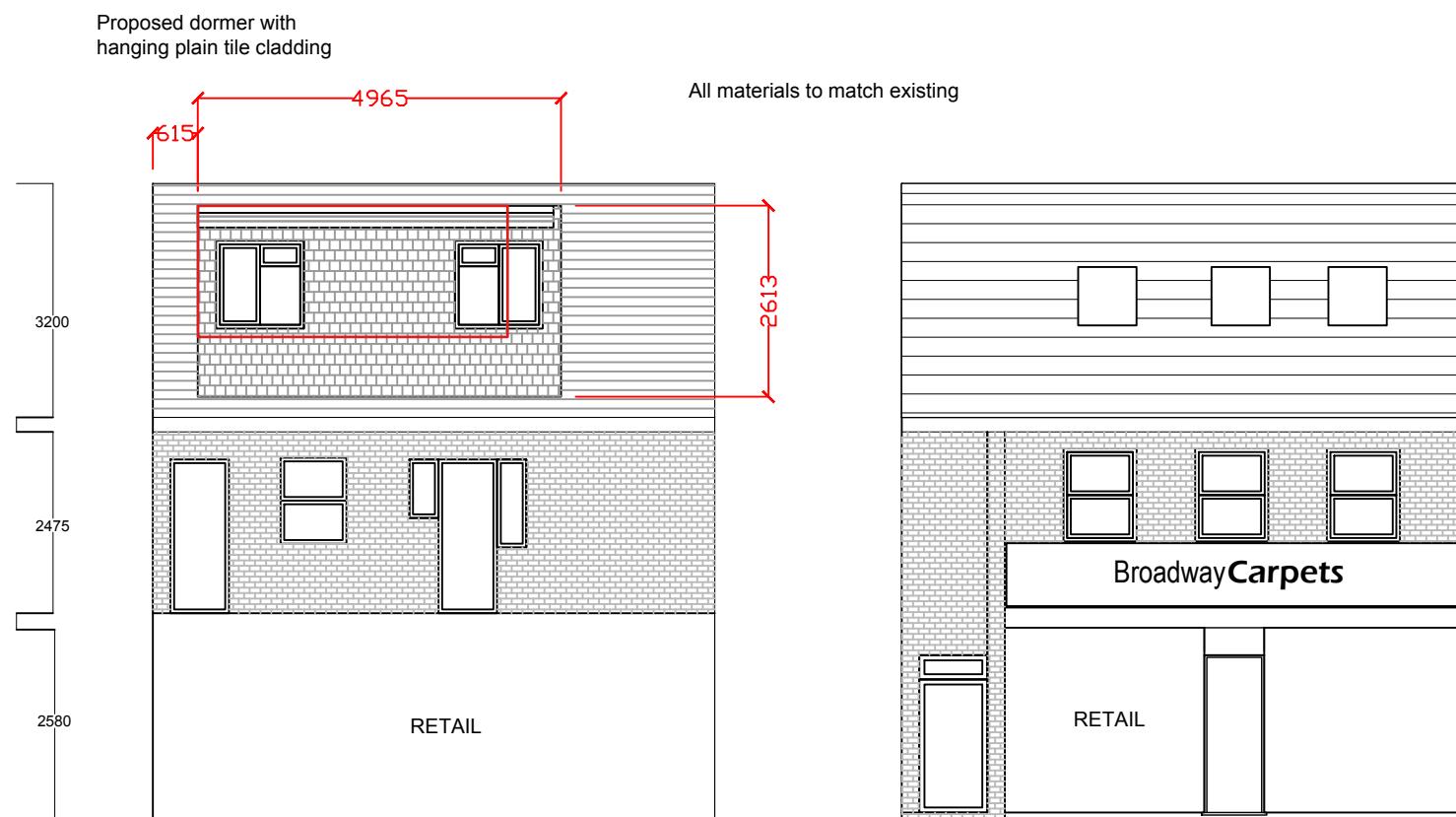


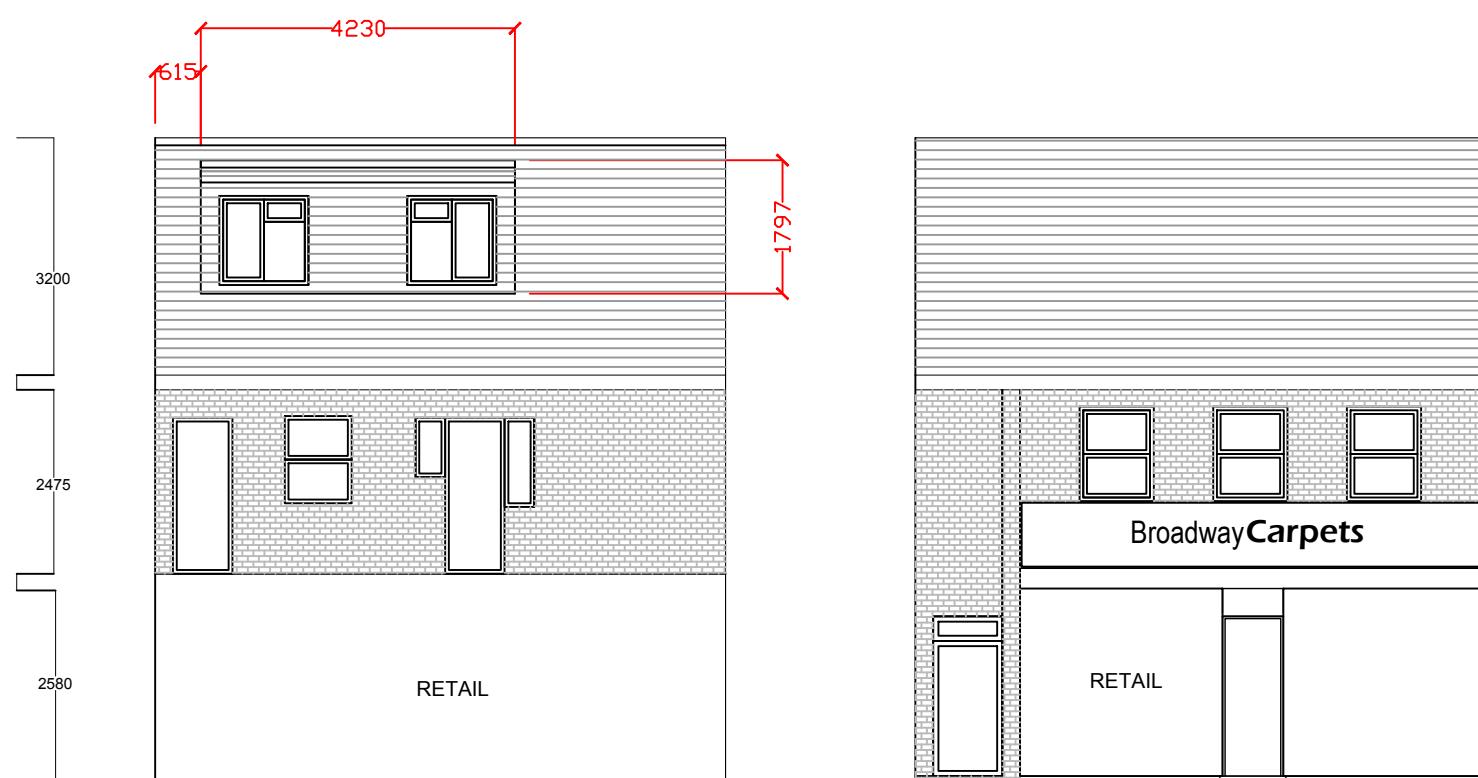
0 1 3 5
2 4 1:100

PROPOSED



REAR ELEVATION

FRONT ELEVATION



REAR ELEVATION

FRONT ELEVATION

EXISTING

EXTERNAL FINISHES
Brick walls to match existing
New plain tiled pitched roof
to match existing UPVC
double glazing windows
and doors to match existing

DO NOT SCALE FROM THIS DRAWING

NOTES:
NB: Construction must only commence once planning, building control and any other relevant approvals have been obtained. It is the responsibility of the owner to commence prior to receiving these approvals.
All dimensions, levels, areas, radii, angles and features of particulars as noted on the drawings are to be verified by the appointed Contractor on site prior to commencement of work. Any discrepancies must be reported to the Architect, Surveyor, Engineer or person responsible immediately.
The contractor is responsible for ensuring compliance with the CDM Regulations and the mandatory H&S on site precautions.
The Client/Builder/Owner must obtain the necessary Party Wall Agreements prior to commencing works on site.

 Sterling Partners

ARCHITECTURAL & STRUCTURAL DESIGN
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PROJECT: 1st and 2nd FLOOR MAISONETTE

CLIENT: Mr C Singh

SITE: 13 Broadway Parade
Coldharbour Lane
Hayes
UB3 3HF

DETAIL: EXISTING AND PROPOSED ELEVATIONS

DRAWING NO: 2025-Hayes-L-01

DATE: 13th June 2025 REV: DRAFT

SCALE: 1 : 100 DRAWN BY: A3