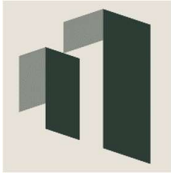


42 White Heart Avenue, Uxbridge, UB8 3EP

Planning, Design and Access Statement

August 2025





Contents

Contents	i
1. Introduction	1
2. Site & Surroundings	3
3. The Proposal	10
4. Planning Policy	14
5. Planning Considerations	16
6. Conclusions	21



1. Introduction

- 1.1 This document is submitted in support of an application for full planning permission for the following proposed development:

Retrospective planning permission for erection of bungalow with side facing dormers and accommodation in the roof following the demolition of existing dwellinghouse and garage.

- 1.2 The application property is shown on the ordnance survey extract at Figure 1.

**Figure 1: Ordnance Survey Plan Extract:
Source Land Insight**



- 1.3 This application follows planning permission ref: 21911/APP/2024/1910 for:

Erection of single storey side and rear extensions and a new front porch following demolition of existing porch. Conversion of roof space into habitable use to include 4no. side dormers, 2 side facing roof lights and hip to gable ends conversion with front facing gable end window and rear facing Juliette balcony. Amendments to fenestration including installation and removal of side facing windows.

- 1.4 It follows the subsequent demolition of the existing house and erection of replacement house in accordance with the approved design and massing, and an enforcement appeal decision ref: APP/R5510/C/24/3357693 in which the Inspector concluded that full demolition of the existing house did not form part of the original planning permission.

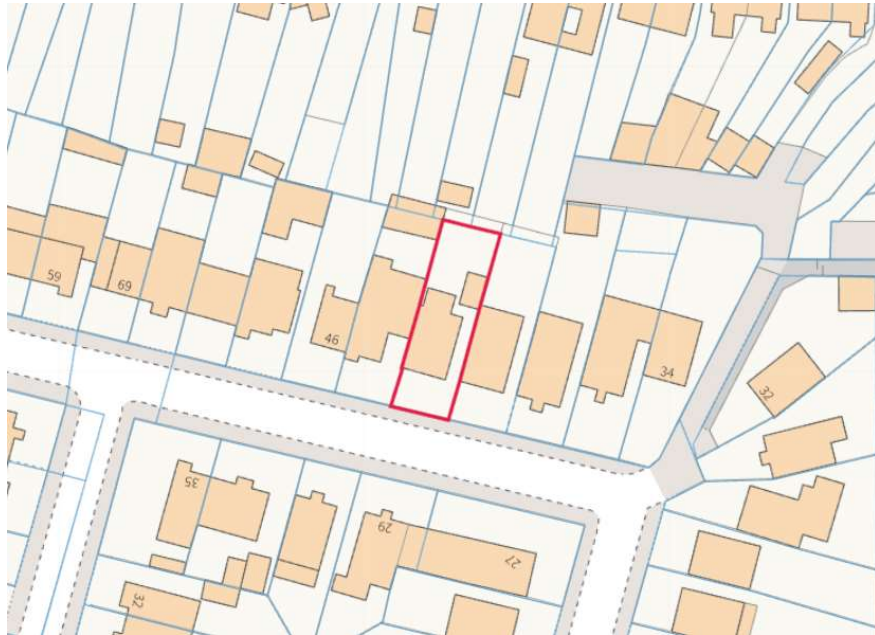
- 1.5 Construction work on a dwellinghouse resembling the one shown as proposed in drawings referenced in planning permission 21911/APP/2024/1910 ("the permission") is nearing completion, however construction has now paused.
- 1.6 This application seeks to regularise the situation by seeking retrospective planning permission for the demolition of the original dwellinghouse and its replacement with a dwelling which is as per the original approved design, minus the retention of the original side wall and original front wall, which were shown as retained on the original planning permission drawings.
- 1.7 Whilst the situation is unfortunate, given the principle of a replacement house is accepted and the acceptability of the design and massing has already been established, it is respectfully requested that retrospective planning permission is granted.
- 1.8 This statement considers the proposals against the relevant planning legislation and is set out under the following headings:
- Existing Site & Planning History
 - Proposed Development
 - Planning Policy
 - Planning Considerations
 - Conclusions
- 1.9 This Statement should be read in conjunction with the submitted planning drawings, SUDS information, urban greening factor calculation and energy report.



2. Site & Surroundings

- 2.1 The original property was formed of a detached pitched roof bungalow with front drive, side access and a garage to the rear.
- 2.2 The location and extent of the site is indicated on the ordnance survey extract at Figure 2.

Figure 2:
Ordnance
Survey Extract:
Source Land
Insight



- 2.3 Photographs of the original building are included within submitted document: Site Photos PLA- 201_A by Whitfield Design.
- 2.4 Construction on the replacement building is advanced as per approved planning permission ref: 21911/APP/2024/1910 and the original house and garage have been demolished. Photographs of the as-constructed building are included at Figures 3 to 6.

Figure 3: White
Heart Avenue
Elevation



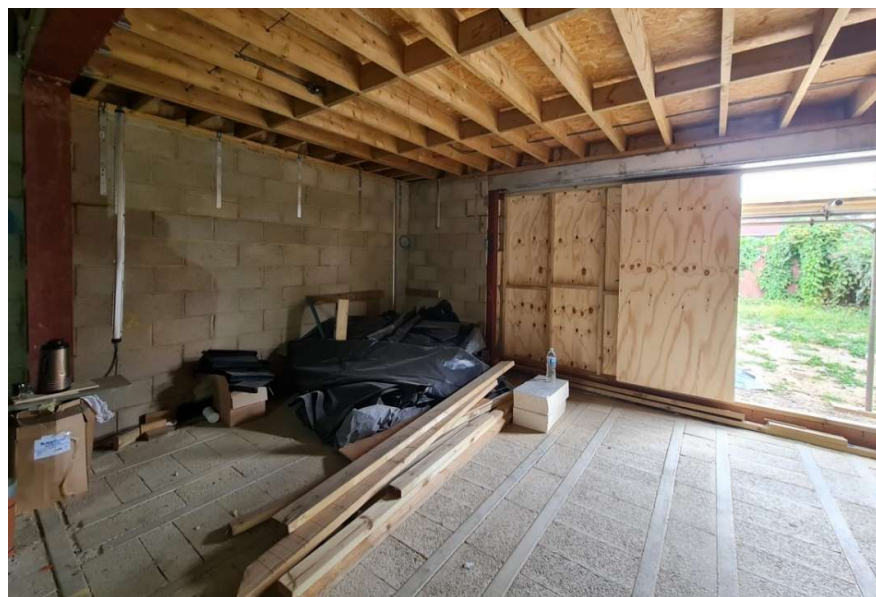
Figure 4:
Rear
Elevation



Figure 5:
Rear
Garden



Figure 6: Ground
floor interior of
the house



2.5 The immediate surroundings of the application site are described below:

- To the north, the site backs on to the rear garden of 19 & 21 Haig Road. There is approximately 45m separation between the as built house and the rears of these properties.
- To the east, is a single storey bungalow, no. 40, which has been extended to the rear and is built on the boundary line of the applicant's land.
- To the west, is a two-storey house, no 44, which is a former bungalow that was extended at first floor level, with dormer windows facing into the application site.
- To the south, the property is located opposite a detached bungalow, no. 29.

2.6 White Heart Avenue is predominantly formed of detached bungalows, with some two storey properties at the northern end. The four neighbouring properties to the west of the application site have been subject to side extensions to provide a second floor of accommodation, as shown in the photograph at Figure 7.

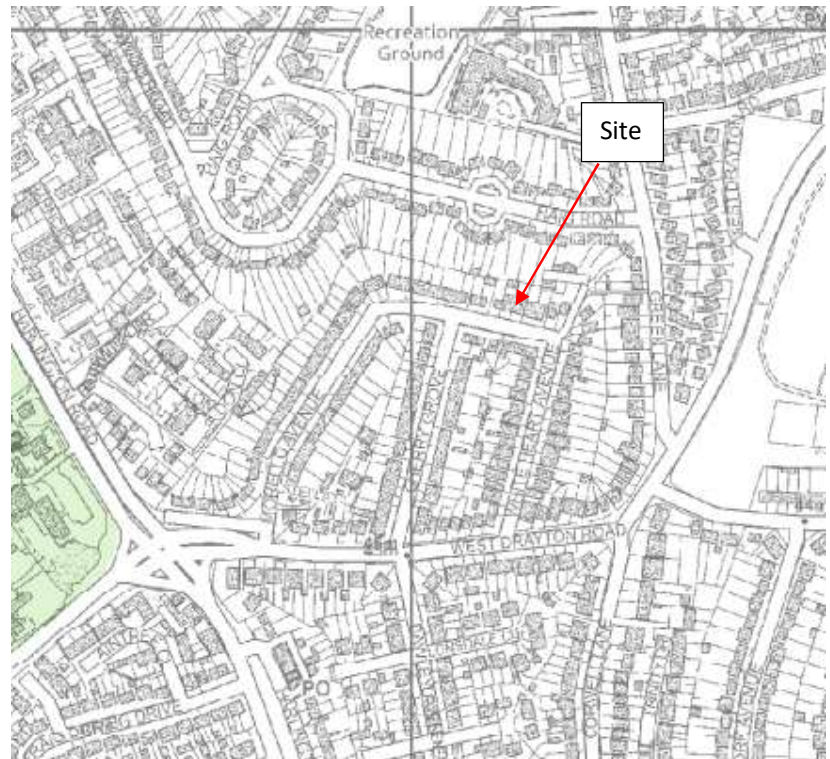
Figure 7: Neighbouring properties to the west –
Source Google Streetview



Designations

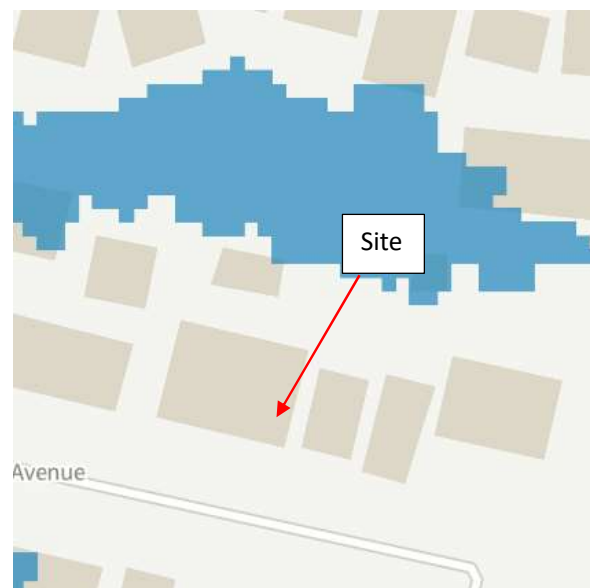
2.7 The site is in the built-up area but is not subject to any site specific designation in the adopted policies map.

**Figure 8: Local Plan
Part 2 Policies Map
Extract**



- 2.8 The site is not located in a conservation area and there are no listed buildings in the vicinity of the site.
- 2.9 The site is located in Flood Zone 1. There is an area of surface water flood risk at the rear boundary of the site.

**Figure 9:
Environment
Agency Surface
Water Flood Map**



- 2.10 The site has a Public Transport Accessibility Level of 2.

2.11 The planning history for the church is set out below.

23/09/2024	21911/APP/2024/2545	Erection of a single storey rear extension and conversion of roof space to habitable use to include 2x side dormers and conversion of roof from hip to gable ends to the rear, with new gable end windows (Application for a Certificate of Lawful Development for a Proposed Development) (Amended Description)	CLD Granted
04/11/2024	21911/APP/2024/1910	Erection of single storey side and rear extensions and a new front porch following demolition of existing porch. Conversion of roof space into habitable use to include 4no. side dormers, 2 side facing roof lights and hip to gable ends conversion with front facing gable end window and rear facing Juliette balcony. Amendments to fenestration including installation and removal of side facing windows.	Planning Permission Granted

2.12 The following key conclusions are set out in the officer report for approved application ref: 21911/APP/2024/1910.

- *...no envisaged highway related implications or demands imposed on this application*
- *The front extension would not span the full front elevation. The size of the porch and forward projecting element would be modest in size in relation to the rest of the house and is not too dissimilar to what is already existing.*
- *The application property features an existing hipped roof. The application proposes to increase the width and height of this element and convert it to a gable ended roof form. The fronted gable would include a new centrally located window at first floor level and to the rear a juliet balcony is proposed, **officers find this new streetscene introduction to be in keeping and not overly dominant as similar elevations can be seen on many other properties within the streetscene and wider vicinity.***
- *It is considered that **the proposed increase in ridge height would not appear dominant or overly large in comparison to the neighbouring properties.***
- *The proposed side dormers are relatively modest in scale and sit subservient to the proposed roof slope and do not measure more than two thirds of the main*

roofslope. It is acknowledged that there are a number of properties in the vicinity which feature side dormers, in particular along Green Lane and No. 44 Whiteheart Avenue (adjacent the site). It should also be noted that recently the site benefited from an approved Certificate of Lawfulness application for larger dormer roof additions than what is proposed. In this regard, **it is not considered that the proposed side dormers would appear out of character in terms of the surrounding streetscene.**

- The application includes the provision of a rear Juliet balcony and 2 no. roof lights. The roof lights are of relatively small scale and unlikely to be readily visible from the street scene.
- Whilst the application proposes to increase the ridge and width and the introduction of a rear and front gable, the existing building line to the front would be retained and the proposed roof design would follow similar characteristics to the existing roof design of nearby properties. In this regard, **it is not considered that the proposed development would fail to respect the architectural composition of the host dwelling.**
- ...the application site benefits from a CLD for significant loft development which would result in some level of harm to the neighbouring property although limited and permitted. This sets the parameters for which future development within the loft as part of this application should be based. In essence its the potential and additional impact above what was approved within the CLD which needs to be assessed raising of the ridge height would not be significant enough to warrant refusal on character and appearance grounds. **Furthermore the proposed ridgeline would be viewed as a transition of heights between 44-40 Whiteheart Ave as it sits lower than 44 but above 40.**
- No. 42 - Given the presence of the neighbouring rear extension and modest depth of the new rear extension, **it is not considered that the proposal would result in overshadowing, loss of light nor a sense of enclosure to the neighbouring property.** There is 1 no. window proposed on the ground floor eastern elevation facing the neighbouring property. The windows on the ground floor would face the existing boundary treatment and would not result in unacceptable overlooking and due to it serving a bathroom it will be obscure glazed. The proposed dormer windows facing No. 42 are proposed to be obscurely glazed, all obscure glazed windows will be secured by condition. These dormer windows will face the roofslope of no. 42.
- No. 44 - The neighbouring property features two dormer style windows on the roofslope western. The existing windows already face the roofslope at the application site. Despite the increase in ridge height and introduction of dormers, **it is unlikely that the proposal would result in unacceptable overshadowing or a loss of light** given the separation distance and orientation. Further, having regard to the neighbouring side and rear extensions, it is not considered that the proposal would appear overbearing or result in a loss of outlook to the neighbouring property. The proposed dormer windows facing No. 44 are proposed to be obscurely glazed. There are 1 no. roof lights facing No. 44 which

will serve the landing, **the windows would therefore not result in unacceptable overlooking to No. 44.** No windows on the ground floor are proposed.

- The proposed window to the front and juliet balcony at the rear would overlook the rear private garden of the application site and front garden respectively. Whilst some views may be achieved to neighbouring gardens, this would not be uncommon with the residential setting. It is therefore **unlikely that the proposal would result in undue overlooking to neighbouring properties.**
- The site benefits from hardstanding outside the front of the property which will be extended to allow for enough space for two cars. It is therefore **compliant with the recommended parking standards** set out in Table 1 of Appendix C, it is considered that the proposal is **unlikely to significantly exacerbate the pressure for street parking or prejudice highway safety.** [Our emphasis]

Enforcement Appeal – APP/R5510/C/24/3357693

- 2.13 An appeal against an enforcement notice for breach of planning control in relation to the demolition of part of the existing house was dismissed on 12 August 2025. This was due to the approved demolition was confined to specific parts of the house and did not allow for full demolition.
- 2.14 The Inspector confined themselves to the issue of demolition of the original dwellinghouse and made no comment or conclusions regarding the acceptability of the replacement house, other than to make the following comment: ‘*Construction work on a dwellinghouse resembling the one shown as proposed in drawings referenced in planning permission 21911/APP/2024/1910 ("the permission") is nearing completion.*’
- 2.15 The notice requires the original house to be rebuilt and all resultant debris and waste to be removed.



3. The Proposal

3.1 This application proposes the following development:

Retrospective planning permission for erection of bungalow with side facing dormers and accommodation in the roof following the demolition of existing dwellinghouse and garage

3.2 This involves the following:

- Retrospective demolition of existing dwellinghouse and garage in rear garden (partially approved under previous planning permission)
- Erection of new dwelling with minor increase in width of the property on the east side (retaining 1.02m gap with no. 40), and west side elevation built on the location of the original west side boundary wall (same as approved design under planning permission ref: 21911/APP/2024/1910).
- Stepped single storey rear extension of up to 4m from original rear elevation (2m from existing projection).
- Provision of 4 no. side facing dormer windows containing modest sized windows with obscure glazing and non-opening below 1.7m.
- New porch to front elevation.
- Juliete balcony to rear first floor bedroom.
- Materials proposed are as follows:
 - Grey roof tiles
 - Grey hanging tiles
 - Black soffit and fascia
 - Windows / doors - black / grey frames
 - White / cream proprietary 2 coat waterproof render system

- Brickwork below damp proof course to be frost resisting engineering brick
- Increase in the size of the planted garden area to 110sqm due to reduction in size of rear patio and removal of existing outbuilding.
- Increase in size of planted area of front garden.
- Alteration to the front drive to accommodation 2 no. car parking spaces with 2 no. EV charging points (one passive, one active)
- Replacement of existing hard standing with permeable.
- Provision of cycle store in rear garden to provide 2 no. cycle spaces
- Bin store in front garden with 2 x 240l bins
- Dwelling is designed with level access for accessibility.
- Building meets building control standards for new dwellings and benefits from full plan check approval from the Building Control department of London Borough of Hillingdon.
- An Urban Greening factor of 0.4 is achieved as set out in the accompanying schedule.

3.3 The proposed drawings are included at Figures 10 to 14.

Figure 10: Proposed Site Plan (Please refer to full drawing for annotations)

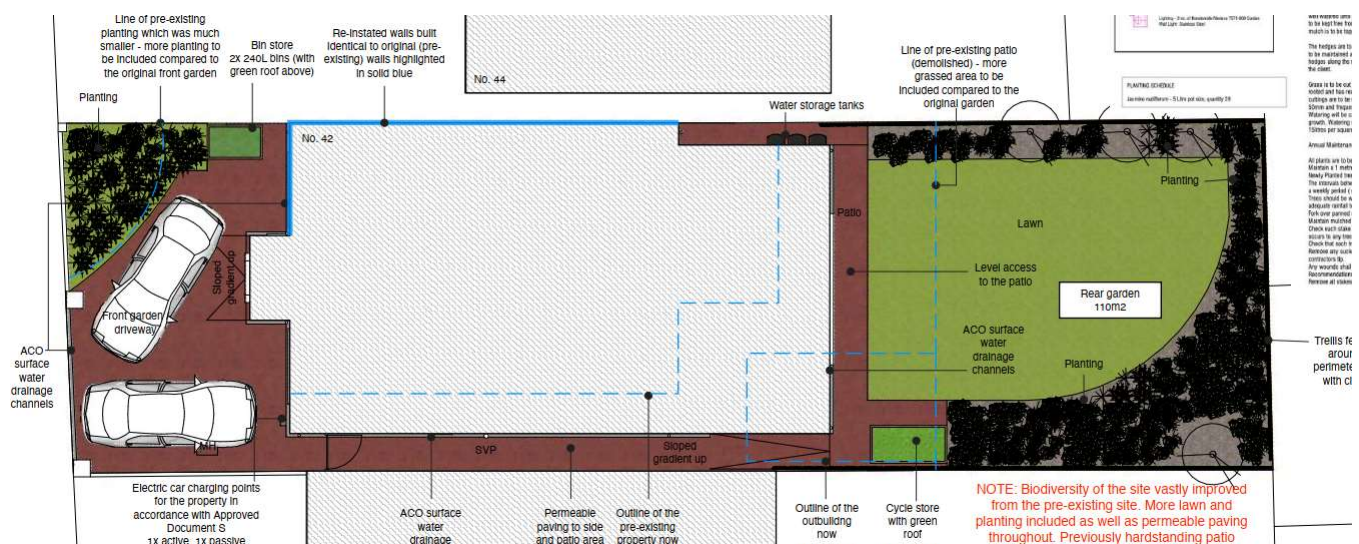


Figure 11: Proposed Ground and First Floor Plans

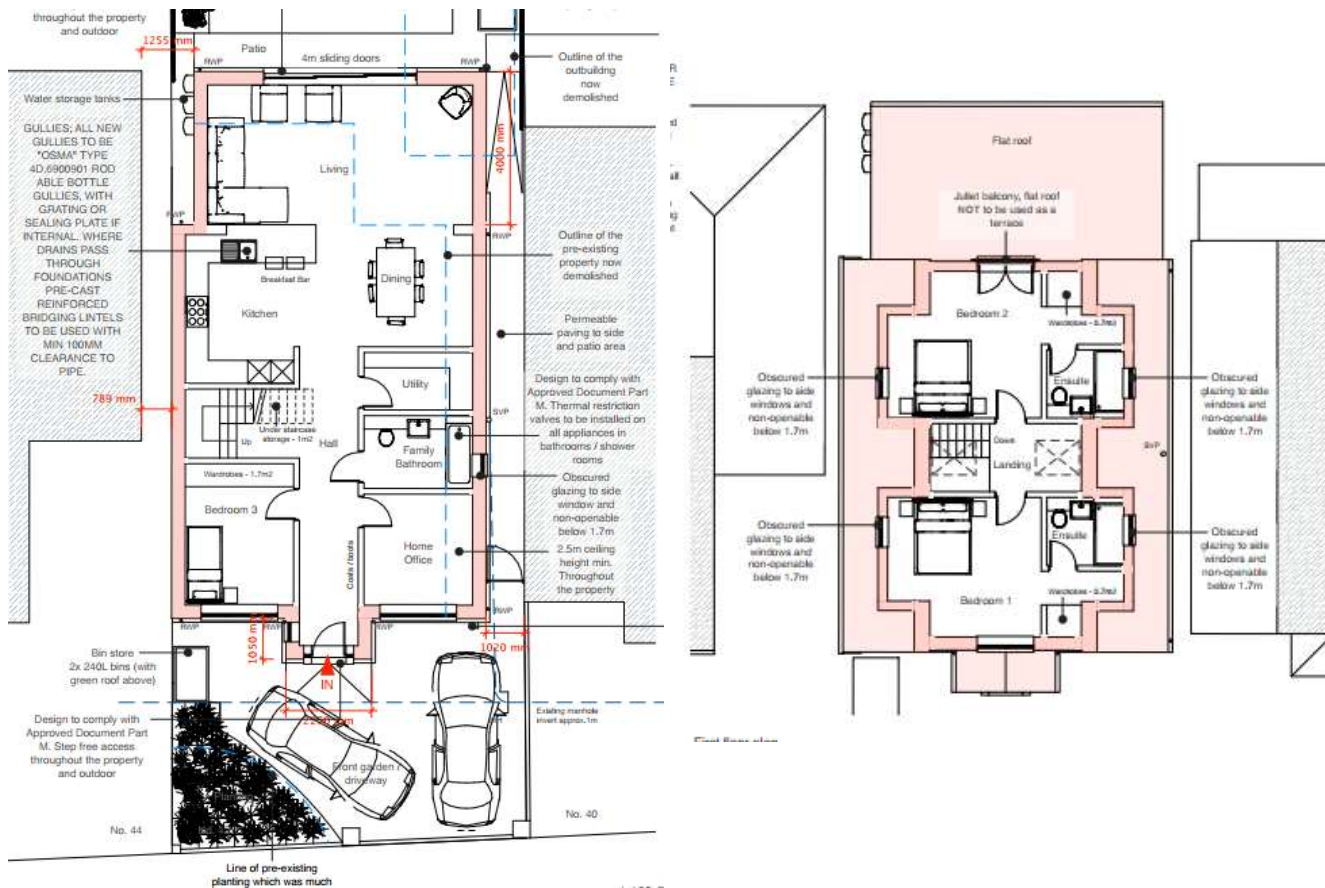


Figure 12: Proposed Front Elevation

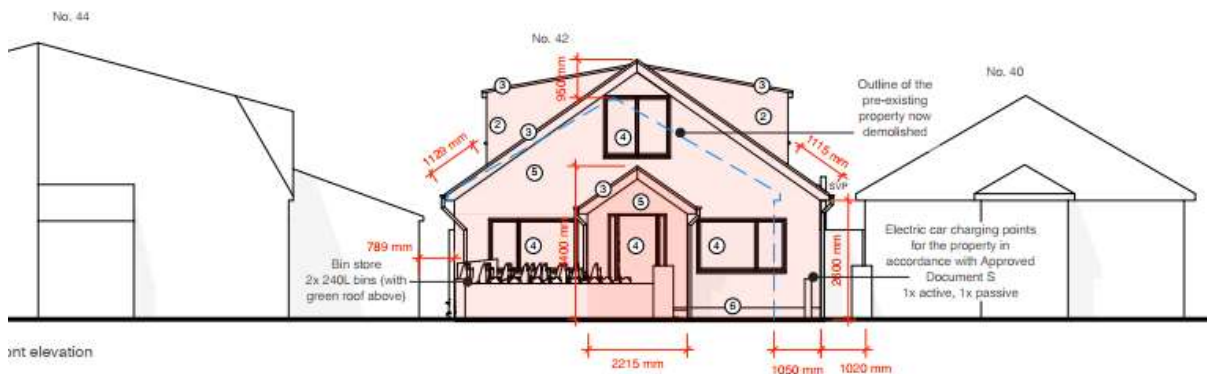


Figure 13: Proposed Rear Elevation

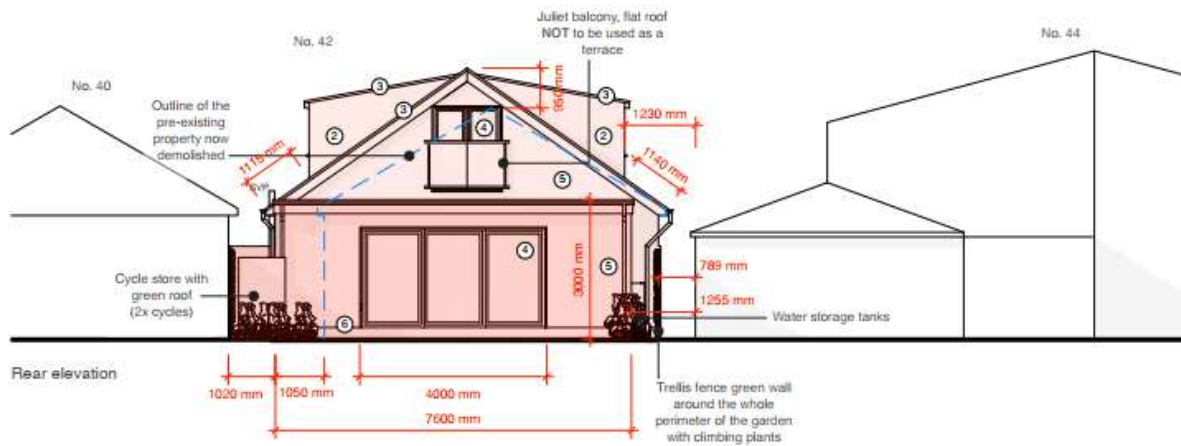
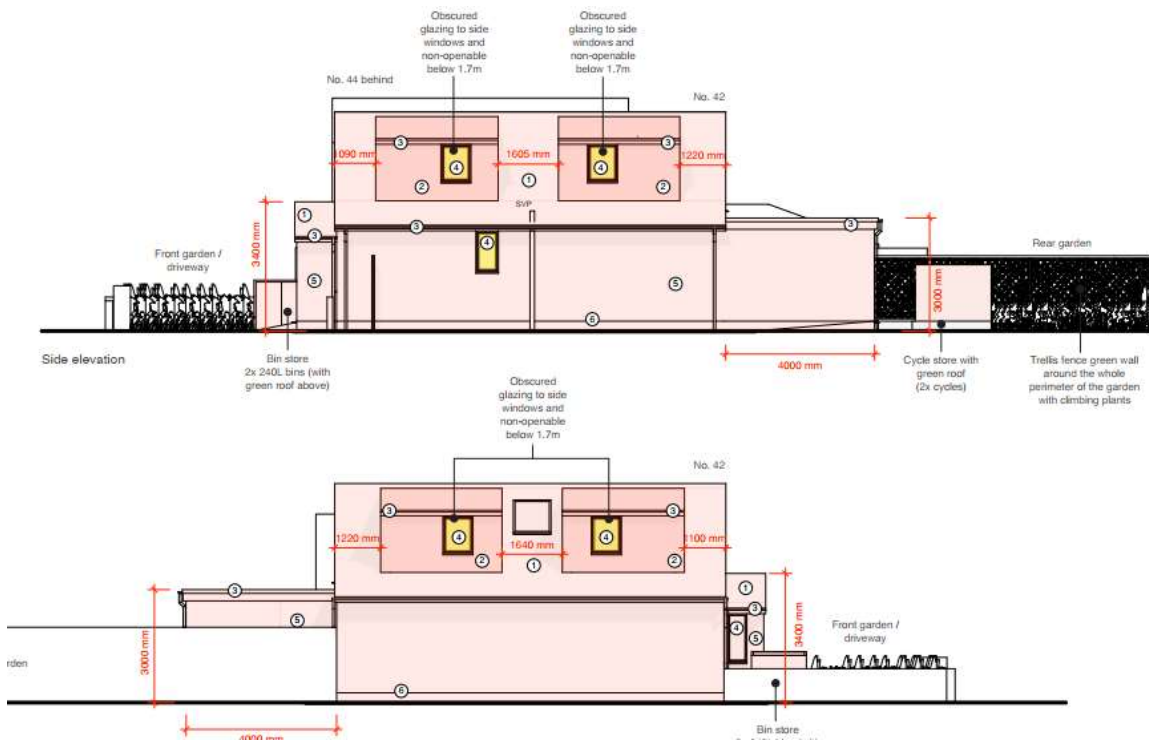


Figure 14: Proposed Side Elevations





4. Planning Policy

Planning Policy Context

4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states:

If regard is to be had to the development plan for the purposes of any determination under the planning acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.

4.2 The relevant development plan for the purpose of the application proposal comprises the following:

- Local Plan: Part 1 Strategic Policies (Adopted November 2012)
- Local Plan: Part 2 Development Management Policies (Adopted January 2020)
- The London Plan 2021

4.3 The following national policy and guidance are material planning considerations:

- National Planning Policy Framework (2024)
- MHCLG Planning Practice Guidance
- MHCLG National Design Guide (Updated January 2021)

4.4 The following supplementary planning documents are relevant:

- GLA – LPG – Housing Design Standards (2023)
- GLA – Housing SPG (March 2016)
- Accessible Hillingdon Supplementary Planning Document (Sep 2017)

National Planning Policy Framework 2024

4.5 Paragraph 11 states that decisions should apply a presumption in favour of sustainable development. For decision-taking this means *c) approving development proposals that accord with an up-to-date development plan without delay.*

4.6 Paragraph 131 states that, *‘The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of*

sustainable development, creates better places in which to live and work and helps make development acceptable to communities.'

- 4.7 Paragraph 135 requires developments to function well and add to the overall quality of the area for the lifetime of the development. Developments should be visually attractive as a result of good architecture, they should be sympathetic to local character and history and should establish a strong sense of place and create welcoming and distinctive places to live, work and visit. They should create places that are safe, inclusive and accessible and which promote health and well-being.
- 4.8 Paragraph 167 requires local planning authorities to give '*significant weight*' to the need to support energy efficiency and low carbon heating improvements to existing building, both domestic and non-domestic.

Local Plan: Part 1 Strategic Policies

- 4.9 The following Local Plan: Part 1 Policies are relevant to this application/:
- **Policy BE1** (Built Environment)
 - **Policy EM1** (Climate Change Adaptation and Mitigation)

Local Plan: Part 2 Development Management Policies

- 4.10 The following Local Plan: Part 2 Policies are relevant to this application/:
- **Policy DMH 1** (Safeguarding Existing Housing)
 - **Policy DMHB 11** (Design of New Development)
 - **Policy DMHB 12** (Streets and Public Realm)
 - **Policy DMHB 14** (Trees and Landscaping)
 - **Policy DMHB 16** (Housing Standards)
 - **Policy DMHB 17** (Residential Density)
 - **Policy DMHB 18** (Private Outdoor Amenity Space)
 - **Policy DMEI 2** (Reducing Carbon Emissions)
 - **Policy DMEI 7** (Biodiversity Protection and Enhancement)
 - **Policy DMT 5** (Pedestrians and Cyclists)
 - **Policy DMT 6** (Vehicle Parking)



5. Planning Considerations

Principle of Development

- 5.1 The site is in the built-up area in a residential location in a sustainable location close to shops, services and public transport links.
- 5.2 Prior to demolition and the partial construction of the new house, the site was occupied by a single storey bungalow and garage. The original house and garage were of no architectural merit that would require their retention.
- 5.3 The proposal will replace the original house with a house built to modern standards of construction with a higher energy efficiency. The planning permission for extensions (ref: 21911/APP/2024/1910), allowed the demolition of most of the original structure. The further demolition will enable a higher performance insulation of the building and will result in a sustainability benefit.
- 5.4 The principle of demolition of existing building and replacement with a new dwelling is therefore considered to be acceptable.

Design Considerations

Single-storey rear extension

- 5.5 The proposed house has a stepped rear ground floor extension. This extends up to a maximum of 4m over the original hardstanding.
- 5.6 The properties along the northern side of White Heart Avenue have had various rear extension such as there is no consistent rear building line. The extension will be broadly in line with the rear projection of no. 44 and that of no. 38. This is shown in the as-built drone photograph at Figure 14.

Figure 15: Drone photograph of as-built rear extension



- 5.7 As was concluded by the Council in relation to the extensions application, an extension of these dimensions will not result in any harm to the amenity of the neighbouring properties.

Side-facing dormer windows

- 5.8 The enforcement notice requires the reconstruction of the original house. If this were to take place, the replacement house would benefit from permitted development rights. It would therefore be possible for side-facing dormer extensions to subsequently be added to the re-built original house as permitted development.
- 5.9 The proposed side facing dormer windows are smaller in size than those originally permitted under CLD application reference: 21911/APP/2024/2545 and which could be constructed if the original dwelling were reconstructed as currently required by the notice. The proposed windows are off-set from the side facing windows at no. 44.
- 5.10 The acceptability of the dormers as proposed was considered under PP application reference: 21911/APP/2024/1910. Whilst the ability to construct side dormers under permitted development was discussed in the officer report, the acceptability of the design was also discussed and it was concluded that the dormers would not appear out of character in the street scene. Impact on amenity was also considered, and it was concluded that

there would be no overlooking resulting from the windows due to the obscure glazing and the fact they will be non-opening above 1.7m.

Ridge Height

- 5.11 The application includes a modest increase in the ridge height of the building to accommodate the first-floor accommodation. This sits below the ridge height of no. 44 and forms a stepped transition between no. 40 and 44. This was accepted by the Council in relation to the planning permission for extensions which considered the same increase in ridge height as is currently proposed.

Front boundary

- 5.12 The front boundary will be formed of a low boundary wall with planting behind. This is in accordance with the character of front boundary treatments in the street scene.

Juliette Balcony

- 5.13 A Juliette balcony is proposed at the rear of the property. This is located approximately 45m distance from the rear of the neighbouring property to the north and will not cause any unacceptable overlooking to the rear of this property.

Street scene

- 5.14 The house will be built on the original side boundary wall adjacent to no. 44. This is as per the original house, which, as things stand, is required to be rebuilt either by permission of this retrospective application or by complying with the enforcement notice order which requires the original walls to be rebuilt. A separation distance of 1.02m is retained with no. 40. The original front building line is maintained. It is considered that the character of the street scene will be maintained.
- 5.15 Replacing the original wall adjacent to no. 44 provides enhanced structural stability and thermal performance. It represents an improvement compared with the former structure and does not alter the historic relationship between the two properties. There will be no material worsening of the situation from the rebuilding of the wall in this location.
- 5.16 It is also relevant that there is currently scaffolding erected with a two-board space between the wall of No.44 and the applicant's property,

demonstrating in practical terms that there is adequate separation for future maintenance, access, or emergencies.

Residential Standards

- 5.17 The internal living space will provide good quality accommodation. The rooms will be well-lit, with good outlook over private garden space, with the main living space directly adjoining the rear garden.
- 5.18 The accommodation meets the Nationally Described Space Standards.
- 5.19 The main sitting space exceeds the minimum 3.5m width requirement set out in the LPGG to achieve a functional layout.
- 5.20 The house benefits from built in storage, including a utility room at ground floor level. A dedicated study room is provided.
- 5.21 Following the demolition of the original garage and erection of extended building, the property will benefit from private amenity space in the rear garden off 110sqm
- 5.22 This is in accordance with the 60sqm minimum requirement for 3 bedroom dwellings set out in Table 5.3 of the Local Plan Part 2

Highways Considerations

- 5.23 Two car parking spaces are provided in accordance with adopted standards. These will use the existing vehicular access. The proposed arrangement was considered acceptable by both highways and officers in relation to the extensions application.
- 5.24 A cycle store providing secure cycle parking is proposed in the rear garden and full details are submitted with this application. The cycle store provides space for two cycle spaces in accordance with adopted standards. There are provided as Sheffield stands within a secure store formed of mild steel and anti-vandal polycarbonate.
- 5.25 2 x EV charging points are proposed. One active and one passive.
- 5.26 A bin store is provided at the front of the property for kerb-side collection as per the existing situation.

Biodiversity

- 5.27 The proposed development is exempt from the biodiversity condition due to affecting under 25sqm of habitat and under 5m of linear habitat.

- 5.28 Nonetheless, habitat will be increased on the plot due to the demolition of the original garage and reduction in patio area. Biodiverse planting is proposed, as set out in the submitted Site and Landscaping Plan.
- 5.29 The site will achieve an Urban Greening Factor of 0.4 in accordance with the minimum standard. This is an improvement on the existing situation.

SUDS

- 5.30 The development will result in an increase in permeable surfaces due to the reduction in patio and introduction of permeable surfaces to former hardstanding areas.
- 5.31 Water butts are provided for greywater recycling.
- 5.32 A full SUDs report is submitted as per BREe365.

Sustainability

- 5.33 Carbon reduction of is achieved through higher insulation and installation of a heat pump in accordance with the requirements of the LPP Guidance. This is set out in the accompanying energy report.

Accessibility

- 5.34 Level access is provided. The dwelling will meet the requirements of building regulations Part M.



6. Conclusions

- 6.1 This application seeks full planning permission for the following development:
- Retrospective planning permission for erection of bungalow with side facing dormers and accommodation in the roof following the demolition of existing dwellinghouse and garage*
- 6.2 Whilst the situation regarding enforcement is unfortunate and unforeseen by the applicant, the proposed principle, scale and design of development has been assessed by the Council under application reference 21911/APP/2024/1910 and concluded to be in accordance with adopted policy.
- 6.3 The extent of demolition undertaken during construction resulted in the requirement to apply for full planning permission for the proposed development (to include demolition) and this application seeks to address this.
- 6.4 As set out in detail in the planning considerations section of this report, the proposed development is in full accordance with adopted planning policy.
- 6.5 Planning benefits are brought forward through carbon-reduction, provision of EV charging, increase in biodiversity and general vegetation on the site, accessible housing under Part M and a higher standard of construction due to the erection of a replacement dwelling rather than substantial extensions.
- 6.6 As can be seen by viewing the (now paused) construction, the replacement dwelling has been constructed to a high standard and is in compliance with current building regulations for new dwellings.
- 6.7 The regularisation of the planning situation will allow construction to continue and allow the delivery of this high-quality family home to the borough.
- 6.8 The development complies with the policies of the development plan and the National Planning Policy Framework. It is therefore respectfully requested that planning permission is granted.



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