

Design and Access Statement

Our Ref

HA6 2NZ

Report Date

25/04/2024

Address

Endymion, Farm Road, Northwood, HA6 2NZ

Proposal

Erection of a first-floor side extension



1.0 Introduction

The applicant has appointed Express Planning Ltd. to prepare the necessary drawings and supplementary documents to pursue this Householder Application.

This statement accompanies a Householder Application and supporting documentation to indicate the proposed first-floor side extension at Endymion, Farm Road, Northwood, HA6 2NZ.

This application and drawings demonstrate that we will comply with Hillingdon Local Plan Part 1 and Part 2, Supplementary Planning Guidance, London Plan and National Planning Policy Framework.

This statement should be read in conjunction with the drawings.

2.0 Planning Policy (Hillingdon Local Plan Part 1 and Part 2, National Planning Policy Framework, London Plan, Hillingdon Supplementary Planning Document)

Hillingdon Local Plan Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.HE1 (2012) Heritage

Hillingdon Local Plan Part 2 Policies:

- DMHB 1 Heritage Assets
- DMHB 11 Design of New Development
- DMHB 4 Conservation Areas
- DMHB 12 Streets and Public Realm
- DMHB 18 Private Outdoor Amenity Space
- DMHD 1 Alterations and Extensions to Residential Dwellings
- DMT 6 Vehicle Parking

London Plan Policies:

- LPP D6 (2021) Housing quality and standards
- LPP D3 (2021) Optimising site capacity through the design-led approach

National Planning Policy Framework :

- NPPF 2023 Section 12 - Achieving well-designed places
- NPPF 2023 Section 16 - Conserving & enhancing the historic environment

Hillingdon Local Plan Part 2 | DMHD 1 Alterations and Extensions to Residential Dwellings

APPENDIX A: HOUSEHOLDER DEVELOPMENT POLICIES

Side Extensions

A1.10 A single storey side extension is a common means of extending a house to provide extra living or garage space. The size and width of a side extension should not dominate the original property and should appear subordinate to the main house. It should also reflect the architectural style of the main building. Single storey side extensions must be accommodated within the plot and not over-sail the neighbour's property. In Conservation Areas and Areas of Special Local Character, side extensions will be expected to be set back by one metre from the front wall of the main house.

A1.11 Two-storey side extensions on detached and semi-detached houses should be set back from the main front wall of the dwelling by at least one metre to provide definition between the original house and the extension. Similarly, roofs of side extensions should be set back from the front roof plane so that their ridges are lower than the main ridge to ensure that the addition reads as a subordinate element.

A1.12 All side extensions should be limited in width to less than half the width of the original property to avoid over-dominance of the original house.

3.0 Location & Setting

The property is situated along Farm Road, a residential road. The Endymion site is the first of a short row of residential building plots located on the Farm Road cul-de-sac in Northwood. Each plot on Farm Road is relatively wide and relatively deep, each with a detached house. The area is surrounded by trees to the north, with woodland.

Architecturally, the properties on this street are a delightful mix of styles and forms, each with its own unique charm. Yet, they all share a common thread of being relatively traditional in appearance, with either rendered stucco or brick facades.

The property does not fall in a Conservation Area or an area designated of Special Local Character; however, it reflects a sub-urban/semi-rural lifestyle situated on a big plot of land.

The street features off-street parking.



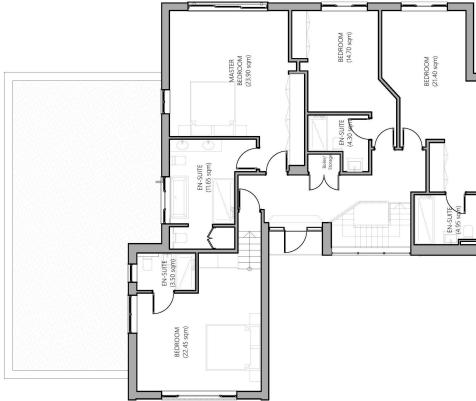
4.0 Amount & Layout | Existing and Proposed

The existing GIA of first floor is 140.20 sqm.

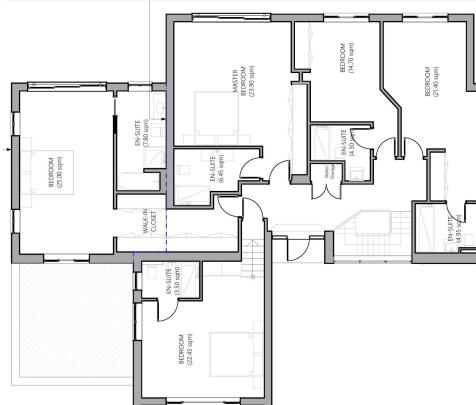
The proposed GIA of the first floor will be 181.60 sqm following the proposed first floor side extension.

The first floor side extension will provide a good size bedroom with an en-suite.

External alteration includes building walls and roof by using similar materials to the existing walls and roof slates.



EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

5.0 Scale | Proposed

The scale of the proposed first-floor side extension has been kept aligned with the main building and Local Plan Policies.

The side extension will have 6.29 m width and 7.28 m. The existing house has a 12.93 m width. The proposed side extension will be less than half the width of the existing dwelling and 4.91 m set-backed from the front outrigger. The width and set-back will align with Hillingdon Local Plan Part 2 Householder Planning Policies.

Also, Hillingdon Council Local Plan Policies state that the side extensions should be set back from the original roof line; however, given the unique design of the house, creating a roof that complements the existing dwelling will generate a symmetrical and aesthetically pleasing dwelling, thus, the proposed side extension roof line follows the existing roof line.

The dwellings on Farm Road have 15 m to 22 m external width in general. The total width of the dwelling after the side extension will perfectly fit between these measurements and the proposed side extension will be in line with the context and precedents. Therefore, the proposed extension is appropriate given the array of extensions that have been implemented and form the context of the street.

The proposed extension is sympathetic in both design and proportionate to the existing properties and public and private open spaces.

The proposed side extension is 30 m from 12 Hedgeside Road and 38 m from 14 Hedgeside Road.

The development does not have an overbearing impact, nor does it cause a significant sense of enclosure or loss of outlook from or light to the main windows of the habitable rooms of the neighbouring properties.



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

6.0 Access & Landscaping | Proposed

The main access to the building is located on the rear elevation and will remain the same.

The existing landscaping around the house will remain the same.



PROPOSED FRONT | ILLUSTRATIVE



PROPOSED REAR | ILLUSTRATIVE

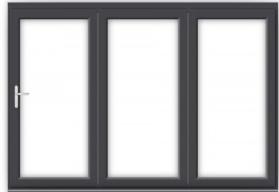
7.0 Appearance & Materials | Proposed

The existing walls are built with white renderings. The proposed side extension will be rendered white to match the existing roof.

The existing roof is built with grey slates. Grey roof slates will match the existing roof for the proposed side extension.

The front, rear, and side elevations were designed to be united with the host property's shape and outlook and not cause a sense of enclosure, loss of outlook from, or lack of light to the main windows of habitable rooms of the neighbouring properties.

The materials will be appropriate to the context: therefore, the new walls, roof and windows will match the existing character.



Windows



Pebbledash walls to match existing



Roof Slate

Conclusion

This application seeks a Householder Planning Approval for erecting a floor side extension to facilitate an extra bedroom with an En-suite at Endymion, Farm Road, Northwood, HA62NZ.

This application and drawings demonstrate that we will comply with the Hillingdon Local Plan Policies, London Plan, National Planning Policy Framework and Residential Design SPD.

The design and scale of the extension respect the existing building and the streetscape. The use of similar materials and architectural features ensures the development is sympathetic to the character of the building. The increased space will create high-quality living space for current and future occupants, thereby increasing the overall sustainability of the residence.

The proposal would not materially harm the area's character and appearance and would be in accordance with the Local Plan Policies.

We aim to work proactively with the LPA to create a high-quality and sustainable environment and believe this proposal enhances the building and the local area.

Should additional information, clarification or drawing be required to progress this application, please do not hesitate to contact Express Planning Ltd. We are happy to make any amendments to the proposal that the Hillingdon Council may suggest.

Tel: +44 (0) 749 057 49 25
Email: info@expressplanning.co.uk
Web: www.expressplanning.co.uk