

Design and Access Statement

In support of a Full Planning Application submission for front and rear extensions, rear dormers and alterations to roofline at:

235 and 235A LONG LANE, UXBRIDGE. UB10 9JP

For Mr Raheel Ashfaq and Mr Nabeel Ashfaq
Prepared April 2025



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1. Introduction

This is a Design & Access Statement compiled to support a full Planning Application submission for front and rear extensions, rear dormers and alterations to roofline at 235 and 235A Long Lane, Uxbridge UB10 9JP. Both property owners agree with the proposals and wish to proceed concurrently under householder applications.

This Design and Access Statement has been prepared in accordance with the requirements of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

The proposal complies with the national and local policies and the London Plan and will deliver a range of social and regeneration benefits including:

- The provision of 2 new bedrooms to intensify the dwelling capacity to meet the needs of the clients.
- Provisions of en-suite rooms to provide privacy and increase independence of the residents.
- Better use of the site while only marginally increasing the footprint and not exceeding neighbouring property ridge lines.

2. Existing Site

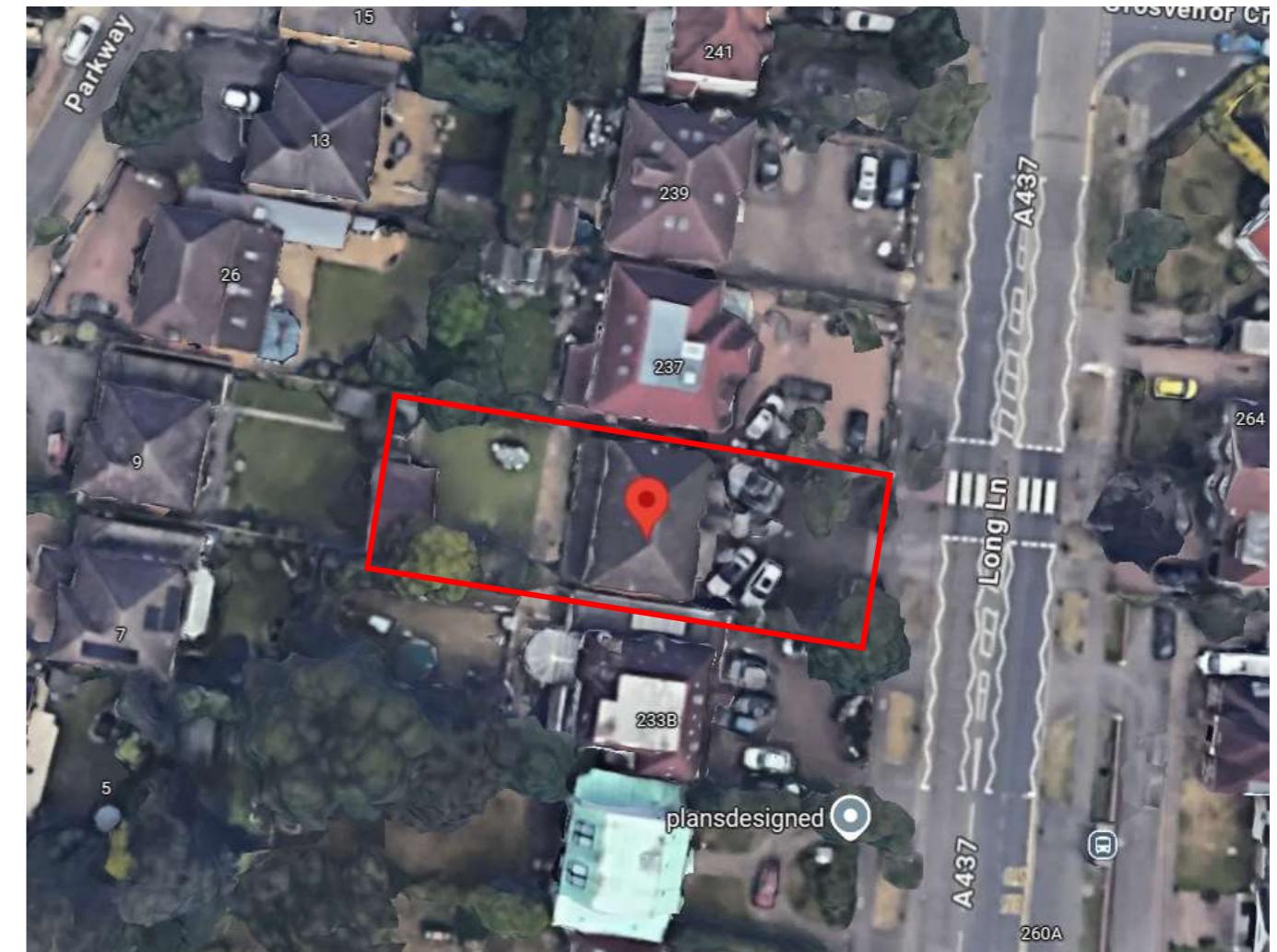
The existing site comprises a pair of two storey, semi-detached dwellings finished in brick. They read somewhat as a single, detached building as existing.

The dwellings are set back from the main road and have an extensive paved front garden which provides off road parking facilities for the site. Within the front garden of the site are a pair of large mature trees which contribute to the suburban appearance of the streetscene. One tree however is diseased with permission to remove it

The area surrounding the site is predominantly residential. Properties within the area differ in their design, however they are for the most part two storey, some with rooms in the roof, detached or semi-detached and are well set back from the street scene. Their front gardens comprise mixtures of hard and soft landscaping. They have open and gated frontages and large mature trees within their front gardens. Good visual spacing exists between buildings in the area and the areas roof scape comprises pitched and flat roofs.

The development site is located within a critical drainage area and is covered by a zonal Tree Protection Order (TPO168). It has Public Transport Accessibility Level (PTAL) rating 0, suggesting that it has a poor level of accessibility.

There is space for 3-4 vehicles to the front of the building accessible via a wide single crossover. The site has an area of 710m². The boundary treatments include a short brick wall topped with metal railings to the front, and close board timber fencing to the rear and sides. The rear garden space is mainly laid lawn with a small outbuilding to the rear boundary. There are established trees in the wider area but suitably far away from the application site to not require intervention.

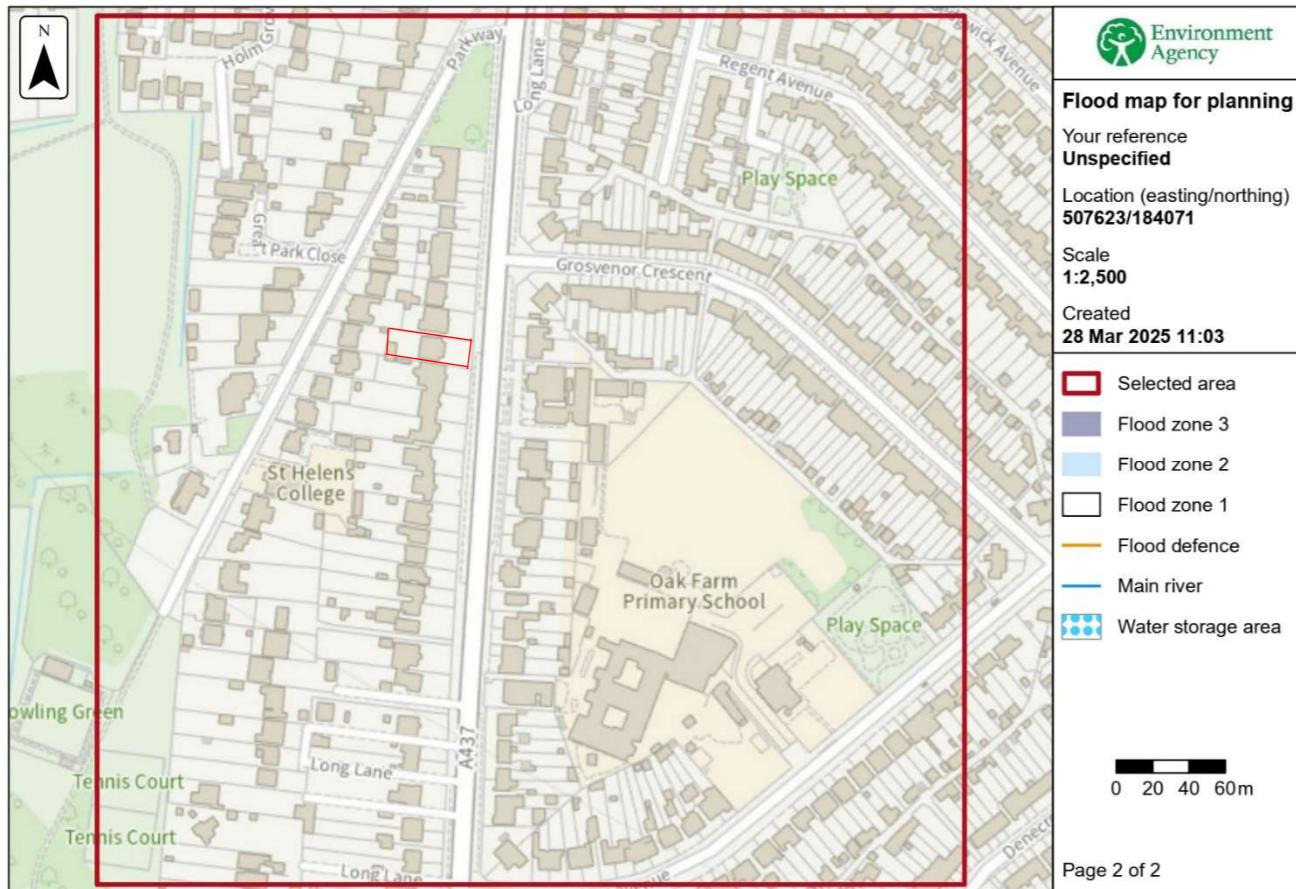


235 and 235A Long Lane, Uxbridge

3. Maps

Flood risk map

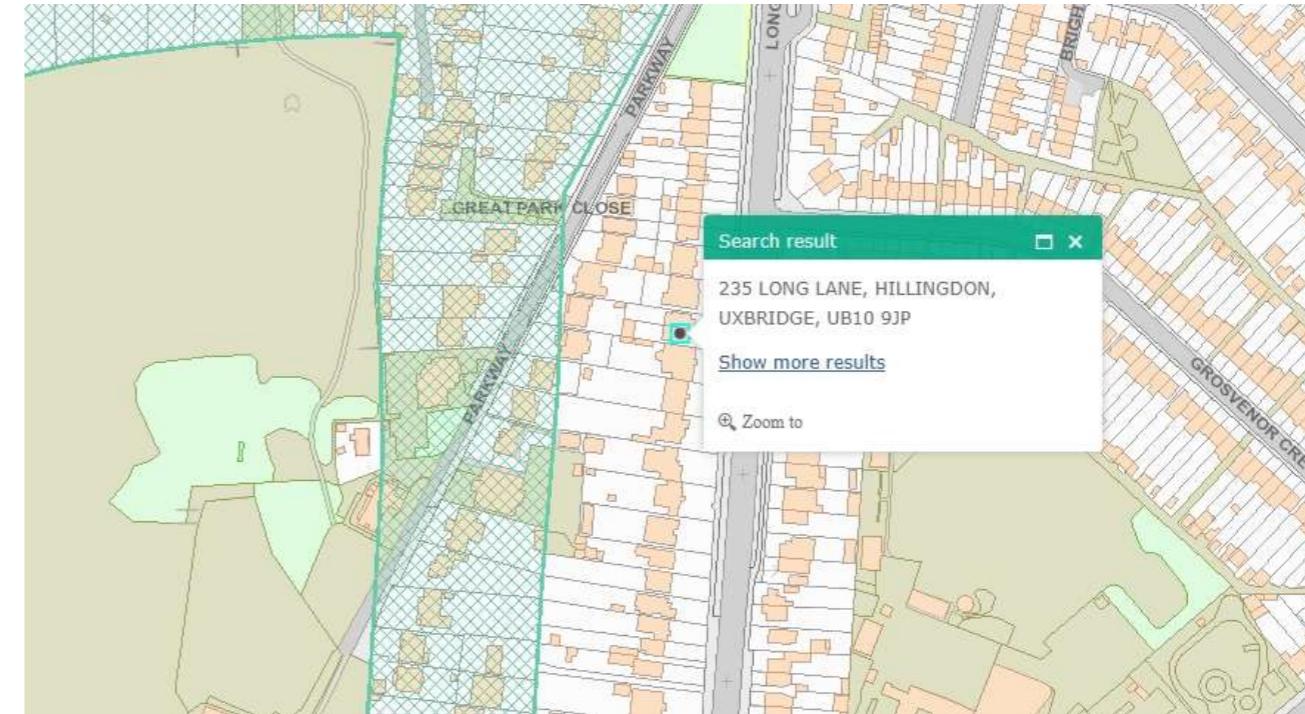
The Environment Agency classifies the site within Floor zone 1, low risk.



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Hillingdon Asset map

The Hillingdon Asset Map (below) shows the site is not within any conservation area, green land, AONB or flood risk zone.



4. Reference Photos



Front elevation of 231 Long Lane – incongruous mansard design and material choice.



Front elevation of 233 Long Lane – immediate neighbour to the South with rooms in the roof and render facing materials.



Front elevation of 237 and 239 Long Lane – immediate neighbours to the North with rooms in the roof, brick facing and detail materials.



Existing rear elevation of 235 and 235A Long Lane – showing immediate neighbours' first floor windows to bathrooms (237, L) and first floor window to kitchen (233, R).

5. Planning History

The relevant planning history relating to the application site is summarised as follows:

- Multiple applications to carry out tree surgery to 2No trees within TPO 168
- Merging of No.235 and No.235A, including erection of part single, part double rear extensions and construction of a new mansard roof with associated internal alterations to create 8 no. new self-contained flats – **41102/APP/2022/1706 – Refused 9.9.22**

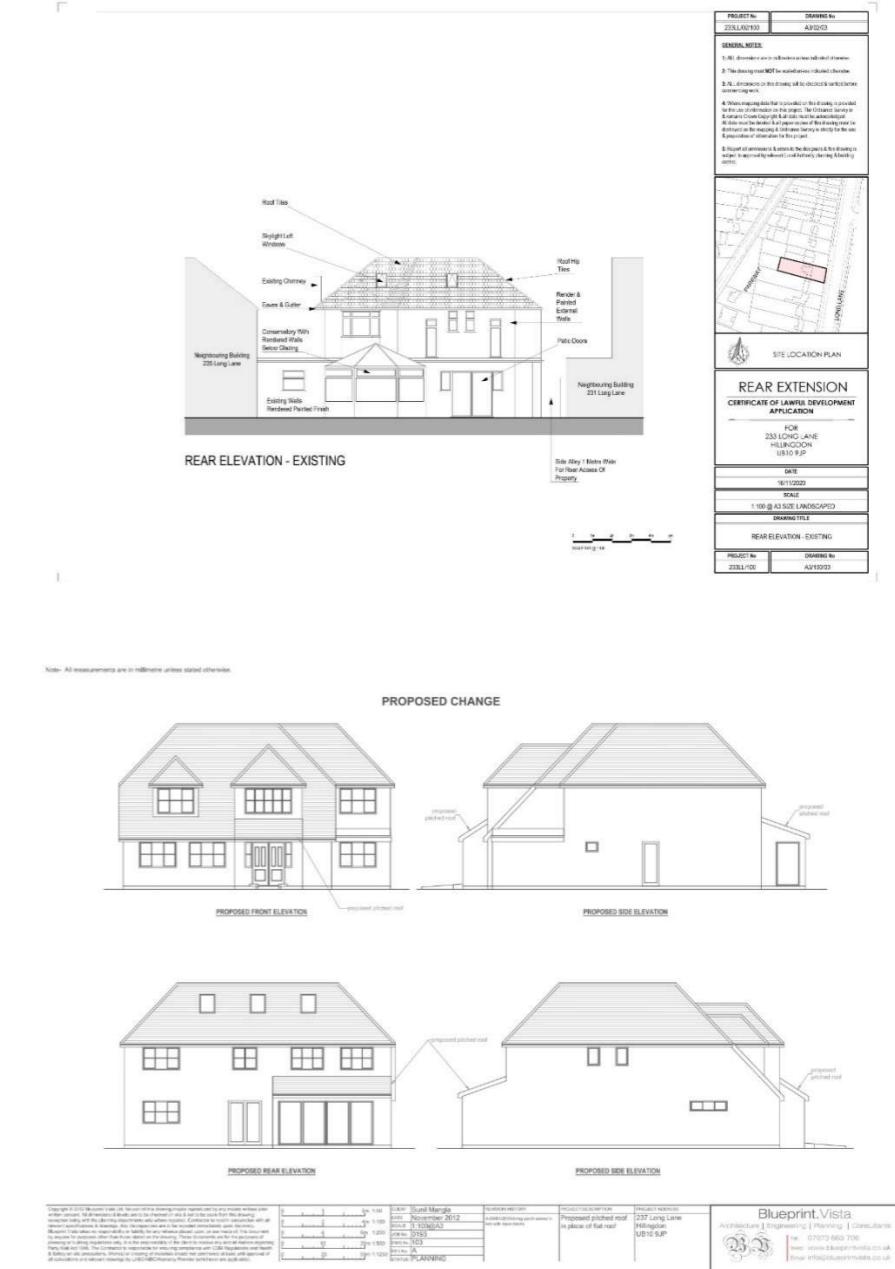


The extension to create 8 no. new flats application (shown above) was refused for:

- Massing – from the officer report: “the mansard would be harmful in its context and would appear top heavy, failing to respond to the established character and context of this part of Long Lane.”
- Overlooking from upper floor external terraces to neighbours
- Lack of privacy for external amenity spaces
- Lack of family sized residential units
- General disturbance to neighbouring occupiers through increase in people and vehicle movements, noise and activity.

The proposed bulky mansard drew inspiration from an outlying nearby design that the officer describes as “an incongruous and contrived addition to the street which should not be replicated”.

Both immediate neighbours at 233 and 237 Long Lane have had recent certificate of lawful development applications and planning applications for extensions and alterations of a similar nature to the current proposals. Increasing roof height and bulk



6. Planning Policy

PLANNING POLICY FRAMEWORK

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states any determination should be made in accordance with the Development Plan unless material considerations indicate otherwise.

In this instance the Development Plan relating to the development site comprises:

- The London Plan (2021)
- National Planning Policy Framework (2021)
- Hillingdon Local Plan: Part One – Strategic Policies (November 2012)
- Hillingdon Local Plan: Part Two – Development Management Policies (January 2020)

National Planning Policy is set out in the National Planning Policy Framework. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions.

At the heart of the NPPF is a presumption in favour of sustainable development which should be seen as a golden thread running through both plan-making and decision-taking.

There are three dimensions to sustainable development; economic, social and environmental. It is recognised that these dimensions give rise to the need for the planning system to perform a number of roles, the social role being; “to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful and safe places, with accessible services and open spaces that reflect current and future needs and support communities’ health, social and cultural well-being” (paragraph 8).

HILLINGDON LOCAL PLAN

We feel that this proposal complies with the aspirations set out in the relevant policies as below.

Policy 11 – Design of new development

The proposed single storey rear extension would extend beyond the rear wall of No.237 Long Lane by approximately 0.5 metres. Due to its moderate size and depth beyond the rear wall of No.237 it would have no adverse impact on light reaching (or outlook from) the ground floor habitable openings of the property. Due to the moderate depth of the proposed first floor extension and the fact that the rear wall of the existing dwelling is set

behind the rear wall of No.237, the first-floor extension would not dissect a line drawn at 45 degrees from the first-floor habitable windows for No.237. It is therefore unlikely to cause any loss of light or outlook from the first-floor windows of the property. For these reasons we believe the proposal will have an acceptable impact on No 237.

At ground floor the proposed single storey extension would be sited next to the bathroom window and conservatory of No.233 Long Lane. It would be approximately 5m from the conservatory as such it would have no adverse impact on the space. Any loss of light to the bathroom window of No.233 would have no significant adverse impact on the amenities of its occupiers. The first floor of No.233 is set in approximately 3.5m from the boundary shared with No.235 and has a rear facing bedroom window. The proposed extension would be 2.1m deep at first floor and would not dissect a line drawn at 45 degrees from the rear bedroom window, it is therefore unlikely to have any adverse impact on outlook from the space or light reaching the space.



Proposed site plan

At first floor No.233 also has two side facing windows, one a kitchen and one a bathroom. The proposed kitchen and first floor window to 235 will be obscure glazed to withhold views into the side facing kitchen window of No.233. Omitting obscure glazing

was an unacceptable design feature of the rejected scheme (41102/APP/2022/1706) that is being corrected in this application. For these reasons the proposal is considered to have an acceptable impact on the amenities of No.233.



The proposed rear windows and dormer would have a degree of perceived overlooking, however it should also be noted that the existing dwellings provide views into neighbouring gardens, as such some level of overlooking is common in the area. The proposed pitched rooflights would be high level face skyward to prevent any harmful overlooking, and first-floor windows to bathrooms will be obscure glazed.

Ellerslie, Parkway, is located directly to the rear of the site. Due to the separation distance between the site and the mentioned neighbour the proposal would cause no loss of light to that neighbour.

Policy 12 – Streets and Public Realm

The view of the site from the street respects the existing built form, harmonising the height, mass and bulk of adjacent structures. The building lines retain the gaps between structures and other streetscape elements. Architectural detailing has been included on the front extension element, incorporating brick detailing to subdivide the rendered areas and respect the brick quoin details on neighbouring properties.



Front elevation of nearby 270/272 Long Lane using brick detailing to subdivide light and dark rendered elements

Policy 16 – Housing Standards

The site is defined as 'suburban/semi-rural' in Table 5.2 Residential Density Matrix, respecting the ranges set out in the London Plan Table 3.2 Density Matrix. The site has only been intensified by 1No extra bedroom per dwelling so remains within the acceptable density range.

Combined site area 710m² = 0.071 hectare

Combined site 14 habitable rooms = 197 habitable rooms/hectare.

Table 3.2 Sustainable residential quality (SRQ) density matrix (habitable rooms and dwellings per hectare)

Setting	Public Transport Accessibility Level (PTAL)		
	0 to 1	2 to 3	4 to 6
Suburban	150–200 hr/ha	150–250 hr/ha	200–350 hr/ha
3.8–4.6 hr/unit	35–55 u/ha	35–65 u/ha	45–90 u/ha

Policy BE1 – Built Environment

Care has been taken to retain the existing useable external amenity spaces whilst preserving privacy to existing neighbours.

A portion of the existing rear gardens will be built upon, but access will be maintained by existing side gated paths. New construction works are a suitable distance from the established TPO trees. Planting in the forecourt and front boundary wall will be retained to remain in keeping with the streetscene.

THE LONDON PLAN

The London Plan (adopted in March 2021) is the current regional planning policy for the borough, providing strategic planning policy for the 32 London Boroughs.

Policy D1 – London's form, character and capacity for growth. This proposal complies with this policy as it seeks to respect the character of the local form whilst accommodating change.

Policy D3 – Optimising site capacity through the design-led approach. This proposal seeks to incrementally intensify in an appropriate way, and importantly retain 'Family Housing' standards (3 or more bedrooms).

7. The Proposal – Scale and Appearance

The proposals are to concurrently extend both properties to create more internal space for the residents whilst maintaining a mirrored external elevation. The single storey front element is to be extended by 1.1m, and the form is balanced by a central brick pier framing panels of light grey render.

The existing single storey rear element is to be extended vertically, and a further 3.2m deep single storey element added to enlarge the overall building footprint. The form of the new single storey element will be balanced in a similar manner as the front extension, while the first-floor extension will make use of reclaimed brick materials from the front extension remodelling.

The roof ridge will be raised to allow rooms in the roof, inserting pitched and flat rooflights to create liveable spaces within. This will be no higher than the neighbouring roofs. Each building footprint will increase by 23.4m² on the ground floor, 12.5m² on the first floor and 41.2m² on the second floor (77.1m² total).

The extensions are in keeping with the existing building and the neighbouring buildings – a higher roof pitch will be used to create the rooms in the roof with the new



Above: Proposed front elevation. Below: Proposed rear elevation



ridge line being slightly lower than the neighbouring ridge lines. A large rear dormer spans over the party wall line to lessen the material required compared to creating two separate dormers.

A modern material colour palette uses cool greys for the new doors, windows, rainwater goods and facias. A reddish-brown plain tile is proposed to blend nicely with both the traditional retained masonry and new grey features colour scheme and is in line with other local roof materials.

Rear access will be retained to the garden spaces with the existing side paths. The shared front parking area will not be reduced by the proposals sufficiently to reduce the number of cars able to park on site.

The front extensions will not overbear onto the streetscape, retaining the diminishing form away from the street.

Setting aside the neighbour with an outlying building design of a green metal roof and Crittall style black windows and doors, facing materials are primarily brick and render, with red and brown roof tiles, and white windows and door frames. Front dwarf boundary walls are brick topped with black coloured metalwork.

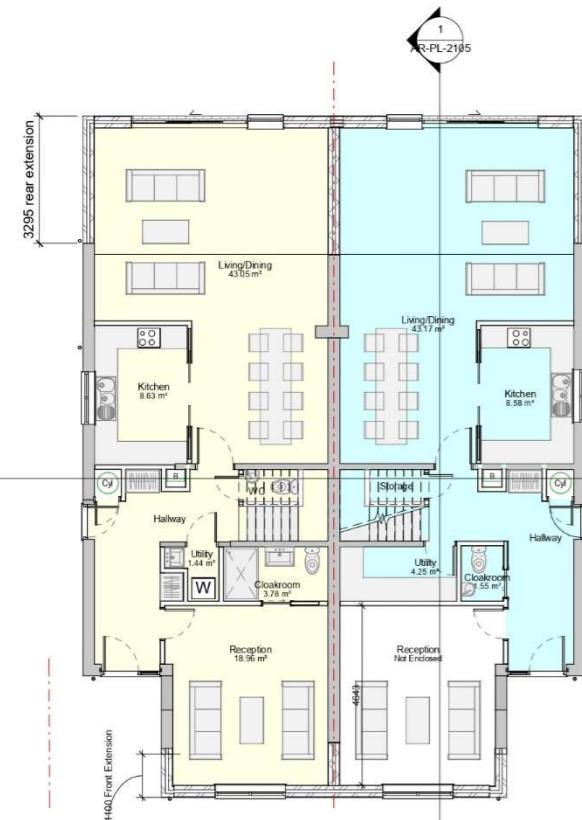


235 and 235A Long Lane, Uxbridge

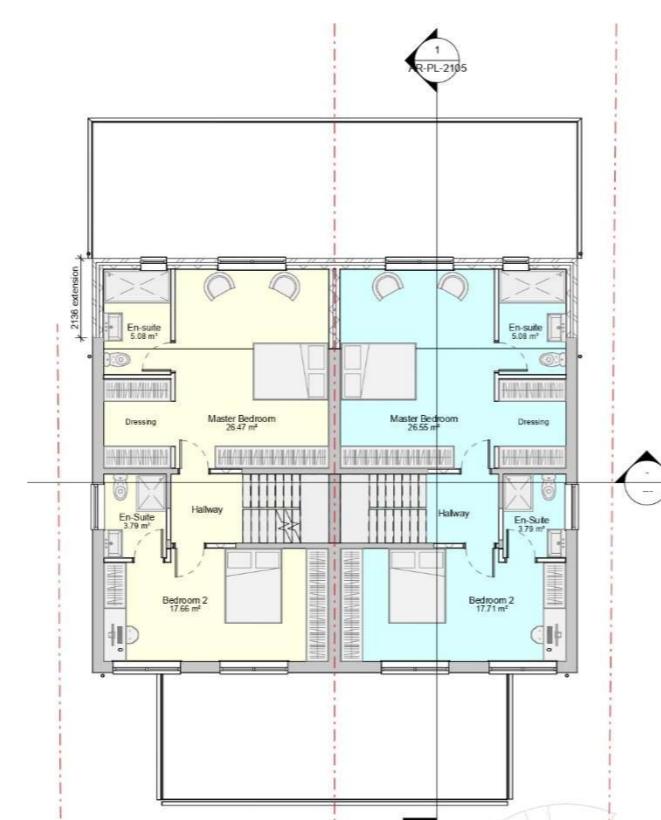
Proposed Streetscape – indicating height of proposals to not exceed neighbours

8. The Proposal – Layout

The internal layout is broadly mirrored over the two properties, with kitchens being moved to the side walls and the existing staircases are being retained and extended up to the new second floor. The properties are designed with a lifetime home quality, allowing a convertible space on the ground floor for an ageing resident to remain living in this property.



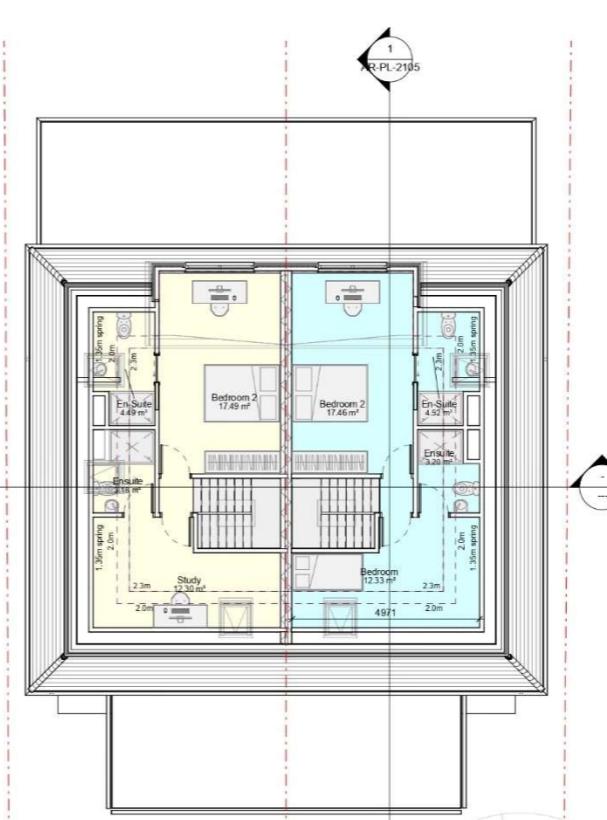
Proposed ground floor



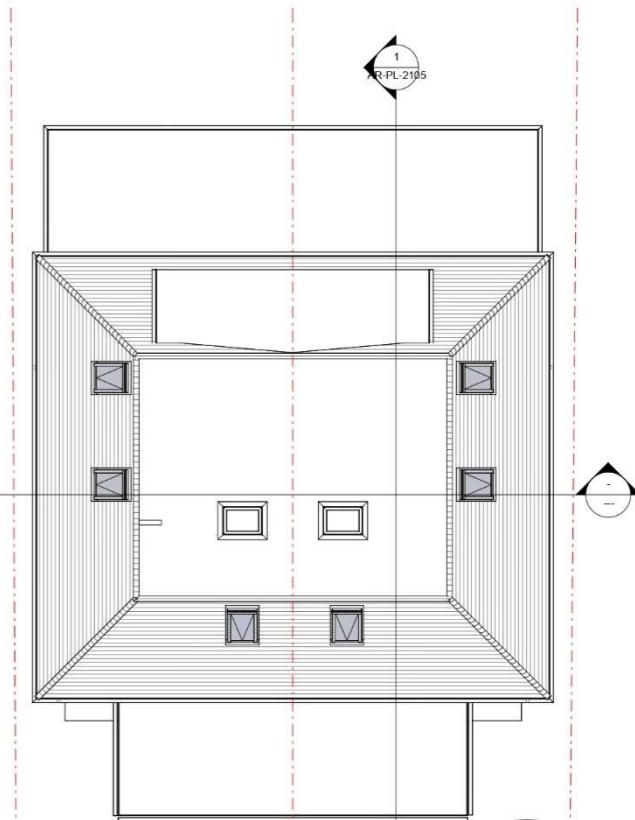
Proposed first floor

The existing flank windows to the first floor of 235A are retained, 235 to be obscured glazing. The new kitchen windows to the flanks will be obscured glazing and offer no views to the neighbouring rear garden spaces or internal spaces via flank windows.

The massing does not unacceptably diminish the provision of natural light to neighbours.



Proposed second floor



Proposed roof

There are new dedicated locations for utility rooms and hot water cylinders in both properties, and home office spaces for hybrid working.

The circulation area in the properties have been minimised to maximise space in the habitable areas. The living/dining area makes best use of natural light and provides a more flexible living area. The first and second floor layouts are identical minimising drainage runs and make for a simpler construction.

Large sliding doors lead to the private amenity spaces to both properties, with a generous separate openable sidelight for secure natural ventilation.

The new building envelope elements offer an opportunity to increase levels of insulation to the properties, reducing their energy consumption.

7. The Proposal – Siting and Access

The proposed extensions follow the rhythm of the streetscape, with the principal building line remaining and the single storey front extension coming forward to match the line of the neighbouring property at 233 Long Lane.



Proposed Isometric Streetscape

Rear access will be retained to the garden spaces with the existing side paths.

The shared front parking area will not be reduced by the proposals sufficiently to reduce the number of cars able to park on site. The trees within the parking area on the application site are covered by TPO 168 and are subject to the planning application as previously mentioned.

Long Lane has a 30MPH speed limit with a no parking area immediately in front of the application site. There is un-restricted on-street parking further along Long Lane.

There are several traffic-calming measures to Long Lane in the vicinity. There are white zig-zag lines leading up to the lit zebra crossing with island at the front of the site and hatched no-overtaking zones and colour-changed surface treatments.



View of the immediate vicinity to the existing (retained) entrance to site – showing lit zebra crossing, zig-zag lines and hatching areas.

8. The Proposal - Strategies

SUSTAINABILITY

The extensions will make best use of the existing brownfield site by increasing its efficiency through carefully considered layout and design. The internal layout re-configuration is designed to meet the criteria of the London Design Guide which will ensure the properties are usable and future-proofed for its future residents.

ENERGY

The proposals will adopt and incorporate proactive strategies to encourage sustainable design with a view to addressing climate change and reduce carbon emissions.

The proposal aims to:

- Be Lean: Use less energy – by re-using recovered materials, new material demands will be lessened. Quality materials and high-performance insulation will be

specified to meet the current Building Regulation's high standards, if not better them.

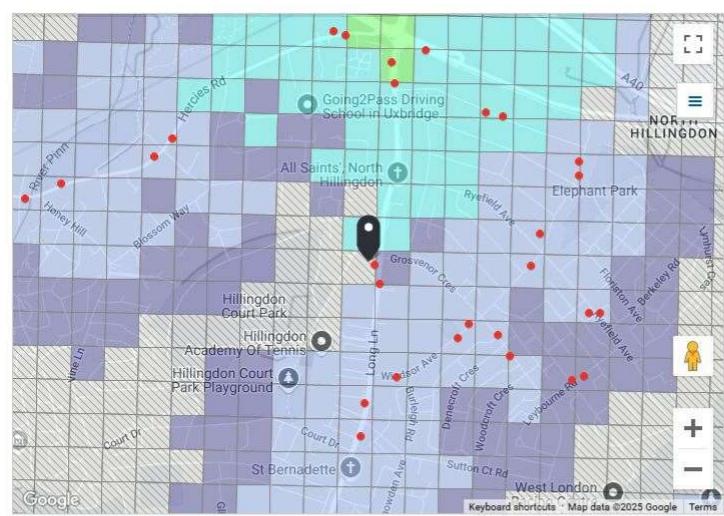
- Be Clean: Use energy efficiently – by installing new high-efficiency boilers and hot water storage cylinders and advocating the use of smart meters and zonal heating.
- Be Green: Use renewable energy – the West-facing rear elevation roof is suitable for potential PV solar panel installation.

The new extension elements will meet current thermal standards and comply with Table 4.2 *Limiting U-values for new fabric elements in existing dwellings* in Approved Document Part L1A of the Building Regulations. This will also allow the opportunity for new windows and doors which will meet current standards, and tie the new and existing areas together in colour, scale and design.

HIGHWAYS & PUBLIC TRANSPORT ACCESS

The development site is 0.6 miles from Hillingdon Underground station, serviced by Metropolitan and Piccadilly lines with frequent departures to central and North London, Heathrow airport, and the Home Counties. Further links are available at West Ruislip rail station, 2.5 miles away.

'Grosvenor Crescent' bus stop on Long Lane is under 300ft away from the site, served by bus routes 278, 697 and 698 with links to several destinations including Ruislip and Heathrow Airport. The site also lies with 0.3 miles from local amenity at Sutton Court Road, including Oak Farm Library, a medical centre and pharmacy, a café, takeaway restaurant, minimarkets and barbers.



UB10 9JP
Long Ln, Uxbridge UB10 9JP, UK
Easting: 507573, Northing: 184157

The 0 PTAL rating of the site is the worst possible but is bounded by PTAL ratings of 2 and 1a.

PARKING

Long Lane A437 is a major road providing access to the A40 within a mile, and subsequently onto the wider motorway network (M40/M25) within a few more miles.

The modest front extension incurs zero net loss to the existing parking provision. No alterations are proposed that would affect the existing satisfactory visibility sightlines.

DRAINAGE

The existing foul and surface water drainage connections will be reconfigured to suit the new internal layouts and roof extents. The existing final connections into the public sewer system will be inspected and repaired/upgraded where required.

FIRE STRATEGY

A straight-forward implementation of an evacuation strategy with a means of warning and escape designed to BS5839-6 to Grade D2, Category LD3 is proposed.

Due to a second internal floor to both properties, a REI 30 fire protected hallway and staircase, complete with fire rated doors and lining materials, will create a protected escape route for the residents.

The new party walls will be constructed with REI 60 construction as required by BS5839.

BIODIVERSITY NET GAIN

Biodiversity net gain is not applicable to householder applications.

WASTE MANAGEMENT, STORAGE & COLLECTION STRATEGY

There is an opportunity to install internal separating waste/mixed recycling bins and room for a small food waste caddy to both properties. Waste will be stored in the existing external refuse stores and brought forward to kerbside on collection days as per the existing waste collection methods.



9. Conclusion

The proposal significantly changes the approach to development on the site from the refused application, addressing the primary concerns:

- Massing – the massing of the proposal respects the stepped building form and retains the expected rhythm from the streetscene.
- Amenity privacy - retaining all outdoor amenity space on the ground floor prevents overlooking or lack of privacy from external spaces.
- Internal privacy – applying obscure glazing to proposed bathroom windows will avoid loss of privacy for existing neighbouring flank rooms.
- Family sized residential units – family units retained, intensified and configured with adaptable 'lifetime' use in mind.
- Disturbance – minor increase to movements to and from the site generated by a large family is deemed acceptable.

The proposal offers a highly sustainable opportunity of extending on a brownfield location to modern construction standards.

The overall off-street parking provision does not reduce, and the existing acceptable visibility sightlines will be retained.

The proposed drainage, fire and waste management strategies are straightforward, adhere to the Building Regulations and are suitable for the scale of development.

It is considered that the proposal will not have a detrimental impact upon the neighbouring properties in accordance with the Local Plan. It is therefore requested that this application is supported.