

**Project Title:** Northwood & Pinner Cottage Hospital, Pinner Road, HA6 1DE

**Report Reference:** JNY10245-07

**Date:** 12 October 2023

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### Introduction

- 1.1 This Transport Note provides a supporting technical document to the proposed Section 73 application for changes to the planning approved scheme (Planning Application reference 23658/APP/2021/1296) located at the site of Northwood and Pinner Cottage Hospital on Pinner Road, Northwood.
- 1.2 This note compares the proposed minor changes to that as set out in the approved Transport Assessment (JNY10245-04) and Travel Plan (JNY10048-05) submitted to support the planning application for the development of the site to provide a scheme including a new Health Centre and residential use both with associated car parking and amenity.

### Reasons for the Proposed Design Changes

- 1.3 Following the planning application submission, the Client instructed the design team to develop the Health Centre proposals to RIBA stage 3 and in addition, there were further consultation meetings with the end users to review and agree the room allocations within the building. The changes submitted as part of this Section 73 application stem from this design development coordination and consultation.
- 1.4 The changes do not affect the overall footprint of the building, nor do they affect the overall architectural design intent in the consented scheme. Most elevations are minimally affected with more existing windows retained with the existing openings. It is only the west façade that experience more changes, although these do not alter the character. The existing small basement located under the southern portion of the building will be retained and continue to house a plantroom.
- 1.5 With regards to Transport there are some minor changes that are now proposed which primarily impact the staff parking area accessed from Pinner Road. In addition to the staff parking there are changes to the locations of:
- UKPN Sub-Station
  - Access Gate (Juniper Court/Neal Close Access)
  - Refuse Holding Area
  - Motorcycle Parking
  - Cycle Parking
- 1.6 **Appendix 1** provides a comparison drawing between the Consented scheme and the proposed Section 73 with annotations highlighting the changes.
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## UKPN Sub Station & Staff Car Park Gate

- 1.7 Early discussions with LBH Design-Out Crime Officer and initial consultation with UKPN has highlighted a conflict of requirements on the type of security locks, operation and management of the vehicle gate to the north car park (staff car park) that in the consented scheme provides access to staff as well as maintenance access to the substation. UKPN require the sub-station is accessible at all times and is not contained behind a security gate access. Therefore, the only satisfactory solution to this is to reposition the substation so that maintenance access is directly from without the need for access to be through a security gate. Therefore, the security gate has been moved and the UKPN sub-station relocated to accent the vehicle access. The relocation of the security gate does not impact of hinder cars or the refuse vehicle on collection days.

## Refuse Holding Area

- 1.8 The refuse holding area has been relocated 2-3 metres from the planning approved location. The relocation was necessary to allow for the relocation of the UKPN Sub Station closer to the staff car parking access. The relocation of the refuse holding area will not impact the waste operative's ability to safely manoeuvre the waste bins from the refuse holding area to the rear of the refuse vehicle on waste collection day. The drag distance between the holding area and the rear of the refuse vehicle are still with 10 metres.
- 1.9 The vehicle tracking for a refuse vehicle is shown at **Appendix 2**.

## Existing Car Parking

- 1.10 The existing staff car park, accessed from Juniper Close/Neal Close has 19 car parking spaces including two blue badge parking bays.

## Proposed Car Park

- 1.11 Following the requirement to relocate the UKPN sub-station to be near to the site access this has subsequently had a knock-on impact to the security gate location, refuse holding area and car parking layout.
- 1.12 RPS and the design team has reviewed the above requirements and sought to reconfigure the car park layout as efficiently as possible in order to re-provide the planning approved 19 car parking spaces. Unfortunately given the above new constraints only 18 car parking spaces can be provided with the space available. The 18 car parking spaces still provides two blue badge parking bays and has been configured based on vehicle tracking.
- 1.13 Whilst the updated plans only provide 18 spaces it is considered that a reduction in parking in one car parking space would not have a detrimental or negative impact to the overall transport/highway network and is considered acceptable based on the proposed use of the site.
- 1.14 There is a retaining wall required in the car park that does restrict the two car parking spaces to the east of the two blue badge bays. To allow vehicles to enter and importantly reverse these two car parking spaces have been made sufficiently wide and designed based on vehicle tracking (Large car) to ensure that the vehicles can manoeuvre in/out of the bays. The swept path analysis for the car parks is shown at **Appendix 3**.

## Motorcycle Parking

- 1.15 Four motorcycle parking spaces were approved for the health centre use. These four spaces were located to the side of the health centre and were designated for staff only. These spaces have now been relocated so that they are adjacent the main car parking area to the rear of the site. All motorcycles would access via the Juniper Court/Neal Close access.

## Cycle Parking

- 1.16 20 long stay cycle parking spaces were provided as part of the consented planning approved scheme. The cycle parking was approved with one cycle store for both long stay and short stay parking and was located near to the drop off zone near the site entrance from.
- 1.17 The cycle store has now been split in two following feedback from the Access consultant who recommended some cycle parking to be located more centrally within a central enclosed and secure courtyard. Therefore, ten long stay cycle parking spaces have been relocated from the drop off zone to a central courtyard area. The central courtyard will provide covered and secure cycle parking for staff. The overall 20 cycle parking spaces matches the same number as that approved as part of the consented scheme. The minimum required number of cycle parking spaces, based on the cycle parking standards, is 11 spaces therefore the updated scheme is still providing nine spaces over and above the minimum number required.

## Summary

- 1.18 The Technical Note provides a summary of the pertinent transport related changes that are being proposed as part of this Section 73 application.
- 1.19 The requirement to relocate the UKPN substation has resulted in a reconfiguration of the rear staff car park which results in the reduction of one car parking space. This reduction in parking in car parking space would not have a detrimental or negative impact to the overall transport/highway network and is considered acceptable based on the proposed use of the site.

## **Appendix A – Comparison Drawing Between Planning Approved Scheme and Proposed Section 73 Changes**



## 2.3 COMPARISON DRAWINGS

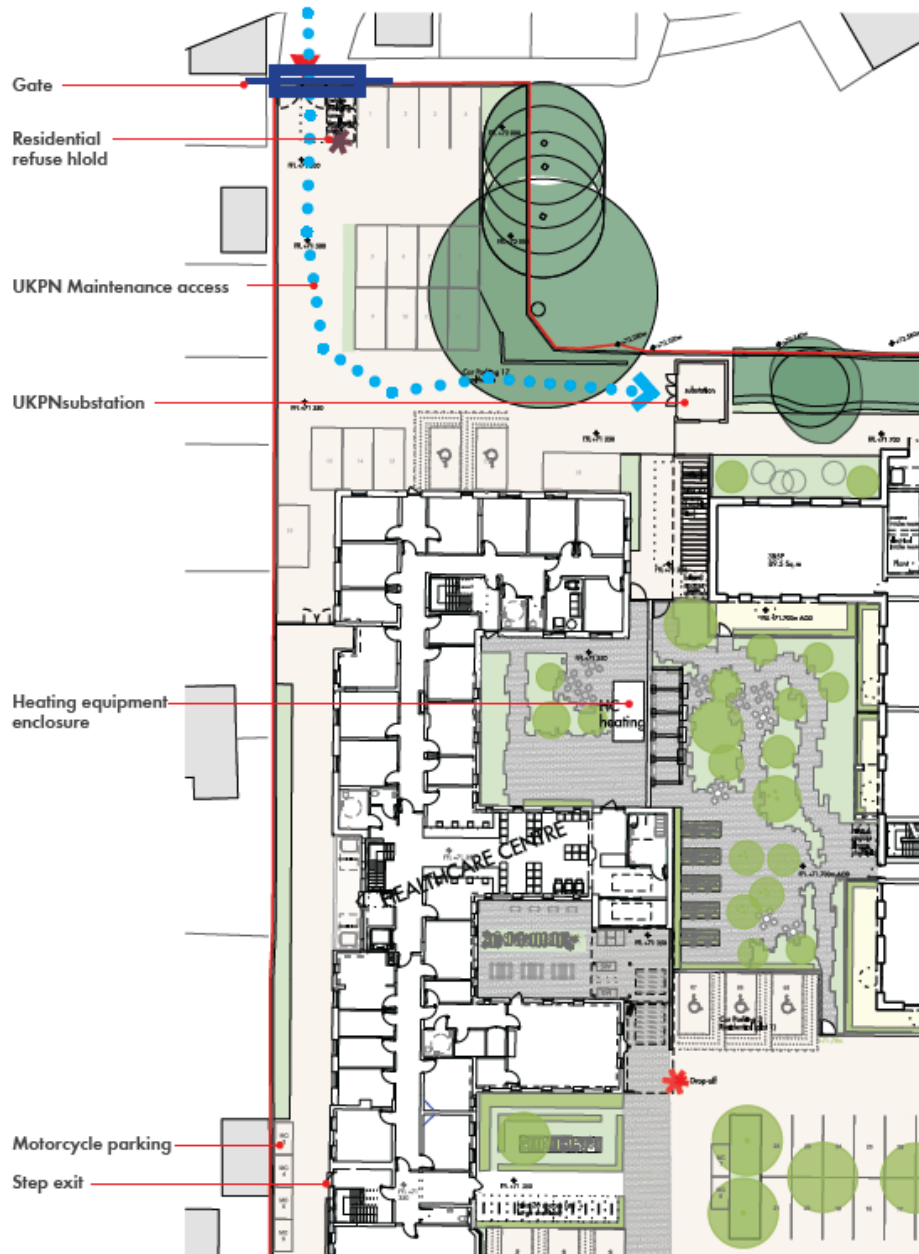


Fig 3 Site wide plan extract - Consented scheme

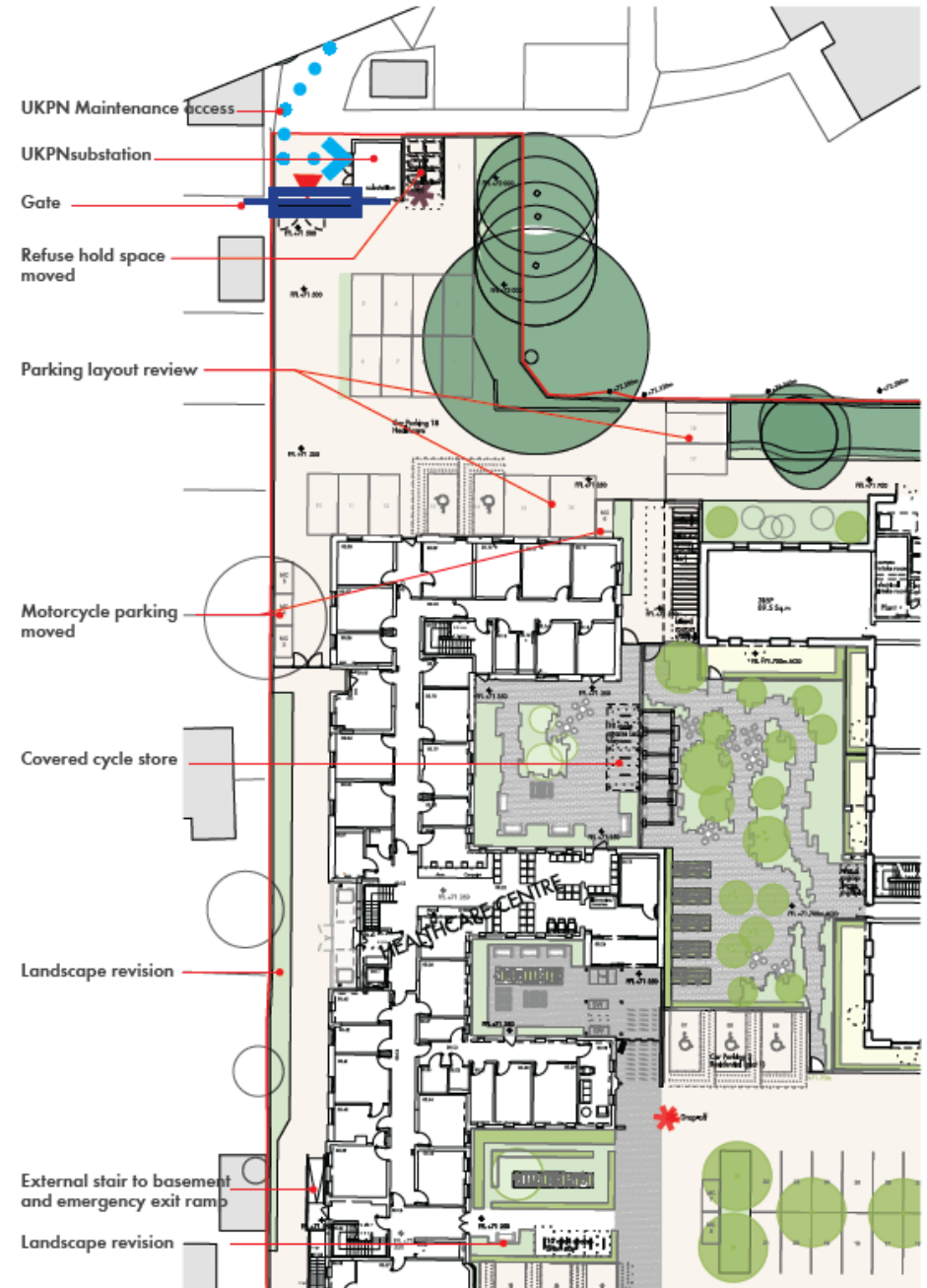
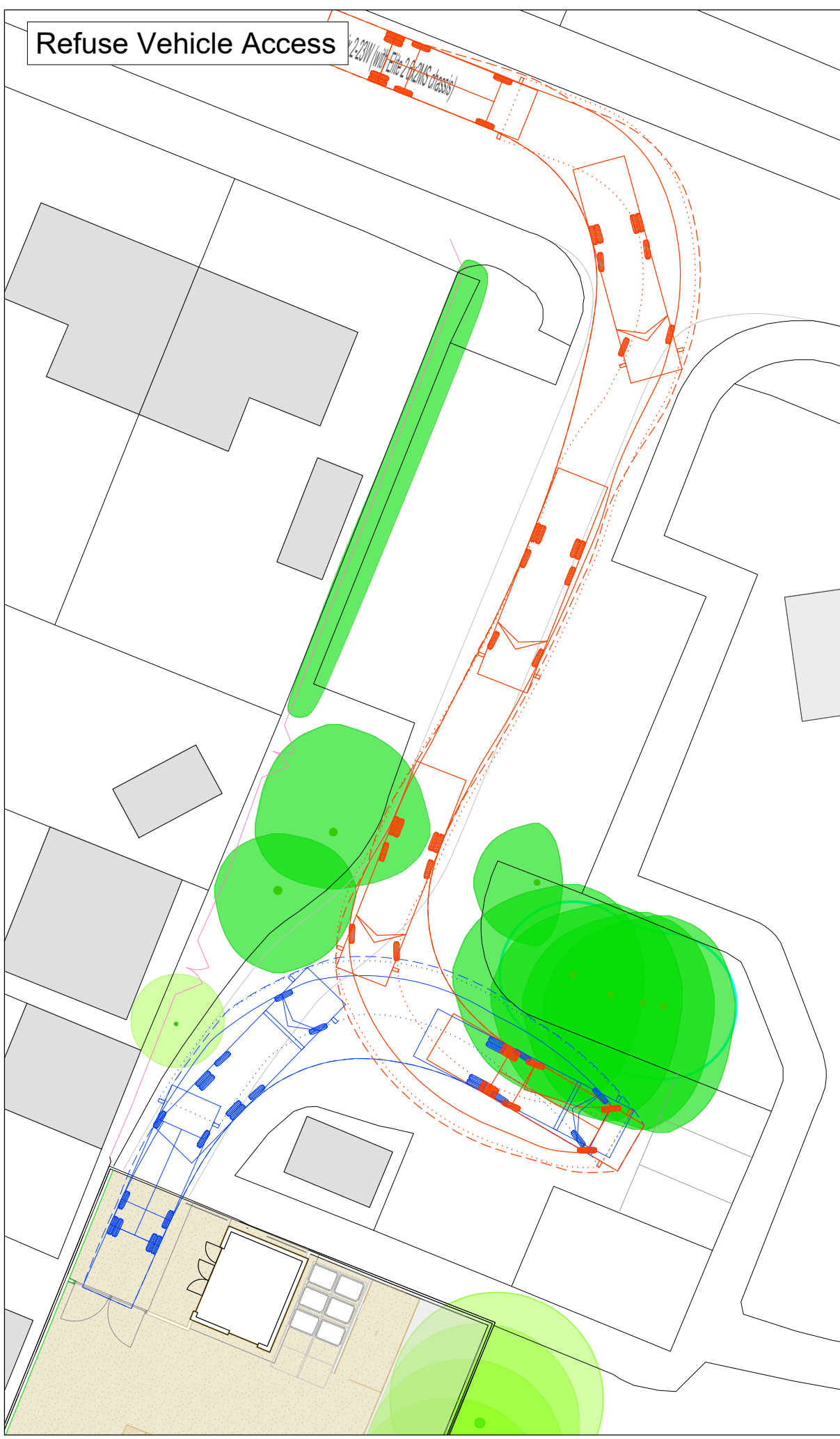


Fig 4 Site wide plan extract - MMA Revised proposals

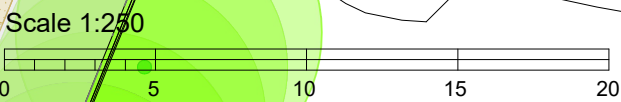
## Appendix B – Updated Refuse Vehicle Tracking



Refuse Vehicle Access

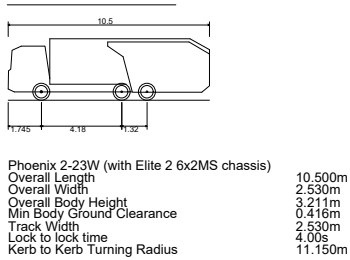


Refuse Vehicle Egress



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  2. If received electronically it is the recipients responsibility to print to correct scale. Only written dimensions should be used.
  3. This drawing is to be read in conjunction with all relevant scheme drawings.

Vehicle Profile



Based on layout (sy619-400-landscape base 06062023 & JNY10245-05J)

|     |   |    |    |            |
|-----|---|----|----|------------|
| A   | Latest layout added (sy619-400-landscape base 06062023) | AJ | JC | 22/06/2023 |
| Rev | Description   | By | JC | Date       |



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Client NHS Property Services Ltd

Project Northwood and Pinner,  
Stage 3 & 4

Title Refuse Vehicle Swept Path  
Analysis

Status Drawn By PM/Checked by  
INFORMATION AJ JC

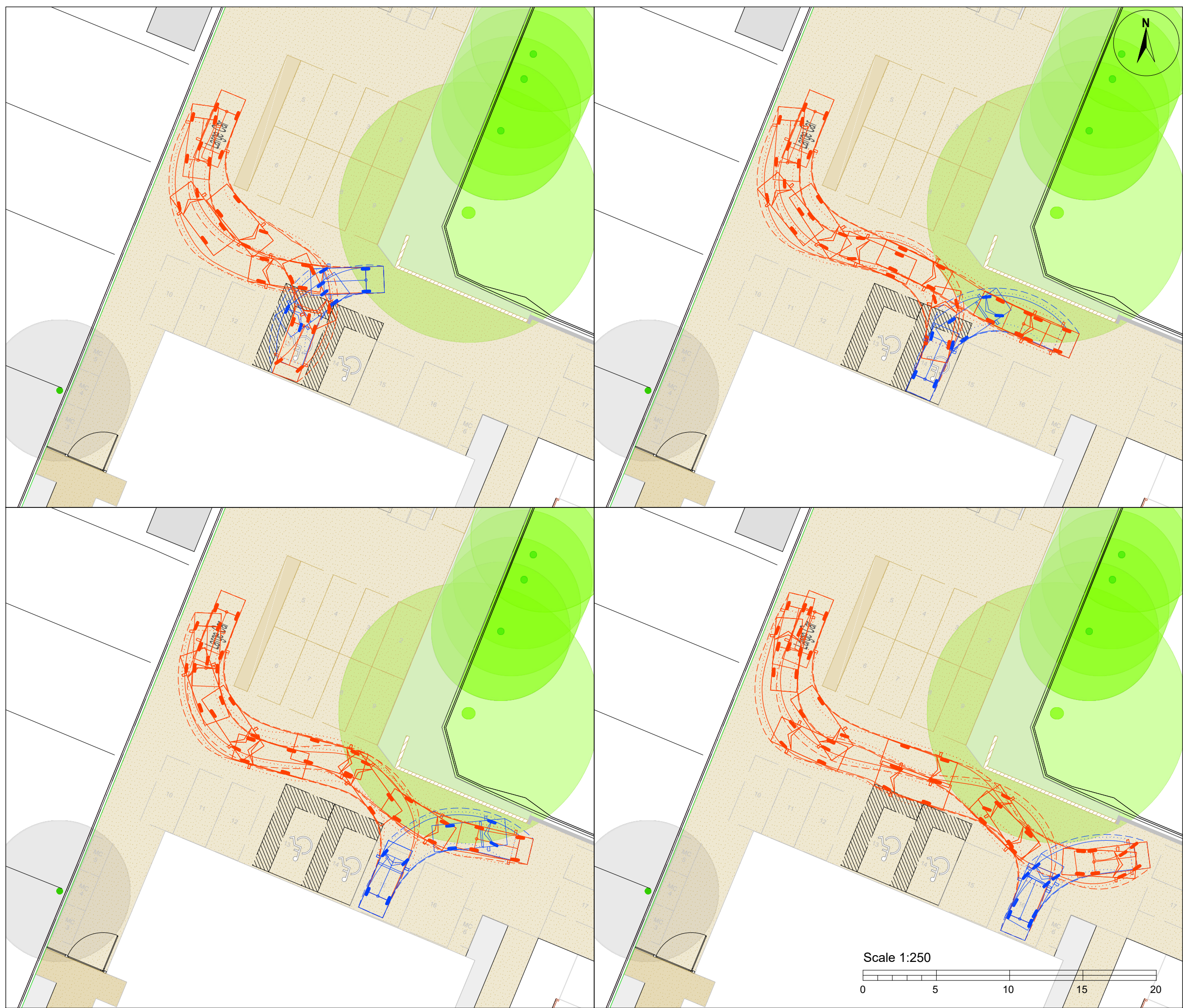
Project Number Scale @ A3 Date Created  
JNY11211 1:250 04/10/22

RPS Drawing/Figure Number Rev  
JNY11211-RPS-0100-001 A

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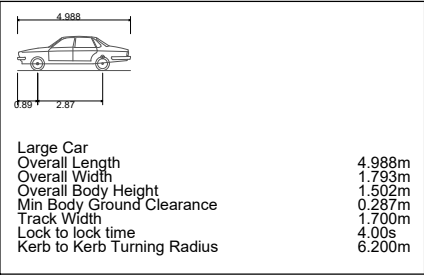
## Appendix C – Proposed Car Tracking





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Vehicle Profile



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Project Northwood and Pinner,  
Stage 3 & 4

Title Large Car Swept Path Analysis

|             |          |               |
|-------------|----------|---------------|
| Status      | Drawn By | PM/Checked by |
| INFORMATION | AJ       | JC            |

|                |            |              |
|----------------|------------|--------------|
| Project Number | Scale @ A3 | Date Created |
| JNY11211       | 1:250      | 04/10/22     |

|                           |     |
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| RPS Drawing/Figure Number | Rev |
| JNY11211-RPS-0100-002     |     |

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