

Neighbours House
95 Hoylake Crescent

Neighbours
single storey
extension

assumed boundary position



ROOF LIGHTS on pitch roof

Rooflights to be double glazed + to meet 'U' value of min. 2.0 W/m sq.K. All roof lights to be A-A fire rated.

Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s. Must be 450mm minimum clear opening with non opening fasteners.

Slim line frame for pitched roof. Reset within roof tiles. Can be fixed to roof pitch as low as 12 deg. & as high as 90 deg.







FLAT ROOF LIGHT
VELUX or similar
slim line aluminium
roof light

To be double glazed + to meet 'U' value of min. 2.0W/m sq.K. All roof lights to be A-A fire rated.

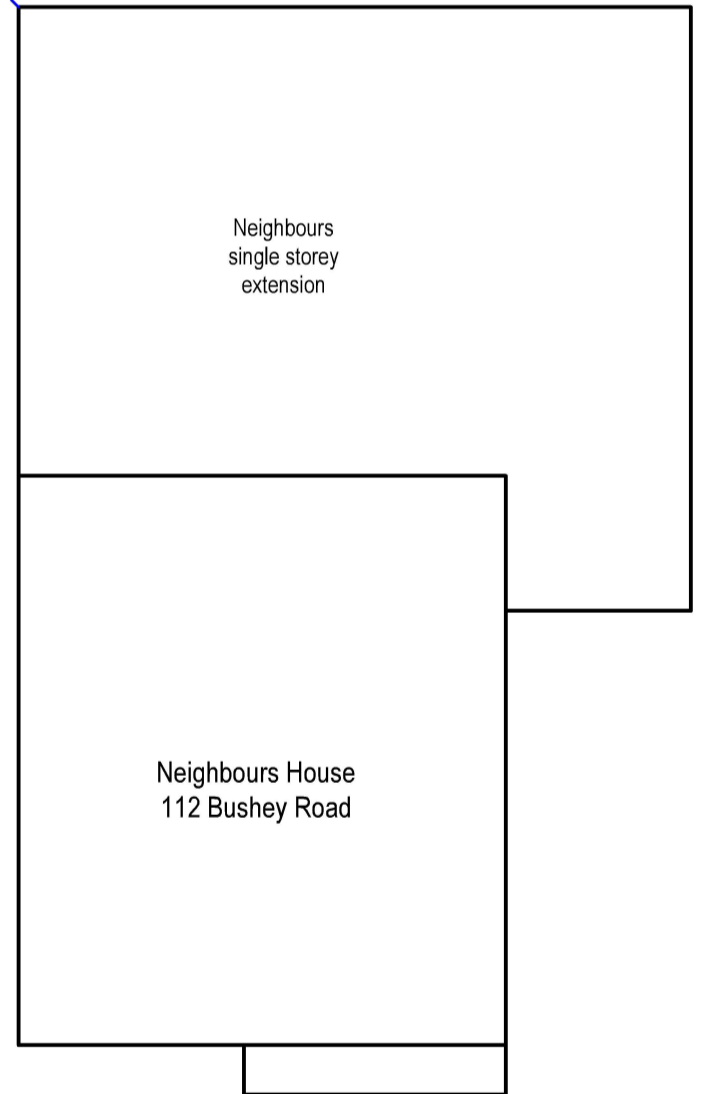
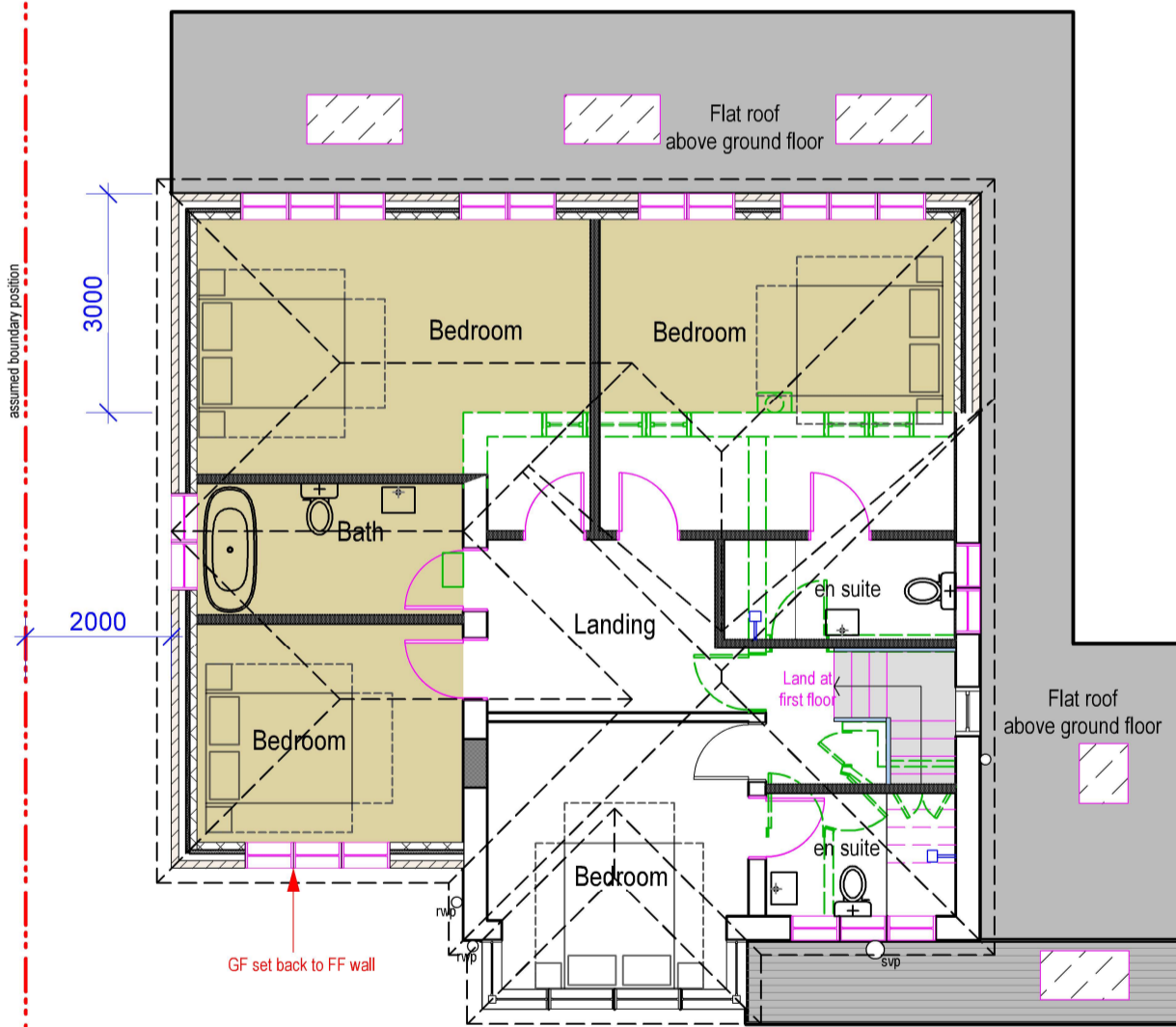
Fully thermally broken construction.

Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s.

Fixed in accordance with the manufacturers instructions.

-  New internal walls
-  New external walls
-  Walls to be demolished
-  New doors/windows
-  Proposed work shaded
-  Rooflight

HOYLAKЕ CRESCENT



12

PROP FF PLAN
Scale: 1:100

assumed boundary position

REV A - 01/05/2026

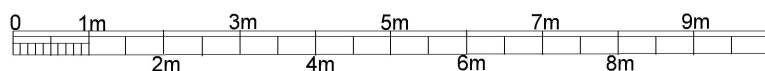
- GF set back to FF wall
- New rear roof to be same height as existing roof
- Rear extension increased by 500mm



tel : 0796 222 3141

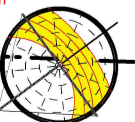
email : sandeep@sskarchitects.co.uk

scale - 1 : 100 @ A3



Purpose - Householder planning application

All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer. © SSK architects owns the copyright of this drawing which must not be reproduced in whole or part without the written permission.	PROJECT: 114 Bushey Road, Uxbridge, UB10 8JX	DATE: 30/02/2026
	DWG NO: PROP FF 12	REVISION: A



PROPOSED