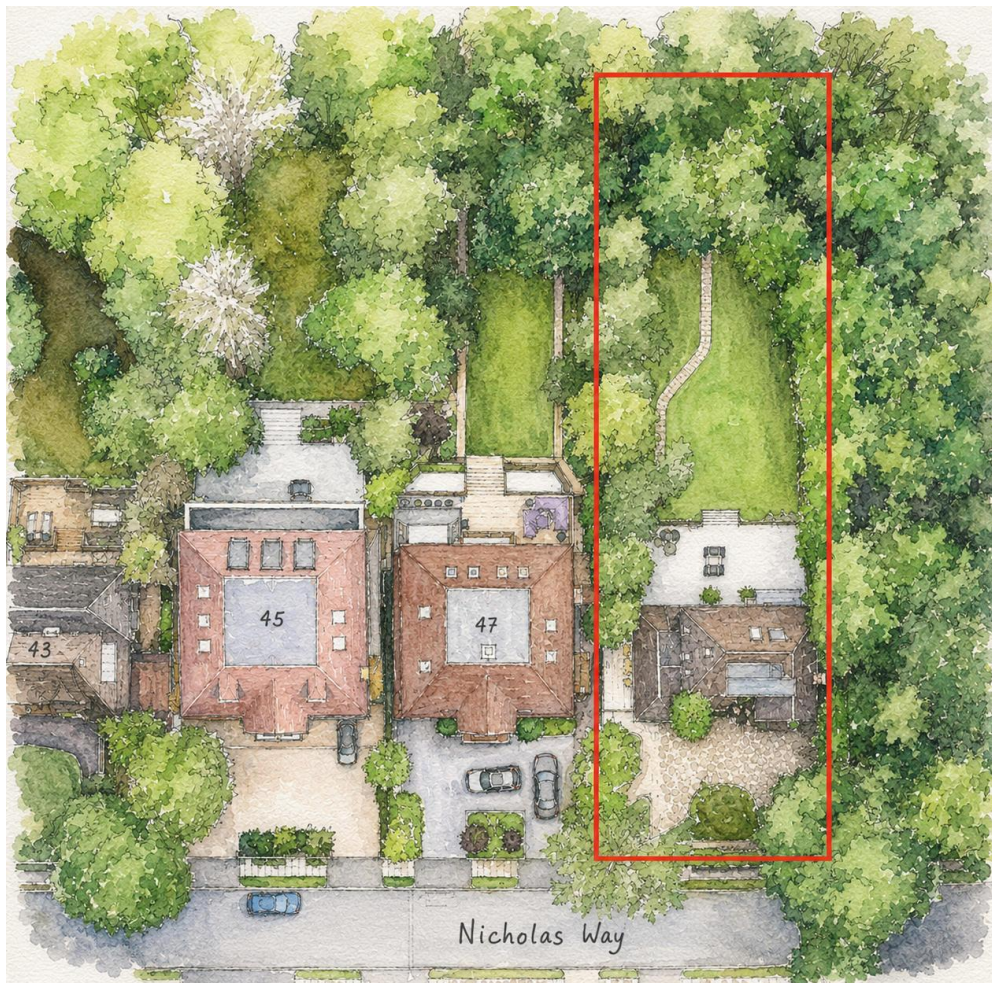


DESIGN AND ACCESS STATEMENT

RE-DEVELOPMENT OF EXISTING DETACHED DWELLING AT
49 NICHOLAS WAY, NORTHWOOD, MIDDX, HA6 2TR



JULY 2026

JACK DUSEK & CO

ARCHITECTURE. PLANNING. DEVELOPMENT

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1. INTRODUCTION

This statement seeks to explain the rationale behind the submitted proposal in terms of both design and access. It also aims to demonstrate how the design has evolved after consideration of local context and Planning Policy. It is produced to support proposals now submitted for approval by The London Borough of Hillingdon's planning department.

2. SUMMARY OF PROPOSAL

The submitted details illustrate proposals for the re-development of 49 Nicholas Way. This includes the demolition of the existing detached two-and-a-half storey dwelling and its replacement with a larger detached, neo-Georgian dwelling of approximately 5,750 sq ft, with accommodation arranged over two storeys and within a habitable roofspace, an attached single garage, external amenity area, parking, and retention of the existing vehicular access.

Full details of the planning proposal are contained within the following details submitted as part of this application:

JACK DUSEK & CO drawing no's:-

- 772-P-0 – Existing Site Plan.
- 772-P-1 – Existing Plans and Elevations.
- 772-P-2a – Proposed Site Plan.
- 772-P-3F – Proposed Ground Floor Plan.
- 772-P-4F – Proposed First Floor Plan.
- 772-P-5F – Proposed Roof / Loft Floor Plan.
- 772-P-6D – Proposed Front Elevation.
- 772-P-7C – Proposed Rear Elevation.
- 772-P-8B – Proposed Side Elevation (South West).
- 772-P-9A – Proposed Side Elevation (North East).
- 772-P-10 – Site Section.
- 772-P-11 – Location Plan.

GHA TREES – BS5837:2012 Tree Survey & Arboricultural Impact Assessment (16 June 2026).

RESURGENCE BIOMONITORING – Preliminary Ecological Assessment (PEA).

3. SITE LOCATION AND DESCRIPTION

The application site is located on the south-eastern side of Nicholas Way, the dwelling presenting a north-west facing front elevation to the road.

Nicholas Way is a quiet, non-classified estate road within the Copse Wood Estate in Northwood, Middlesex.

It is located within a low-density residential area of special local character. It is not designated as a Conservation Area.

The existing houses on this estate are all detached and varied in design, although predominantly traditional in appearance.

Flanking relationships on the estate are quite close, although not immediately evident as they are disguised by the presence of mature hedges and trees.

The appearance of the estate is one of being well maintained and attractive, with grass verges, mature trees, hedges and greenery that contribute strongly to its character.

The application site currently supports one detached two-and-a-half storey house, and garage. To the north-east the site adjoins the detached dwelling at No 47 Nicholas Way, with No 45 lying beyond No 47. To the south-west there is no immediate neighbouring dwelling; the land on that side comprises the rear gardens of properties on Copse Wood Way (Nos 93, 95, 97 and 99). A single-storey detached garage stands within the rear garden of No 93 Copse Wood Way, taking vehicular access from Nicholas Way, its front building line sitting approximately 4.2m closer to the road than the proposed dwelling.

The topography of the site is not flat; it slopes down from front to rear, from a level of approximately 70.50 at the front of the site to 67.22 at the rear, a fall of some 3.28m. Levels across the site from left (north-east) to right (south-west) are relatively consistent. The across the frontage is suitable for mobility access.

The rear garden is large and is laid mainly to lawn and features a raised decking area immediately to the rear of the existing house. It contains a number of trees, principally to the periphery, supplemented by trees in adjoining gardens.

There are currently two vehicular access points onto Nicholas Way, arranged as a carriage driveway, with parking and hard landscaping to the frontage. [Any dead, dangerous or low-quality trees are identified within the accompanying tree report.]





4. PREVIOUS PLANNING HISTORY

The site has recent planning history relevant to the determination of this application. Under reference 23342/APP/2024/2618, planning permission was granted (decision issued 25 November 2024) for the erection of a part single, part two-storey rear extension, a first-floor side extension, a two-storey front extension, a front porch, an attached garage to the side, and the extension of the existing habitable loft space – including extension of the existing front-facing dormer, the formation of a crown roof, the addition of two rear-facing dormer windows and five side-facing rooflights – together with amendments to fenestration and the addition of render to the external walls.

This extant permission is a material consideration in the determination of the current application. It establishes that a substantial enlargement of the existing dwelling – including two-storey front and rear extensions, an attached side garage and enlarged loft accommodation – is considered acceptable in this location, and represents a realistic fallback position against which the current proposal for a replacement dwelling should be assessed. The replacement dwelling now proposed has been designed to respect the established building line, scale, and character of the area, as set out in the following sections.

5. PLANNING POLICY

HILLINGDON DEVELOPMENT MANAGEMENT POLICIES (LOCAL PLAN PART 2, ADOPTED JANUARY 2020).

DMHB 5 – Areas of Special Local Character

DMHB 6 – Gatehill Farm Estate and Copse Wood Estate Areas of Special Local Character

DMHB 11 – Design of New Developments

DMHB 15 – Planning for Safer Spaces

DMHB 16 – Housing Standards

DMHB 17 – Residential Density

BMH 19 – Play Space

DM Appendix C – Parking Standards

HDAS – Residential Layouts SPD

LOCAL AND NATIONAL POLICIES

The London Plan (2021)

The National Planning Policy Framework

The application site is located within the urban area where the principle of development is accepted. The Copse Wood Estate is designated as an Area of Special Local Character, where stricter controls on design exist.

It is not within a Conservation Area, or an area shown to be at risk of flooding on the Environment Agency flood maps.

6. CONSIDERATION: DESIGN

Within Areas of Special Local Character, new development should reflect the character of the area and its original layout. Proposals should respect the established scale, building lines, height, design and materials used in the area.

The following design issues relating to the proposals need to be considered:-

- Siting
- Scale
- Height and Roof Design
- Appearance
- Landscaping
- Character and Appearance of the Area

Siting

Siting of the new dwelling blends with the building line established by the neighbouring dwelling. The depth of the new house has been considered carefully and the rear building line is harmonious with the rear of the neighbouring building at no 47.

Any windows on the flank elevation of the neighbouring house at No 47 to the north-east appear to be secondary, or windows serving non-habitable rooms such as bathrooms and utility rooms. To the south-west there is no adjoining dwelling, the site backing onto the rear gardens of properties on Copse Wood Way.

The position of the new building complies with the two-storey juxtaposition controls exerted by 45-degree angles taken from the centre of the nearest neighbouring windows.

The proposed building therefore complies with the relevant requirements set out in Hillingdon's HDAS Residential Layouts guide and Policy DMHB 6, which stipulates the requirements for flank boundary separation distances.

In respect of plot size DM policy DMHB 6 states that new dwellings:-

Should be constructed on building plots of a similar average width as surrounding residential development.

The plot width varies across the site, being approximately 23.6m at the front boundary, 22.9m at the front of the proposed building, 21.3m at the rear building line and approximately 20.9m at the rear boundary. These widths are consistent with those of the plots surrounding the site, and with flank boundary separation distances set to comply with the requirements described in DMHB 6, the character and appearance of the surrounding area will be preserved.

In respect of flank boundary separation, the proposal achieves a minimum of 1.5m from the two-storey wall to the north-eastern (left-hand) boundary, in accordance with the Council's policy for this area, together with 1.18m from the single-storey element to the south-western (right-hand) boundary. The distance from the south-western boundary to the two-storey wall

is between 4.5m and 5.58m. In addition, the neighbouring dwelling at No 47 to the north-east lies approximately 4.57m from the proposed two-storey wall on the north-eastern side of the new dwelling.

The single-storey garage, although positioned 1.18m from the south-western boundary, provides a welcome visual gap between the two-storey element of the house and the trees to the south-west of the site, softening the relationship between the built form and the landscaped boundary.

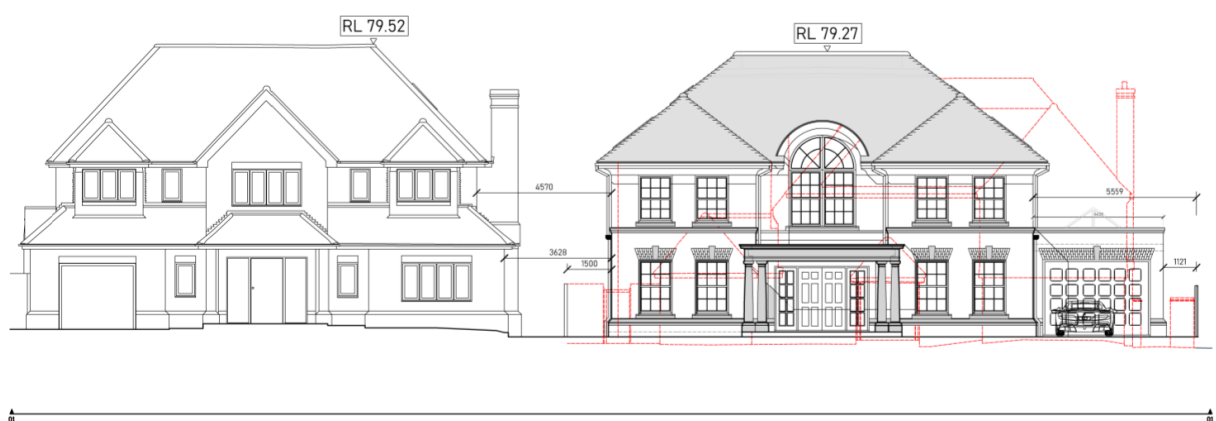
Trees exist on this site and on adjoining properties. The accompanying GHA Trees arboricultural assessment of the relationship between the new building and existing trees shows that, with the mitigation measures proposed, the siting of the new house will not detrimentally affect the retained trees.

The existing carriage driveway, with its two points of access open to the street frontage, will be retained.

Scale

Care has been taken during the design of the new house to ensure that its scale, especially height and depth, complies with the requirements set out in policy DMHB 6 (ii).

Although the proposed dwelling is larger than the existing house, its scale has been designed to sit comfortably between the adjoining properties. Accommodation is arranged over two storeys, together with further habitable accommodation within the roofspace, contained beneath a traditional pitched roof so that the overall ridge height and bulk remain in keeping with neighbouring dwellings.



The scale of the proposals blends with the heights of the adjoining building and is aligned with the ground and ridge levels along the street.

Height and Roof Design

The height of the new dwelling has been carefully considered in relation to its neighbours. The proposed ridge height is 250mm lower than that of the adjoining dwelling at No 47 Nicholas Way, ensuring that the new building sits comfortably alongside its neighbour and respects the prevailing roof line.

This restraint in height is achieved notwithstanding a modest increase of approximately 270mm in the threshold / finished floor level of the new dwelling over that of the existing house, which has been undertaken to secure a level, accessible threshold (as described under Access below).

The dwelling is proposed with a crown roof. Whilst crown roof designs were resisted within the estate in past years, not only have such designs been permitted in recent approvals, but both No 47 and No 45 Nicholas Way feature crown roofs of very similar size to that now proposed. The proposed crown roof is therefore consistent with the established, and recently endorsed, character of this part of the estate.

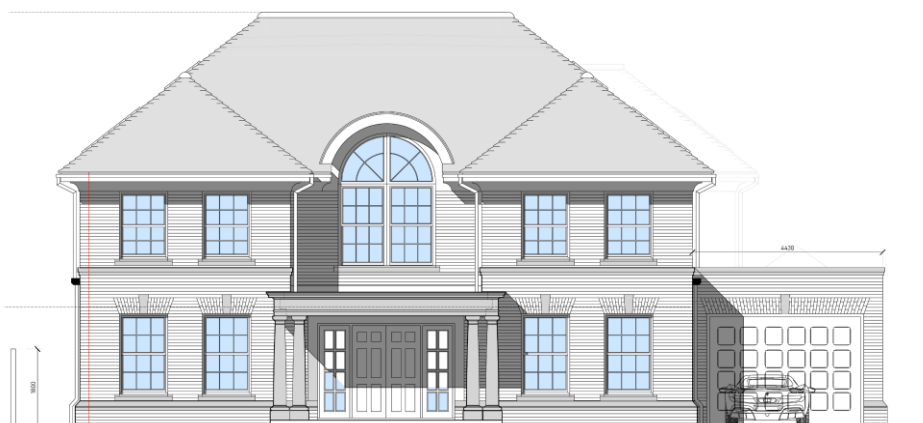
The crown roof is inverted behind an upstand, so that the rooflight at roof level will not be visible from ground level, preserving the appearance of the roof when viewed from the street and from neighbouring properties.

Appearance

Prior to commencement of the design process, matters relating to the appearance, siting, and scale of the new house were considered in context with the character of the estate and the immediate vicinity in which the new house would be situated.

Generally it was felt that, although the appearance of the estate has changed over the years with a number of different styles including contemporary, a traditional neo-Georgian design, executed in quality brick and stone beneath a hipped / pitched roof, would be wholly appropriate, with many other similar designs used for old and new houses in the near vicinity.

This is not considered to be a restriction or unwanted control on design. That look, and a lean towards a traditional appearance for the house using quality materials, is the applicant's preferred choice.



A traditional neo-Georgian design is the preferred appearance for the new house.

The proposed palette of external materials has been selected to reflect the traditional, high-quality character of the estate, and comprises:

- Red soft stock facing brickwork, laid with a white lime-style mortar;
- White Portland stone dressings and detailing;
- Dark grey Dreadnought clay plain roof tiles;
- White uPVC sliding sash windows to the front and flank elevations;
- White aluminium sliding doors and windows to the rear;
- An aluminium, toughened front door;
- A metal-coloured up-and-over garage door;
- White fascias and soffits, with black aluminium gutters and black downpipes;
- A permeable block-paved driveway; and
- Porcelain paving to the external patio and paths.

Landscaping

A BS5837:2012 Tree Survey and Arboricultural Impact Assessment has been prepared by GHA Trees (dated 16 June 2026) and is submitted as part of the application. The survey records trees within and adjacent to the site graded across categories A to C, together with three category U trees.

The site is covered by an area Tree Preservation Order (TPO). The proposal does not involve the removal of, or any adverse impact upon, any TPO-protected tree; the retained protected trees will be safeguarded during construction by the tree protection measures described below.

The proposal requires the removal of only one small and relatively insignificant category C tree (T3), which lies within the footprint of the new dwelling, together with a small number of insignificant category C shrubs. Their removal will not significantly impact the local or wider landscape, and no pruning of the retained trees is required to accommodate the proposal.

Tree protection measures in accordance with B.S.5837:2012 will be provided prior to commencement of the re-development, including protective fencing to form a construction exclusion zone, and ground protection where lightweight access is required. These are specified within the accompanying report and Arboricultural Impact Plan, which also form part of this planning submission.

Where new hard landscaping falls within the root protection areas of retained trees – including a small encroachment into the RPA of T9 and part of the rear patio within the RPA of T10 – it will be constructed using no-dig, “up and over” construction with porous materials, in co-ordination with the retained arboriculturalist, so that the retained trees are not

adversely affected. The report concludes that the retained trees are at a satisfactory distance from the new building and can exist in harmony with the development.

Ecology

A Preliminary Ecological Assessment (PEA) has been undertaken on the site by Resurgence Biomonitoring Ltd, comprising a desktop assessment and a field survey carried out on 18 February 2026. The written report forms part of the current planning submission.

Owing to the limited nature of the development, no impacts are anticipated upon statutory designated sites for nature conservation, Local Wildlife Sites, or habitats beyond the red-line boundary. The site is typical of suburban outer-London gardens, being dominated by amenity grassland, introduced shrub and hedge planting, with boundary trees providing habitat connectivity to adjoining gardens.

A Preliminary Roost Assessment identified features on the existing dwelling – associated with tile-hung cladding, tile gaps and gaps in soffits – with the potential to support crevice-dwelling bats such as common and soprano pipistrelle. The unconverted loft was inspected and no signs of bats were found. Taking the external and internal surveys together, the existing dwelling was classified as having low bat roost potential.

In line with current Bat Conservation Trust guidance, a single dusk emergence survey is considered proportionate for a structure of low roost potential where works will affect the identified features. Should bats be recorded, further survey effort and a European Protected Species Licence from Natural England may be required prior to development proceeding.

The garden also provides potential nesting habitat for birds and foraging habitat for bats. A precautionary approach will be adopted during construction and landscaping, including the retention of boundary vegetation where practicable, sensitively designed low-level external lighting to avoid illuminating bat flight lines, and any vegetation clearance being undertaken outside the main bird nesting season (March to August). These Reasonable Avoidance Measures, together with habitat enhancements, will ensure compliance with relevant wildlife legislation and avoid significant ecological effects.

The proposed development is a self-build project undertaken with the full involvement of the owner as a self-builder. As such, it falls within the self-build and custom housebuilding exemption from the mandatory Biodiversity Net Gain (BNG) requirements. In any event, the Government has indicated that BNG requirements are to be exempted for minor development sites of less than 0.2 hectares.

An emergence survey and report is being undertaken and drafted at the time of submission and it is understood that there will be a requirement for a Natural England bat low impact bat license to be obtained prior to the commencement of demolition works.

Character and Appearance of the Area

Drawing the above considerations together, the proposal has been designed to preserve and reinforce the established low-density, spacious and predominantly traditional character of the Copse Wood Estate Area of Special Local Character. The retained building line, generous flank separation, soft landscaped frontage and traditional materials ensure the new dwelling will sit comfortably within the established pattern of development.

7. CONSIDERATION: ACCESS

Mobility

The topography of the site is not flat but, given the relatively shallow gradient across the frontage, the existing falls on the front drive would still facilitate level access through the front door into the ground floor of the new house.

The threshold entrance level of the new dwelling is approximately 270mm higher than that of the existing dwelling, and the gradient of the front driveway has been reduced slightly so that a level threshold is achieved at the entrance, supporting step-free, accessible access into the dwelling.

The internal layout of this dwelling is spacious and internal access will be designed in accordance with Building Regulation Part M – Access & Use of Buildings.

The dwelling will be designed to meet the M4(2) accessible and adaptable dwellings standard, in accordance with London Plan Policy D7. Circulation within the ground floor is arranged to satisfy this requirement, as demonstrated on the proposed ground floor plan (772-P-3F).

Transport

The existing carriage driveway is to be retained and, on the basis of a one-for-one replacement dwelling, the increase in the number of car journeys will be minimal.

The retention of the carriage driveway, served by two points of access, allows cars to exit the property in forward gear.

Parking for cars on the frontage driveway, together with the attached single garage, will adequately meet the parking requirements set out in DM Appendix C.

8. SUSTAINABILITY MEASURES – ENERGY CONSERVATION

The new dwelling is designed to reduce the carbon footprint wherever possible.

Accordingly, and although the orientation of the building is effectively fixed by the regular, established pattern of development along Nicholas Way, the design nonetheless responds positively to solar orientation. The rear elevation, which is the most highly glazed, faces

south-east, so that useful solar gain is balanced against a reduced risk of overheating and a correspondingly reduced reliance on active cooling. The west-facing elevation features minimal glazing, further reducing the likelihood of overheating. The following measures of sustainability are proposed:-

- Integrated, flush-mounted photovoltaic (PV) solar panels to the east and west roof slopes, generating renewable electricity, including to run the cooling system.
- An air-source heat pump (ASHP) providing space heating and hot water; no gas boiler is installed.
- Mechanical ventilation with heat recovery (MVHR).
- High levels of fabric insulation throughout.
- All windows and doors achieving a combined U-value of between 1.0 and 1.4 W/m²K.
- SUDS rainwater disposal.
- Internal and external lighting 100% low energy.
- Water-efficient sanitary fittings, with internal taps fitted with aerated flow restrictors.
- 'A' rated energy-efficient white goods.

The air-source heat pump has a sound power level of 67 to 68 dB(A) and a sound pressure level of 45 to 53 dB(A) at a distance of 1 metre. The unit will be positioned and, where necessary, acoustically screened so that noise levels at the neighbouring boundaries remain acceptable.

9. CONCLUSION

The site is located within the urban area of Northwood where the principle of residential development is accepted.

The recent planning history of the site, including the extant permission for substantial extensions to the existing dwelling (ref 23342/APP/2024/2618), has been taken into account and provides a material fallback position in support of the current proposal. The proposals are considered to meet the Local and National Planning Policy guidelines laid down and used for local and neighbouring developments to ensure that the low-density and spacious character of the Copse Wood Estate Area of Special Local Character is preserved.

The new dwelling will provide future occupiers with well laid out family accommodation and a good level of internal and external amenity.

Amenities for privacy and light currently enjoyed by adjoining properties are not adversely affected, and there is no unacceptable overlooking.

Overall, for the reasons set out above and justified within this report, the submitted scheme is considered to be acceptable, and in a form whose design, density, and scale fit comfortably within the established pattern of development in the locality.

JACK DUSEK & CO - JULY 2026