeam	U	To facilitate development Fell - Ground level.	Proposed
T5	1 <i>Sorbus aria</i> Whitebeam	C2	To facilitate development Fell - Ground level.	Proposed
T8	1 <i>Platanus x hispanica</i> London Plane	B1/B2	To facilitate development Reduce crown by - Specified extent. Cut back the south-eastern aspect of the crown that faces onto the proposed building back to establish a lateral separation between the two of 2.5m and no more.	Proposed
T10	1 <i>Sambucus nigra</i> Elder	U	To facilitate development Fell - Ground level.	Proposed
T12	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T13	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T14	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T15	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T16	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed

ID	No. / Species	BS5837 Category	Purpose of works Recommended works	Status
T17	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	
T18	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T19	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T20	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T21	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T22	1 <i>Cupressocyparis leylandii</i> Leyland Cypress	C2	To facilitate development Reduce crown by - Specified extent. Laterally prune back the southern crown aspect of this tree to establish a 2m separation from the outer edge of the adjacent proposed piled wall.	Proposed
T23	1 <i>Acer negundo</i> Box Elder (Ash - Leaved) Maple	C1	To facilitate development Fell - Ground level.	Proposed

Tree work analysis (trees and trees in groups)

	To facilitate development	Total
Fell - Ground level	7	7
Reduce crown by - Specified extent	12	12
Total	19	19



TIM MOYA ASSOCIATES

arboriculture ecology landscape innovation

The Barn, Feltimores Park, Chalk Lane, Harlow, Essex CM17 0PF

0845 094 3268 | info@tma-consultants.co.uk | www.timmoyaassociates.co.uk

Tim Moya Associates is a trading name of Tim Moya Tree Services Ltd. Company Reg No. 3028475