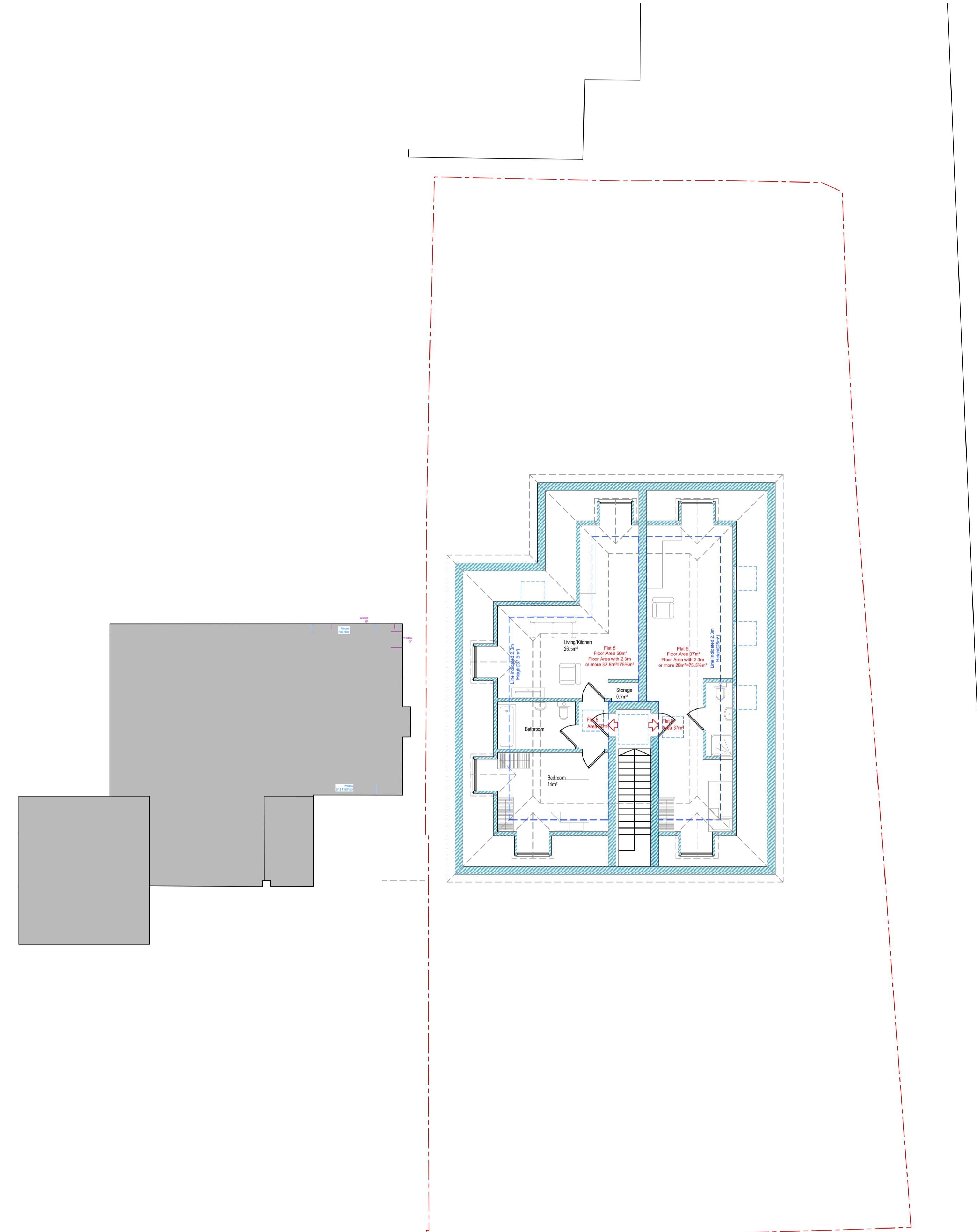


Proposed First Floor Plan
Scale 1:100



Proposed Second Floor Plan
Scale 1:100

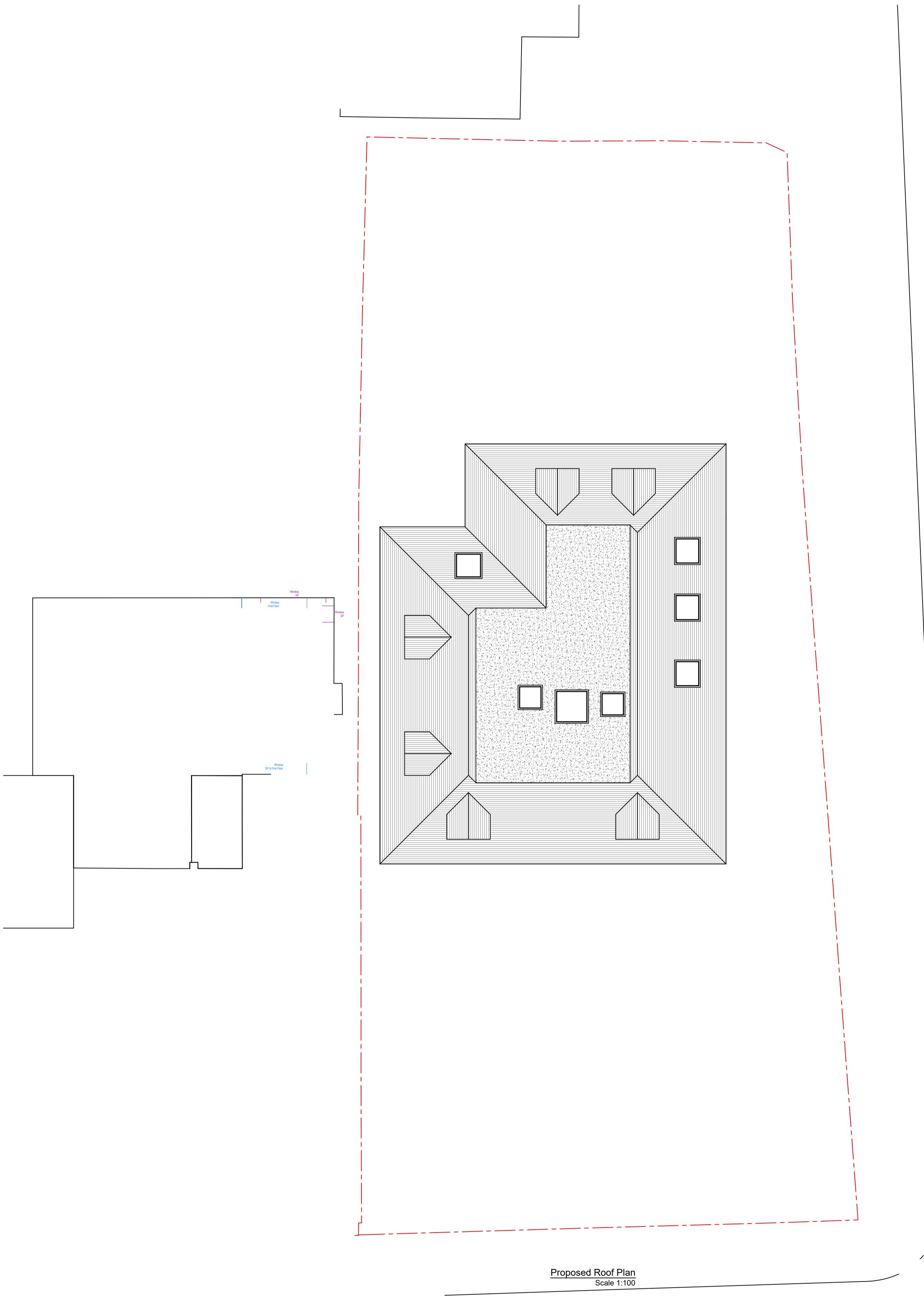
Revision	Date	Description

Important general note:
Please note that construction details, a complete site planning, building control, and other approvals have been submitted to the local authority planning and building regulations department, and the code of practice and relevant standards are necessary.

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2. This drawing is to be read in conjunction with all relevant architects, service engineer's and design and specification.

Scale: 1:100
Revision: 1st
Drawn/Checked By: Jun-21
Site Address: 47 Fairfield Road, Uxbridge UB8
Proposed FF & SF Plan
Drawing Number: FR47-AP4-1005
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Proposed Roof Plan



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

Revision	Date	Description

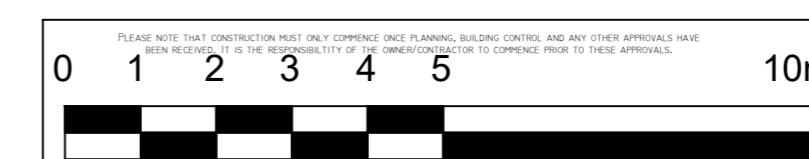
Important general note:
The specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.
all work is to be carried out to the local authority planning and building regulations approval, and the codes of practice and british standards as may be required.
all dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed contractor on site prior to engaging in works. any discrepancies must be reported to the architect/surveyor/engineer or responsible persons immediately.
the contractor is responsible for ensuring compliance with the cdm regulations, and appropriate health & safety on site precautions.
the client/building owner must obtain any necessary party wall agreements, prior to engaging in the works on site.

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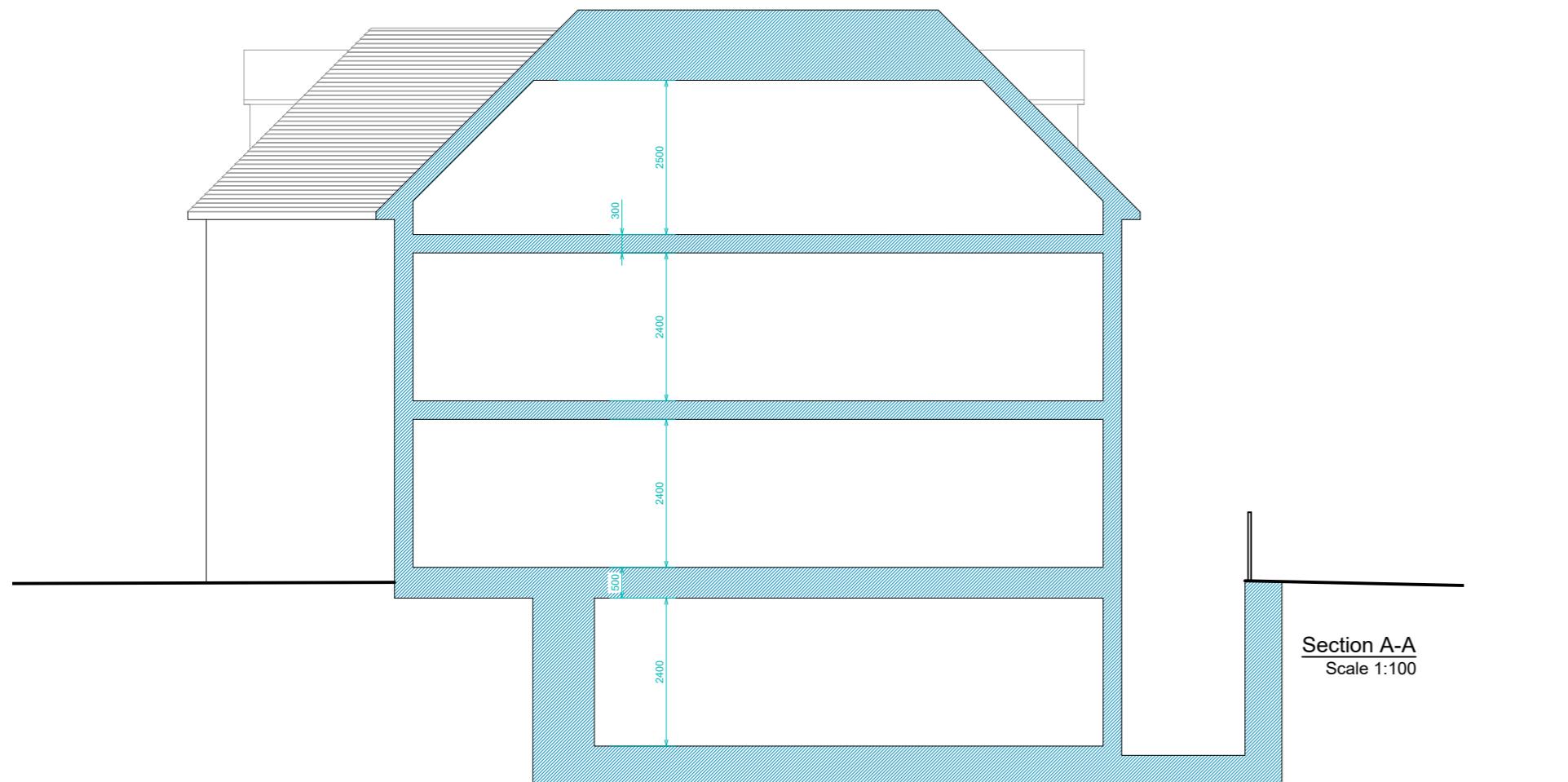
A2

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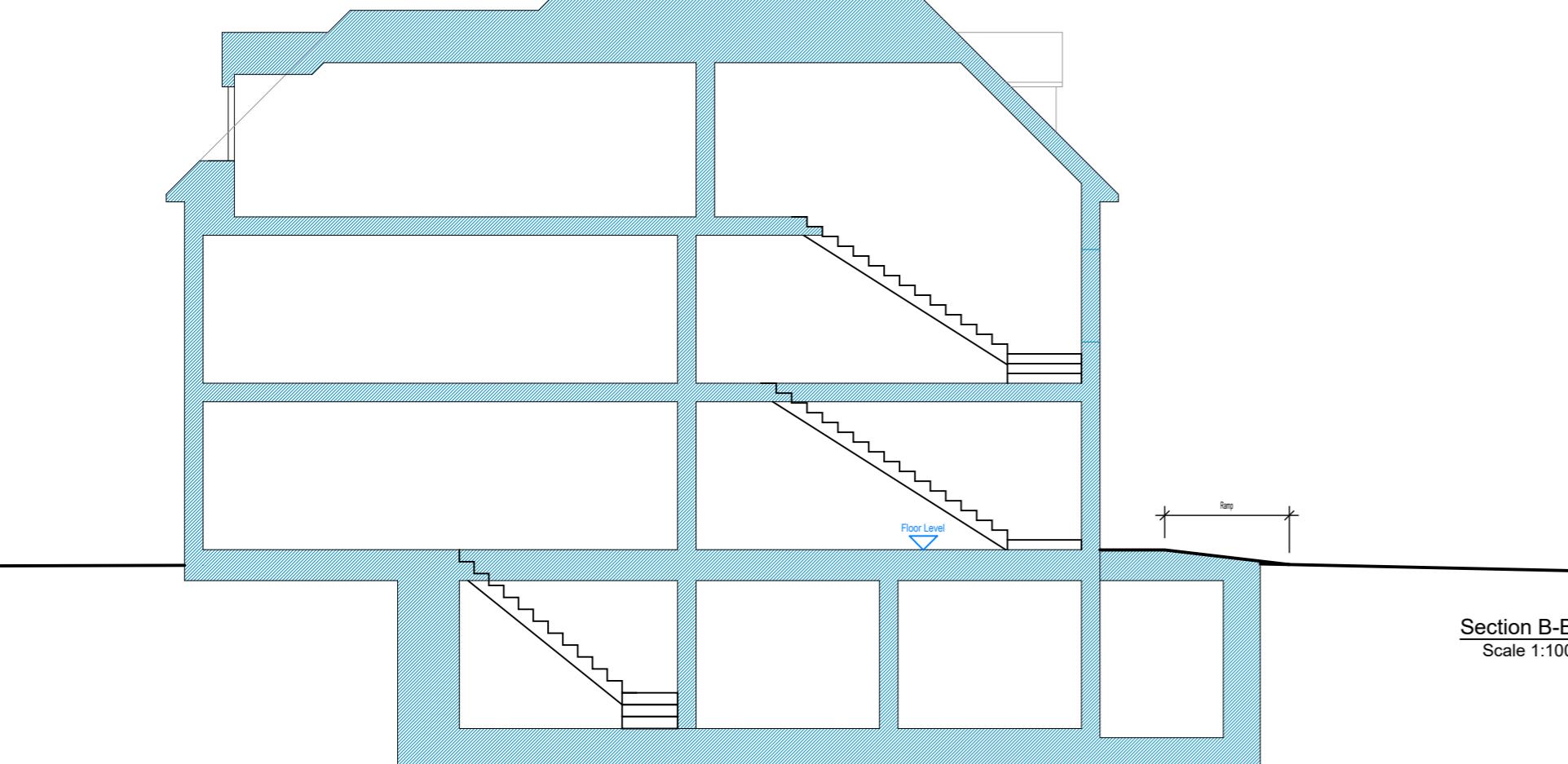


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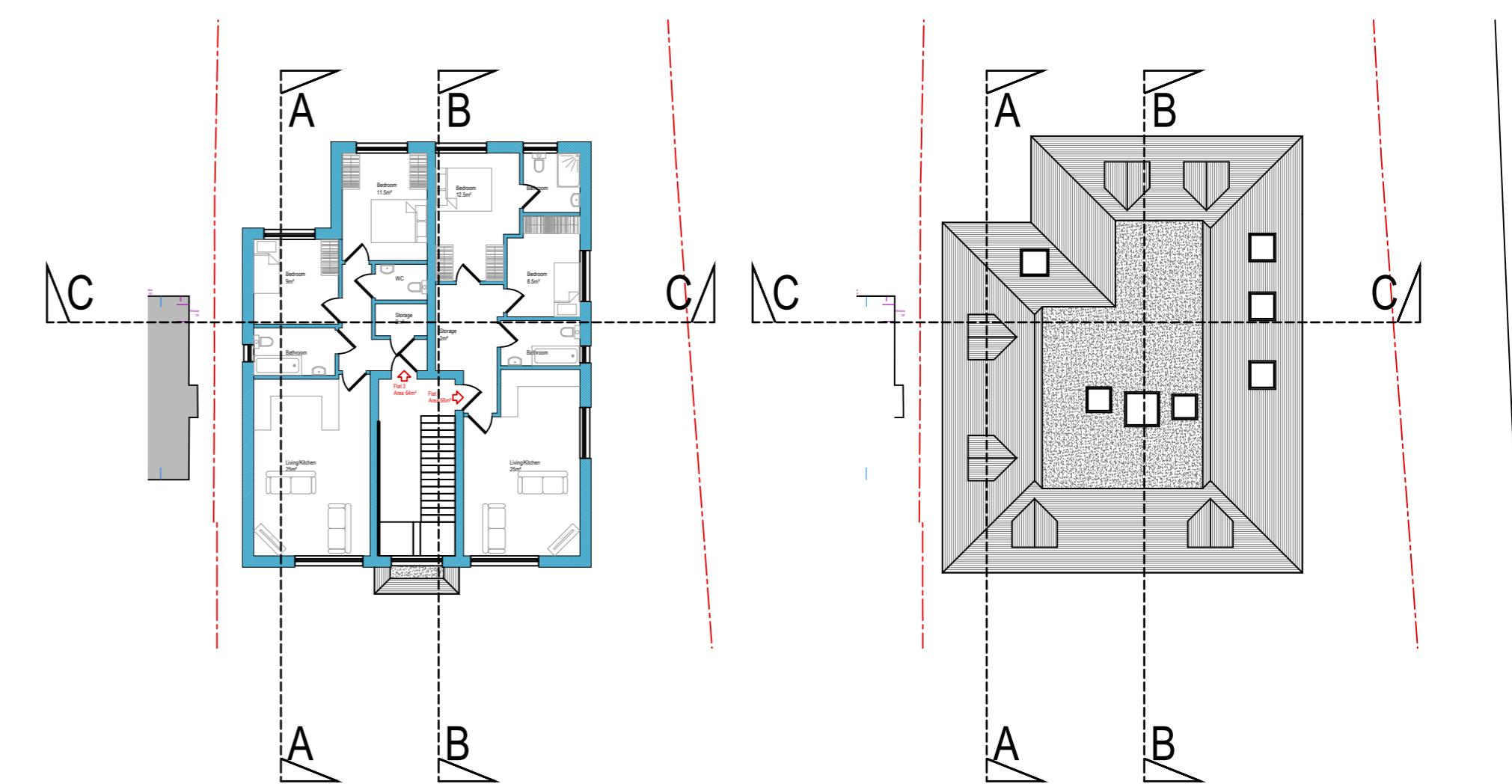
Scale	1:100	B-12 Development
Revision	1st	Architectural consultancy
	Jun-21	
Drawn By/Checked By	----	Proposed Elevations
		Drawing Number FR47-AP4-1008



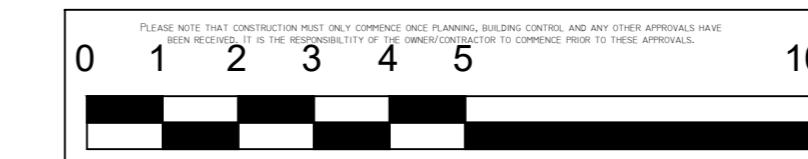
Section A-A
Scale 1:100



Section B-B
Scale 1:100



Section C-
Scale 1:10



important general note
the specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.
all work is to be carried out to the local authority planning and building regulations approval, and the codes of practice and british
standards as necessary.
all dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed contractor
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Scale B 12 Development

B-12 Development

1st Architectural consultancy

Jun-21	Site Address	Proposed
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Drawn By/Checked By	47 Fairfield Road Uxbridge	Sections
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--- Oxburgh Drawing Number
UB8 FR47-AP4

Page 1 of 1

A2

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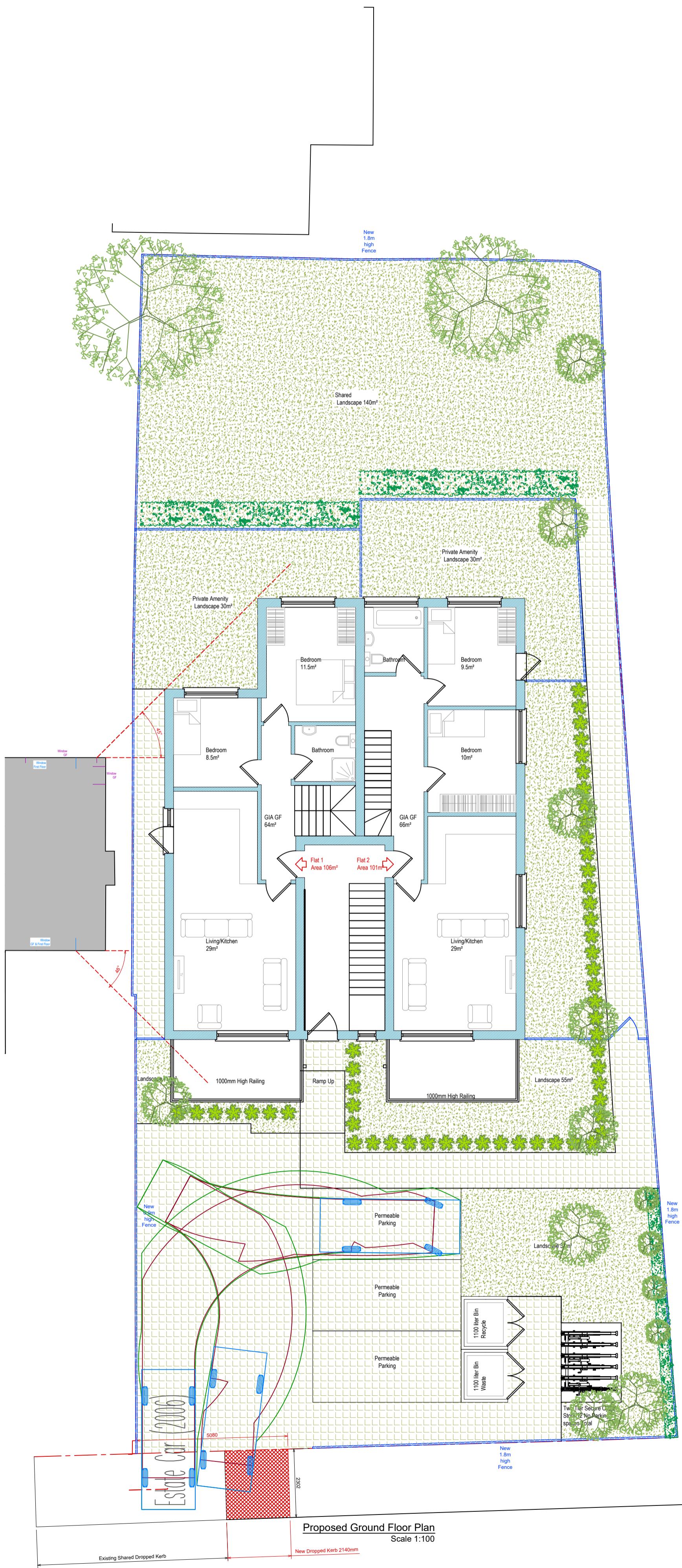
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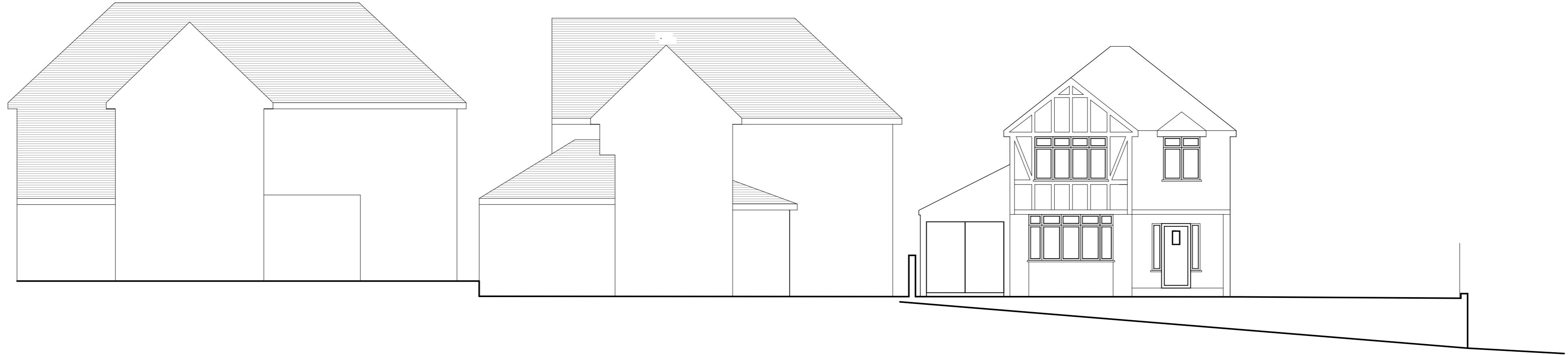
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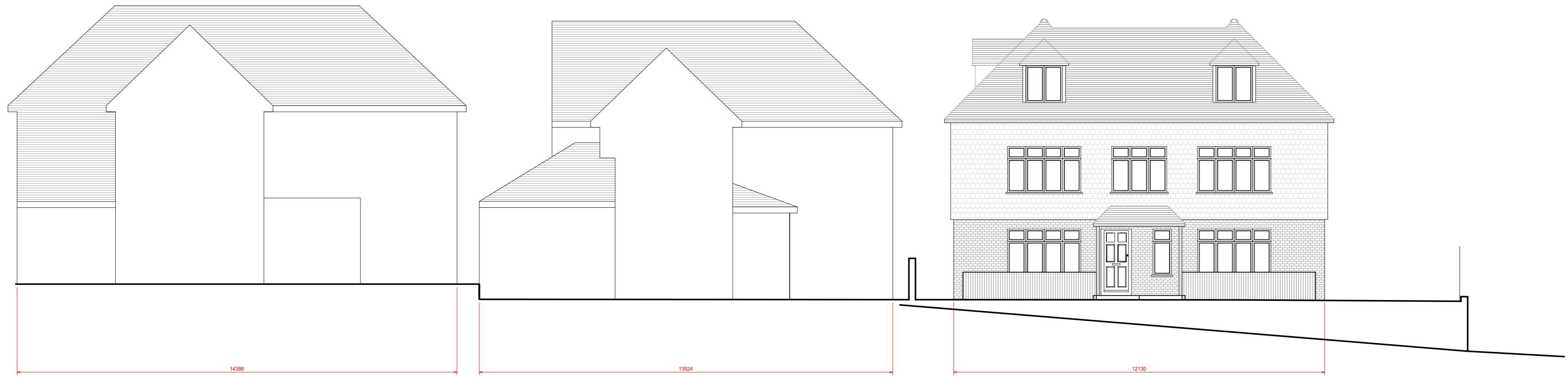
100



A1



Existing Front Street Scene
Scale 1:100



Proposed Front Street Scene
Scale 1:100

Revision	Date	Description

Important general note:
The specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.
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Scale: 1:100 Revision: 1st Jun-21 Drawn By/Checked By: -----

B-12 Development
Architectural consultancy

Site Address: 47 Fairfield Road, Uxbridge UB8 Existing & Proposed Street Scene

Drawing Number: FR47-AP4-1011

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0 1 2 3 4 5 10m

0 1 2 3 4 5

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Proposed Front Elevation Showing
Boundary Treatment
Scale 1:100



Proposed Side Elevation Showing
Boundary Treatment
Scale 1:100

Revision	Date	Description

Important general note:
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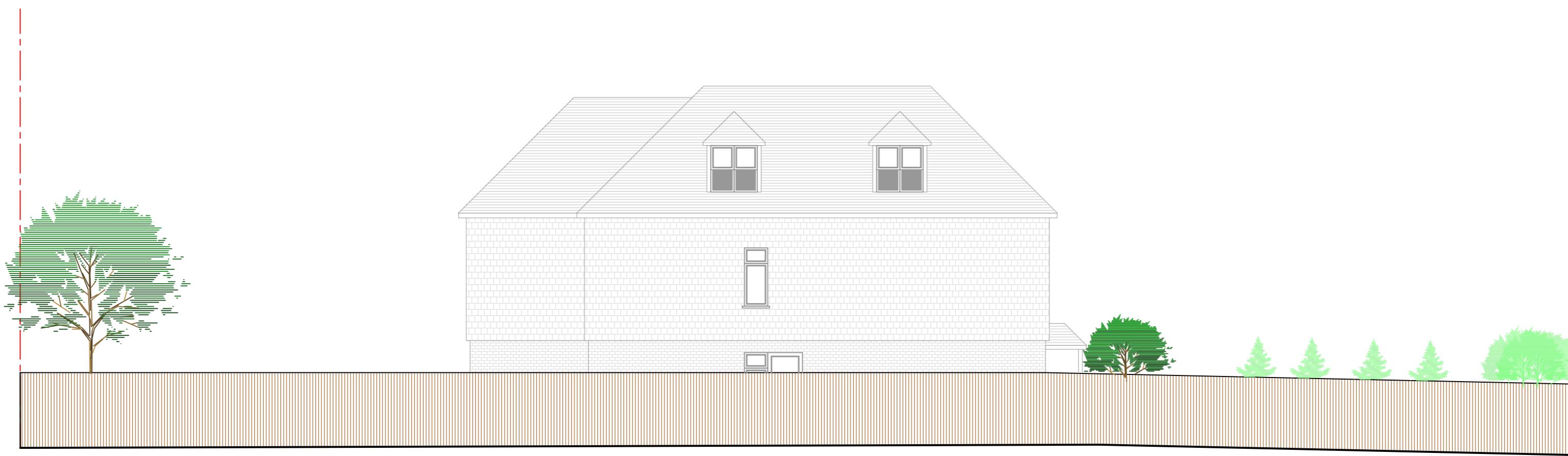
Scale	1:100	B-12 Development
Revision	1st	Architectural consultancy
Site Address	47 Fairfield Road Uxbridge UB8	Proposed Elevations Showing Boundary Treatment
Drawn By/Checked By	----	Drawing Number FR47-AP4-1012



A2



Proposed Rear Elevation
Showing Boundary Treatment
Scale 1:100



Proposed Side Elevation
Showing Boundary Treatment
Scale 1:100

Revision	Date	Description

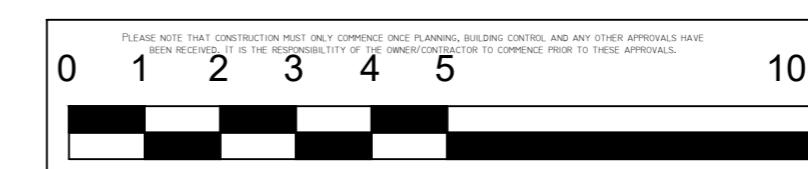
Important general note:
The specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.
All work is to be carried out to the local authority planning and building regulations approval, and the codes of practice and British Standards as may be applicable.
All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed contractor on site prior to engaging in works. Any discrepancies must be reported to the architect/surveyor/engineer or responsible persons immediately.
The contractor is responsible for ensuring compliance with the CDM regulations, and appropriate health & safety on site precautions.
The client/building owner must obtain any necessary party wall agreements, prior to engaging in the works on site.

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A2

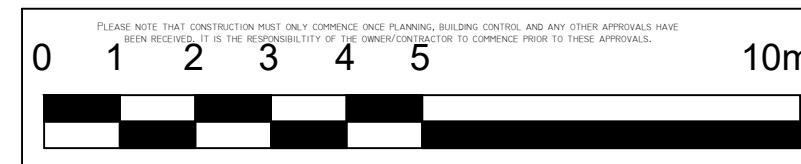
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Scale	1:100	B-12 Development
Revision	1st	Architectural consultancy
	Jun-21	
Drawn By/Checked By	----	Proposed Elevations
		Drawing Number FR47-AP4-1013

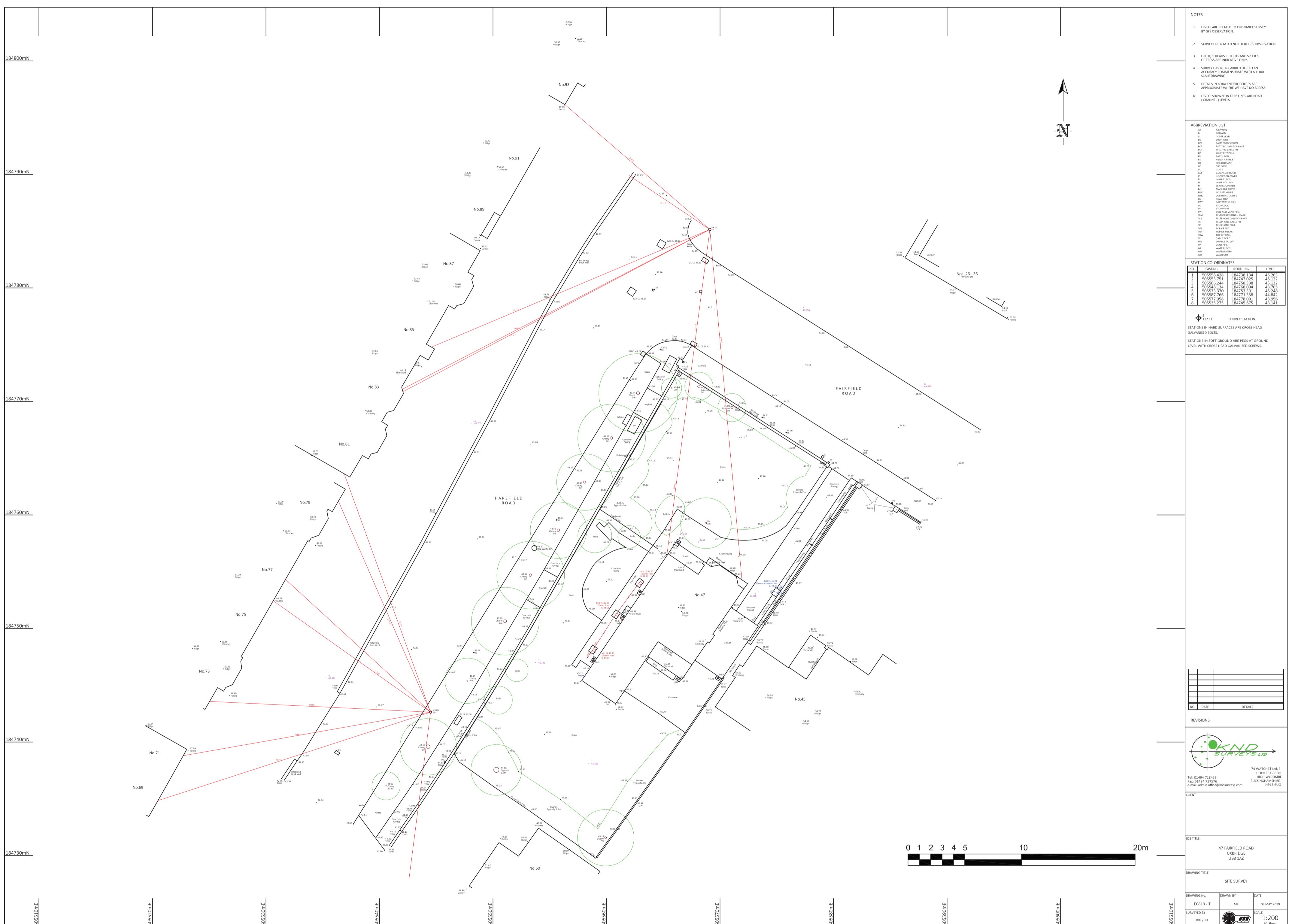


Proposed Front Elevation



Revision	Date	Description	
<p>important general note the specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided. all work is to be carried out to the local authority planning and building regulations approval, and the codes of practice and british standards as necessary. all dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed contractor on site prior to engaging in works. any discrepancies must be reported to the architect/surveyor/engineer or responsible person/s immediately. the contractor is responsible for ensuring compliance with the cdm regulations, and appropriate health & safety on site precautions. the client/building owner must obtain any necessary party wall agreements, prior to engaging in the works on site.</p> <p>1. this drawing is copyright and it may not be reproduced in whole or part or used for the manufacture of any article without the express permission of the copyright holders.</p> <p>3. this drawing is to be read in conjunction with all relevant architect's, service engineer's and drawings and specifications.</p>			Paper Size
Scale	1:100	<h1>B-12 Development</h1> <p>Architectural consultancy</p> <p>®</p>	
Revision	1st		
Jun-21	----	Site Address 47 Fairfield Road Uxbridge UB8	Proposed Elevation With Lift Overrun
Drawn By/Checked By	----		Drawing Number

Appendix B: Existing Site



Appendix C: Drainage Drawings and Calculations

Asset location search



Property Searches

andrew wallace
22Park Rise
HARPENDEN
AL5 3AL

Search address supplied 47
Fairfield Road
Uxbridge
UB8 1AZ

Your reference Fairfield

Our reference ALS/ALS Standard/2022_4662921

Search date 14 June 2022

Knowledge of features below the surface is essential for every development

The benefits of this knowledge not only include ensuring due diligence and avoiding risk, but also being able to ascertain the feasibility of any development.

Did you know that Thames Water Property Searches can also provide a variety of utility searches including a more comprehensive view of utility providers' assets (across up to 35-45 different providers), as well as more focused searches relating to specific major utility companies such as National Grid (gas and electric).

Contact us to find out more.



Thames Water Utilities Ltd
Property Searches, PO Box 3189, Slough SL1 4WW
DX 151280 Slough 13



searches@thameswater.co.uk
www.thameswater-propertysearches.co.uk



0800 009 4540

Asset location search



Property Searches

Search address supplied: 47, Fairfield Road, Uxbridge, UB8 1AZ

Dear Sir / Madam

An Asset Location Search is recommended when undertaking a site development. It is essential to obtain information on the size and location of clean water and sewerage assets to safeguard against expensive damage and allow cost-effective service design.

The following records were searched in compiling this report: - the map of public sewers & the map of waterworks. Thames Water Utilities Ltd (TWUL) holds all of these.

This search provides maps showing the position, size of Thames Water assets close to the proposed development and also manhole cover and invert levels, where available.

Please note that none of the charges made for this report relate to the provision of Ordnance Survey mapping information. The replies contained in this letter are given following inspection of the public service records available to this company. No responsibility can be accepted for any error or omission in the replies.

You should be aware that the information contained on these plans is current only on the day that the plans are issued. The plans should only be used for the duration of the work that is being carried out at the present time. Under no circumstances should this data be copied or transmitted to parties other than those for whom the current work is being carried out.

Thames Water do update these service plans on a regular basis and failure to observe the above conditions could lead to damage arising to new or diverted services at a later date.

Contact Us

If you have any further queries regarding this enquiry please feel free to contact a member of the team on 0800 009 4540, or use the address below:

Thames Water Utilities Ltd
Property Searches
PO Box 3189
Slough
SL1 4WW

Email: searches@thameswater.co.uk

Web: www.thameswater-propertysearches.co.uk

Asset location search



Property Searches

Waste Water Services

Please provide a copy extract from the public sewer map.

Enclosed is a map showing the approximate lines of our sewers. Our plans do not show sewer connections from individual properties or any sewers not owned by Thames Water unless specifically annotated otherwise. Records such as "private" pipework are in some cases available from the Building Control Department of the relevant Local Authority.

Where the Local Authority does not hold such plans it might be advisable to consult the property deeds for the site or contact neighbouring landowners.

This report relates only to sewerage apparatus of Thames Water Utilities Ltd, it does not disclose details of cables and or communications equipment that may be running through or around such apparatus.

The sewer level information contained in this response represents all of the level data available in our existing records. Should you require any further Information, please refer to the relevant section within the 'Further Contacts' page found later in this document.

For your guidance:

- The Company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Clean Water Services

Please provide a copy extract from the public water main map.

With regard to the fresh water supply, this site falls within the boundary of another water company. For more information, please redirect your enquiry to the following address:

Affinity Water Ltd
Tamblin Way
Hatfield
AL10 9EZ
Tel: 0345 3572401

Asset location search



Property Searches

For your guidance:

- Assets other than vested water mains may be shown on the plan, for information only.
- If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

Payment for this Search

A charge will be added to your suppliers account.

Asset location search



Property Searches

Further contacts:

Waste Water queries

Should you require verification of the invert levels of public sewers, by site measurement, you will need to approach the relevant Thames Water Area Network Office for permission to lift the appropriate covers. This permission will usually involve you completing a TWOSA form. For further information please contact our Customer Centre on Tel: 0845 920 0800. Alternatively, a survey can be arranged, for a fee, through our Customer Centre on the above number.

If you have any questions regarding sewer connections, budget estimates, diversions, building over issues or any other questions regarding operational issues please direct them to our service desk. Which can be contacted by writing to:

Developer Services (Waste Water)
Thames Water
Clearwater Court
Vastern Road
Reading
RG1 8DB

Tel: 0800 009 3921
Email: developer.services@thameswater.co.uk

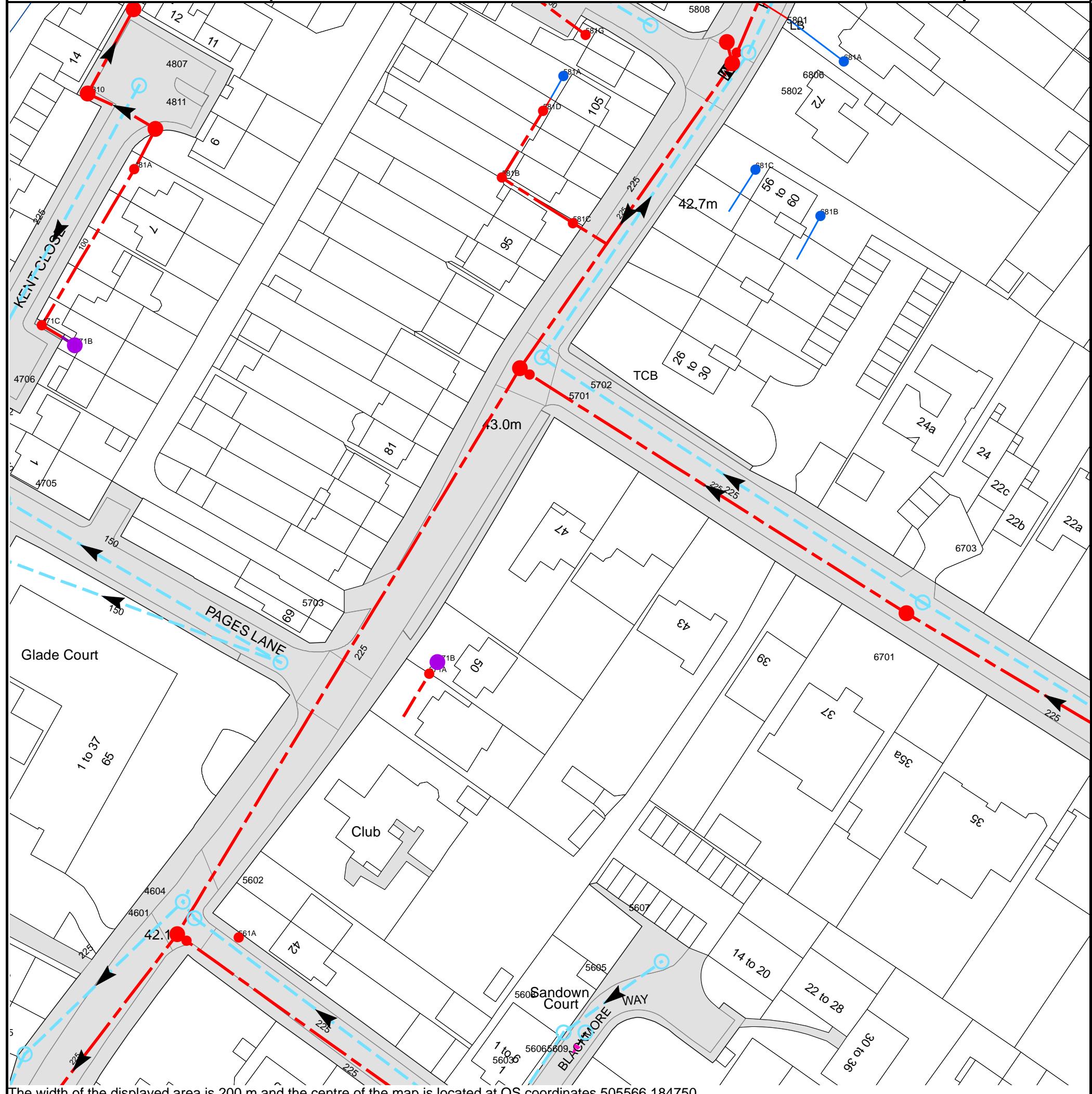
Clean Water queries

Should you require any advice concerning clean water operational issues or clean water connections, please contact:

Developer Services (Clean Water)
Thames Water
Clearwater Court
Vastern Road
Reading
RG1 8DB

Tel: 0800 009 3921
Email: developer.services@thameswater.co.uk

Asset Location Search Sewer Map - ALS/ALS Standard/2022_4662921



The width of the displayed area is 200 m and the centre of the map is located at OS coordinates 505566,184750

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map (2020) with the Sanction of the controller of H.M. Stationery Office, License no. 100019345 Crown Copyright Reserved.