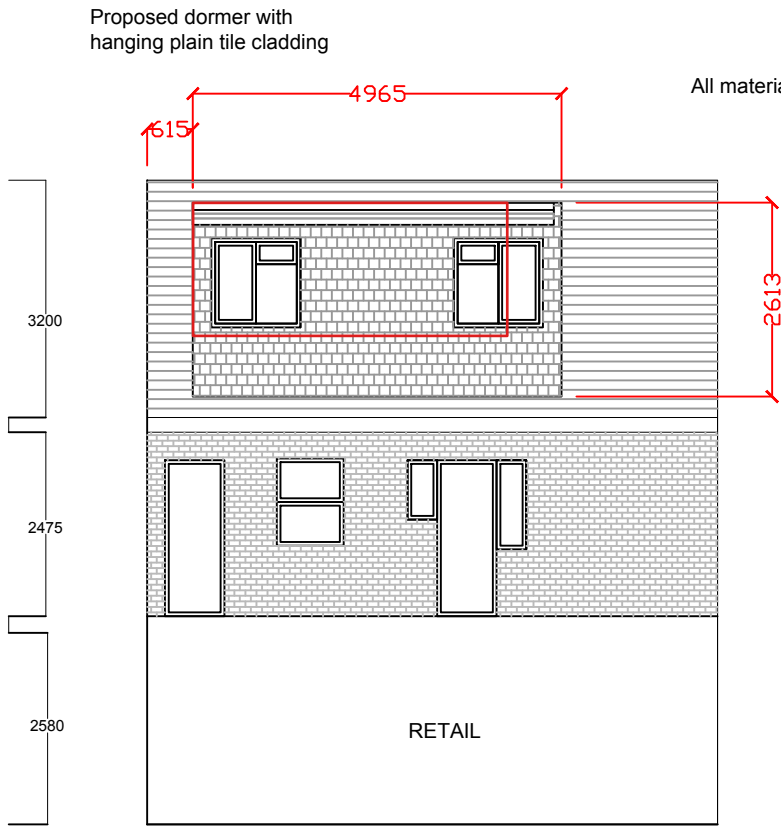
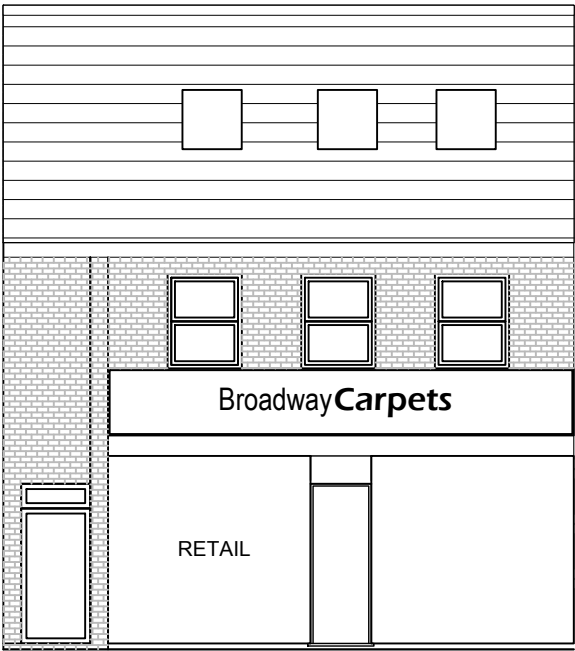


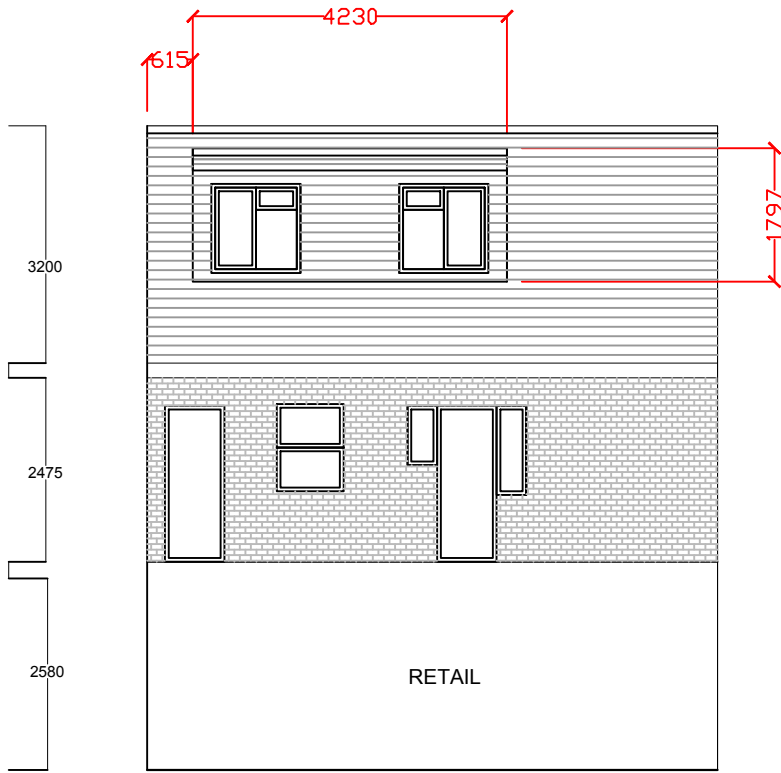
PROPOSED



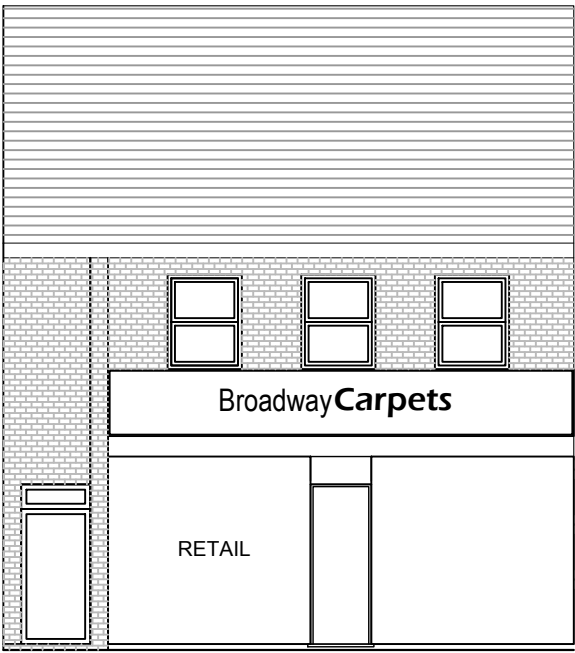
REAR ELEVATION



FRONT ELEVATION



REAR ELEVATION



FRONT ELEVATION

EXISTING

EXTERNAL FINISHES
Brick walls to match existing
New plain tiled pitched roof
to match existing UPVC
double glazing windows
and doors to match existing

DO NOT SCALE FROM THIS DRAWING

NOTES:
NB: Construction must only commence once planning, building control and any other relevant approvals have been obtained. It is the responsibility of the owner to commence prior to receiving these approvals.
These drawings must be read together with the specifications, details, structural designs and calcs issued or referred to.
All works to be carried out to Local Authority Planning and Building Regulation Approval, the Codes of Practice and British Standards as necessary.
All dimensions, levels, sizes, positions and locations of particulars as noted on the drawings are to be verified by the appointed Contractor on site prior to commencement of works. Any discrepancies must be reported to the Architect, Surveyor, Engineer or person responsible immediately.
The contractor is responsible for ensuring compliance with the CDM Regulations and the mandatory H&S on site precautions.
The Client/Building Owner must obtain the necessary Party Wall Agreements prior to commencing works on site.

 Sterling Partners

ARCHITECTURAL & STRUCTURAL DESIGN
PROJECT MANAGEMENT

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PROJECT:	1st and 2nd FLOOR MAISONETTE
CLIENT:	Mr C Singh
SITE:	13 Broadway Parade Coldharbour Lane Hayes UB3 3HF

DETAIL:	EXISTING AND PROPOSED ELEVATIONS
DRAWING NO:	2025-Hayes-L-01
DATE:	13th June 2025
REV:	DRAFT
SCALE:	1 : 100
A3	DRAWN BY: