

THE LODGE, SUNSHINE HOUSE

DENE ROAD, NORTHWOOD

DESIGN AND ACCESS STATEMENT

APRIL 2024

The Lodge, Sunshine House: Design and Access Statement

This Design and Access Statement has been prepared by On Architecture on behalf of RNIB.

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Logan House,
St Andrews Close,
Canterbury,
CT1 2RP

T:01227 634 334
E:info@onarchitecture.co.uk
W:onarchitecture.co.uk

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Please note:

Unless otherwise stated all drawings, maps, images and diagrams contained within this document are not to scale.

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01

The Lodge, Sunshine House

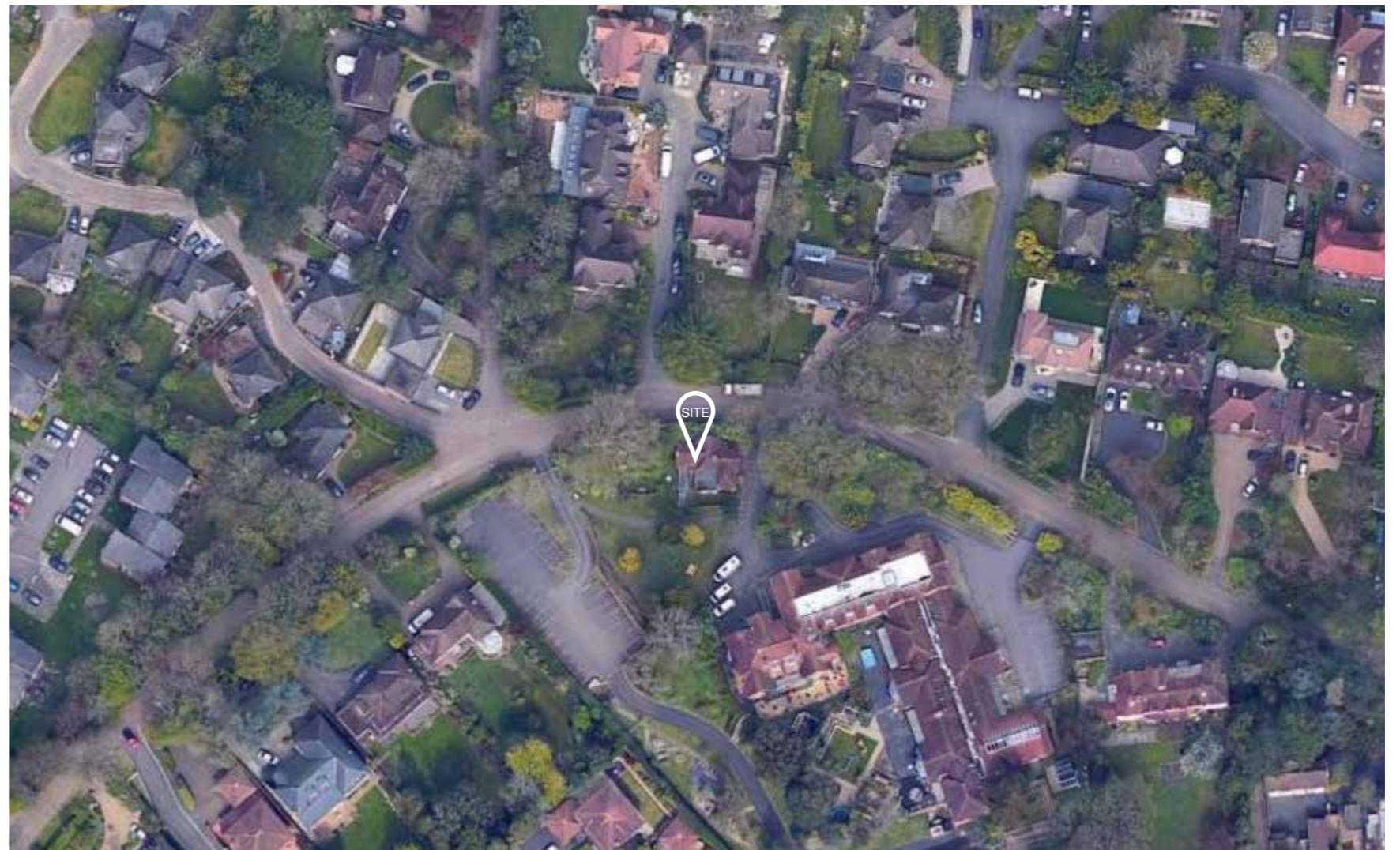
Introduction

INTRODUCTION

This document has been prepared by On Architecture, on behalf of RNIB, in support of a detailed planning application at 35 Dene Road, Northwood, London. The application includes internal alterations to the existing building and an extension to the rear and side elevations.

This document includes studies of the surrounding area, the site and the proposed development. The purpose of this document is to explain how the proposed development is a suitable response to the site and local environment, whilst demonstrating the commitment of the applicant and designers to achieving good design and meeting the requirements of planning policy, legislation and good practice guidance.

The statement describes the design ethos and architectural principles underpinning the use, amount, layout, access and scale and should be read in conjunction with our drawings and the survey information submitted with the planning application.



Aerial view showing site location

Image courtesy of Google

02

Assessment

The Lodge, Sunshine House

SITE LOCATION

The application site is located at 35 Dene Road, Northwood, a private residential street within the London Borough of Hillingdon. Northwood is an area in the London Borough of Hillingdon, located 14.5 miles north-west of Charing Cross.

The site is bound by Dene Road to the north, with residential development to the east and west. To the south of the application site lies the RNIB Sunshine House School and the London School of Theology. The existing building currently forms part of the RNIB Sunshine House School.



Red boundary line indicates application site

Image courtesy of Google

PHOTOGRAPHS OF THE SITE





85 Harrison Close

CONTEXTUAL STUDY

The area surrounding the site comprises an eclectic mix of houses, of mixed age, architectural style and scale (see photographs below):



54 Dean Road



Rickmansworth Road



Sunshine House



14 Halland Way



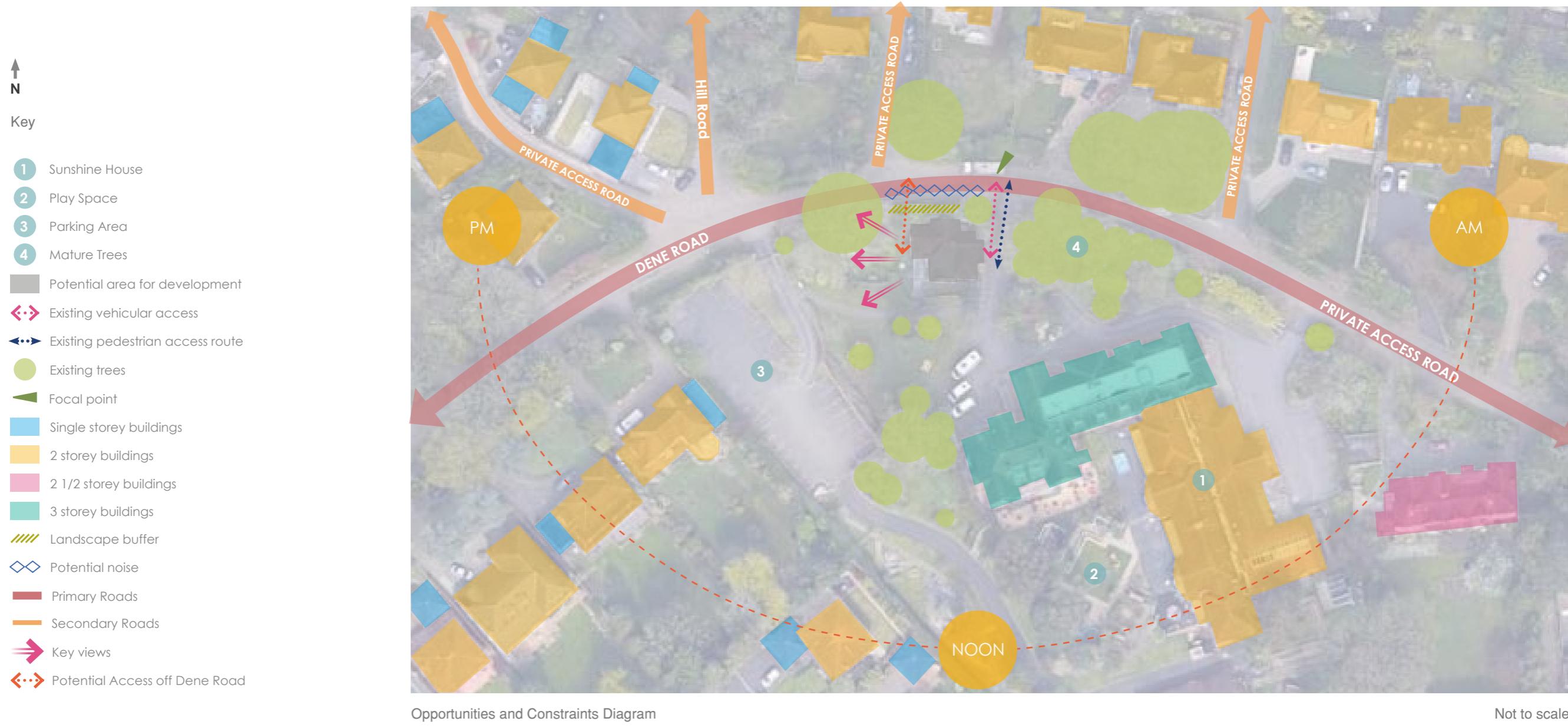
London School of Theology

03

The Lodge, Sunshine House

Evaluation

OPPORTUNITIES AND CONSTRAINTS



Opportunities

- » Existing landscape buffer can be retained and enhanced
- » Sufficient amount of green space to the rear and front of property
- » Close proximity to amenities including supermarkets, schools, doctors surgery and hospitals and leisure centres
- » Existing access point into the site

Constraints

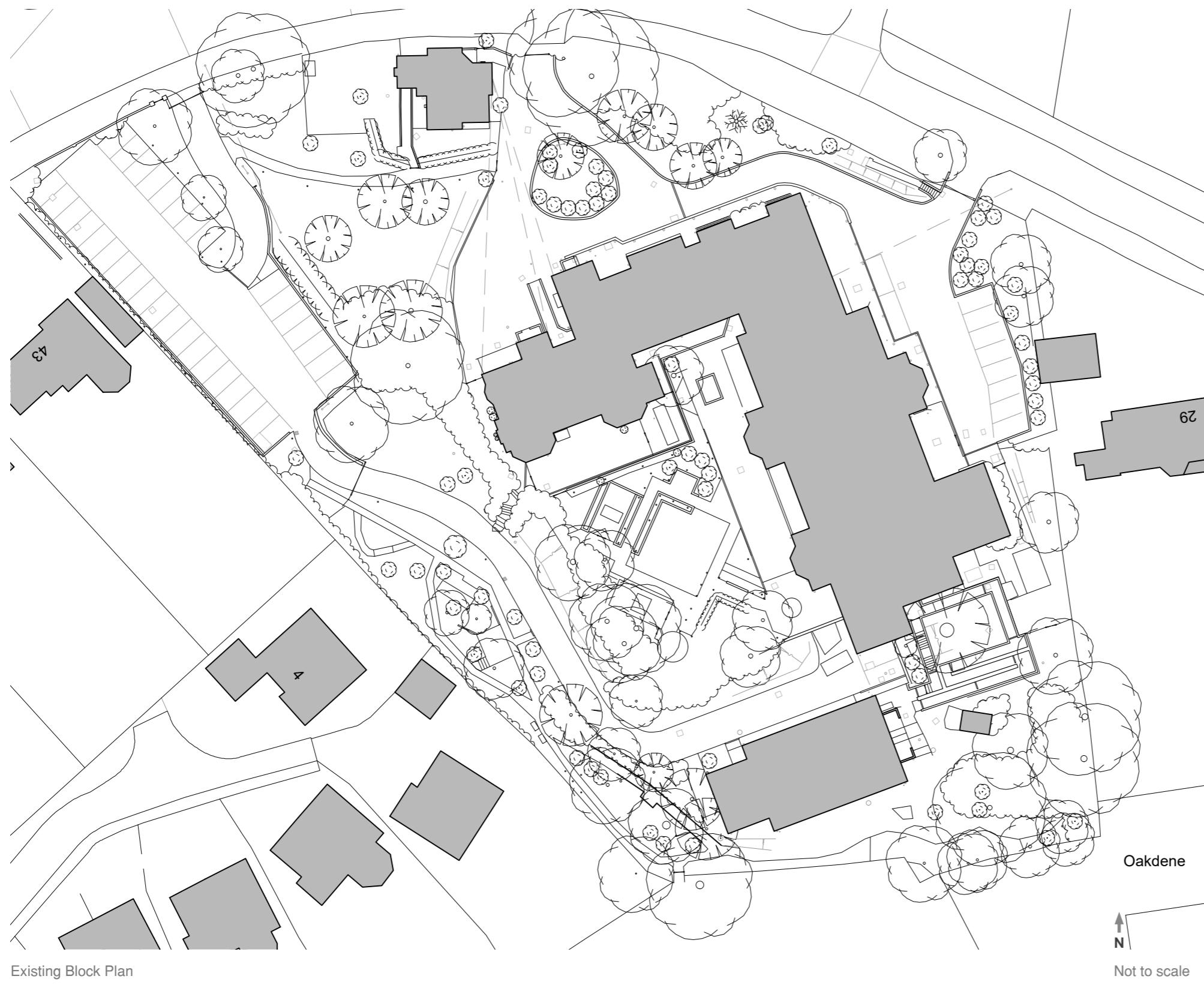
- » No potential overlooking issues
- » Private gated road (Dene Road)
- » Existing TPO's

04

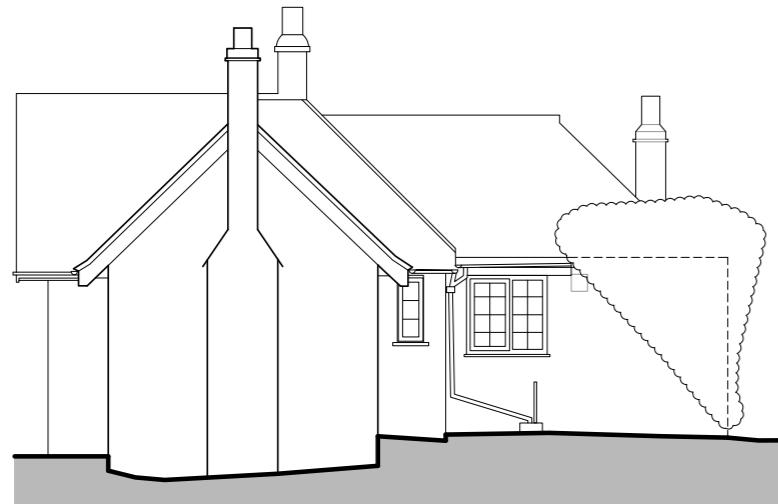
Existing Building

The Lodge, Sunshine House

EXISTING BLOCK PLAN



EXISTING ELEVATIONS



Existing West Elevation



Existing South Elevation



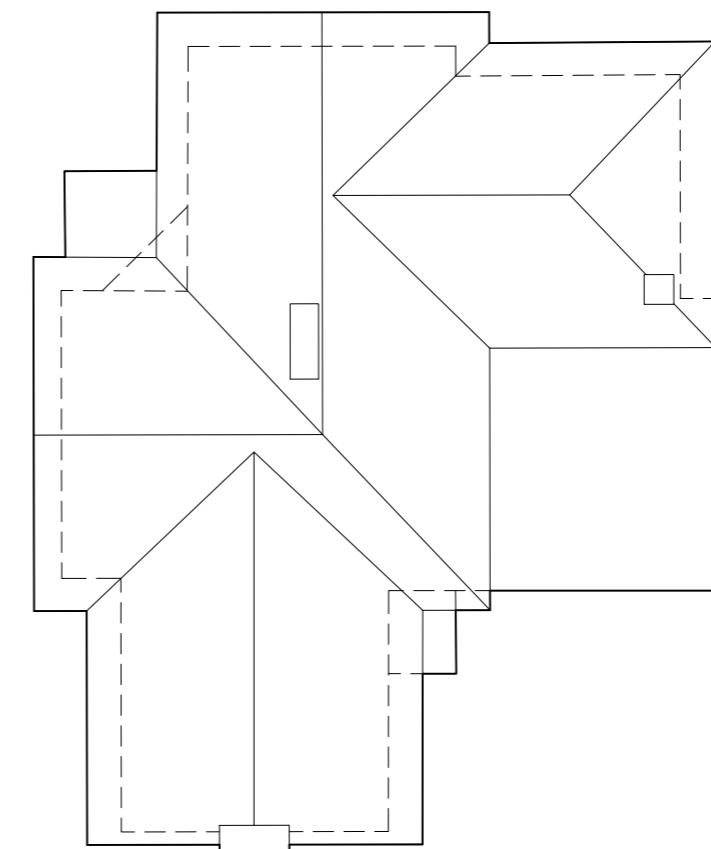
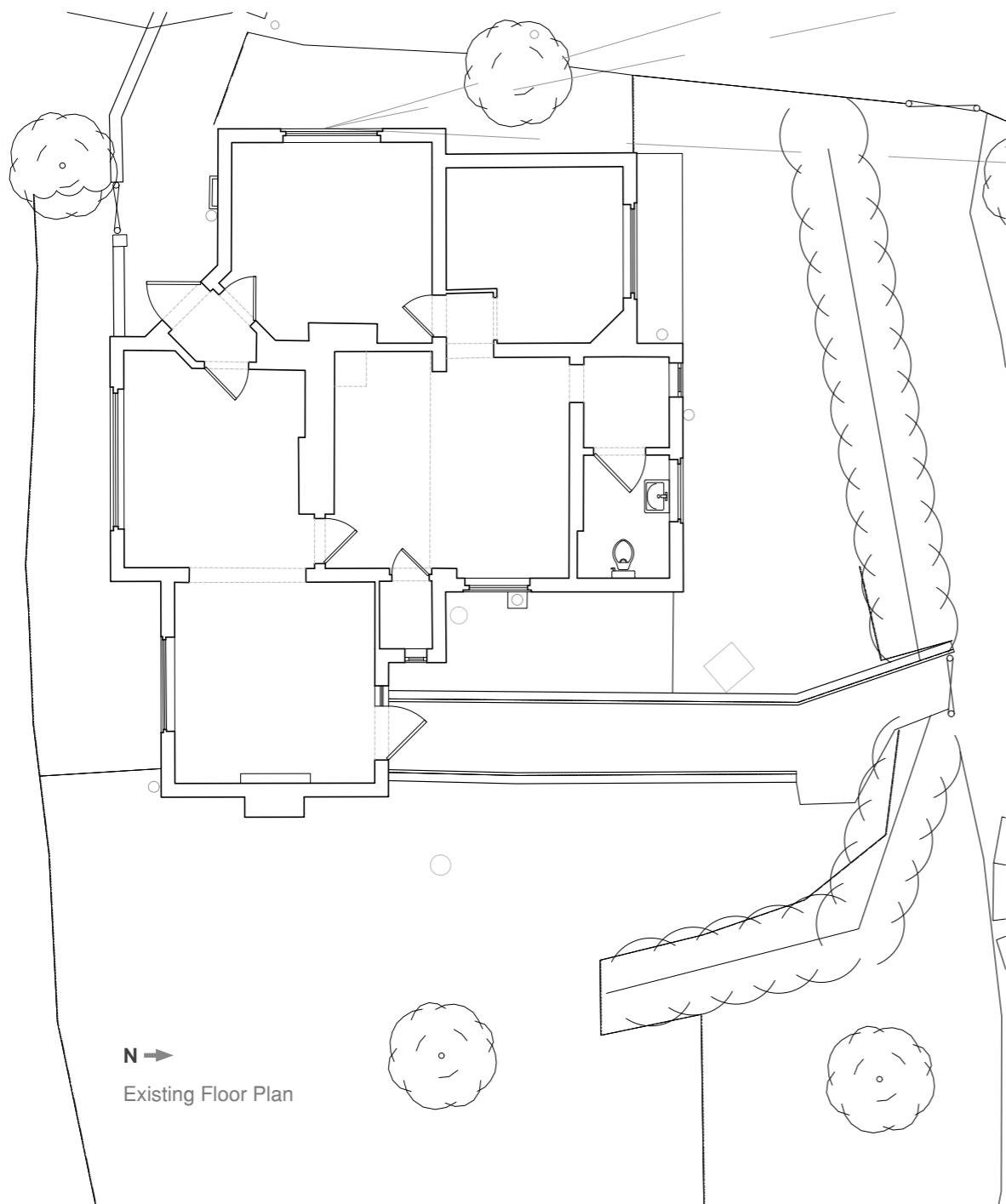
Existing East Elevation



Existing North Elevation

Not to scale

EXISTING FLOOR PLANS



05 The Lodge, Sunshine House Proposed Alterations

PROPOSED LAYOUT & ACCESS

Layout

The proposed alterations to the site layout have been carefully considered, to ensure there is little impact to the surrounding area.

An extension is proposed to the south western corner of the existing building at 35 Dene Road. A new driveway is proposed as indicated adjacent, with car parking.

The site levels have been carefully considered and adapted to create a usable rear garden to the property.

Access

The proposed new access off Dene Road which is proposed to the west of the existing building provides a driveway to accommodate 2no. car parking spaces, 3no. cycle spaces and refuse storage.

Key

- Proposed vehicular access
- 1 Sunshine House
- 2 35 Dene Road
- 3 Existing gated access
- 4 New driveway
- 5 Proposed car parking



LAYOUT, USE & AMOUNT

Use

The existing building forms part of the RNIB Sunshine House School. The proposal is for the creation of a single, detached residential dwelling, comprising 3no. bedrooms, and open plan living dining and kitchen area, bathroom, hallway and storage spaces.

Amount

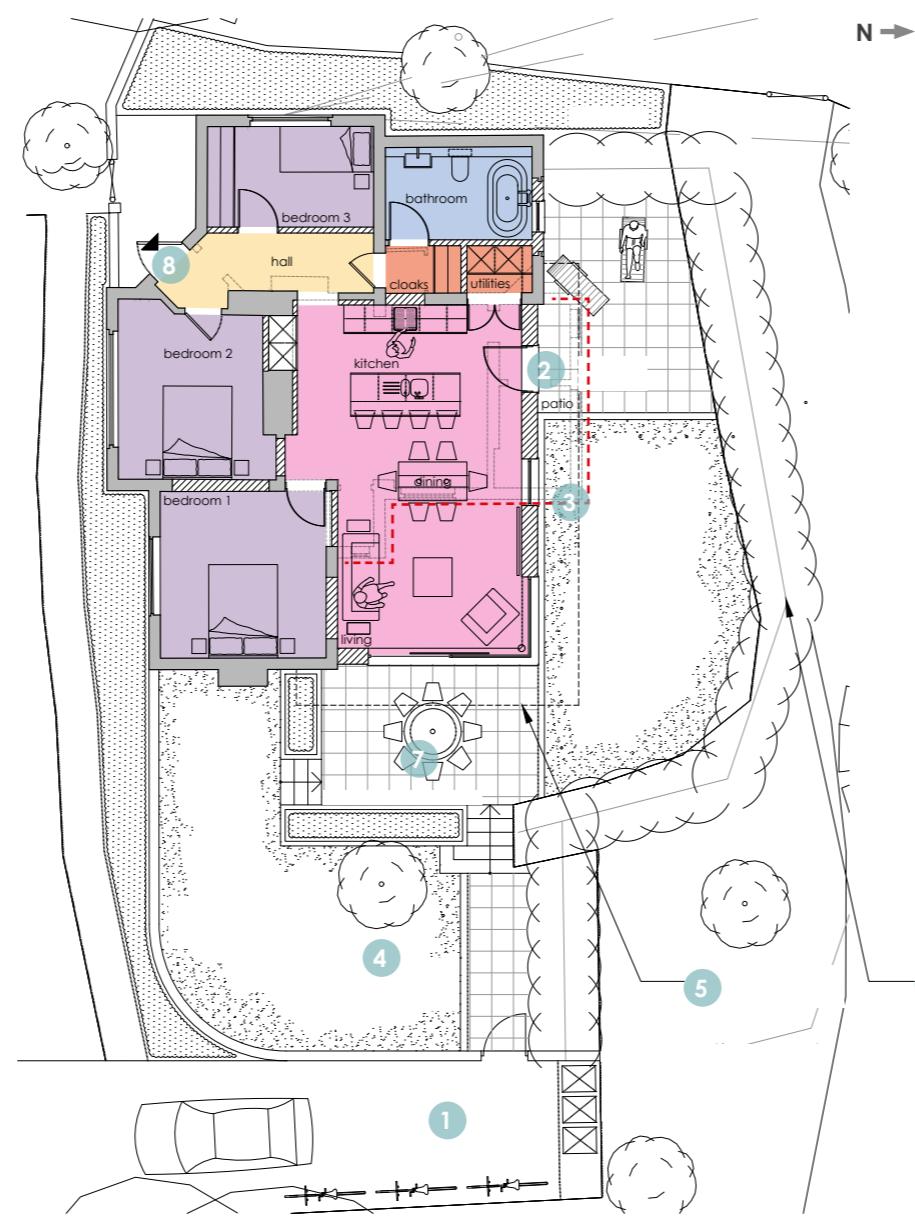
The proposal is for the redevelopment of the existing building to provide 1no. single storey, 3 bedroom detached dwelling, with private driveway for 2no. cars and cycle storage. The proposal also includes a raised terrace area and rear garden.

Layout

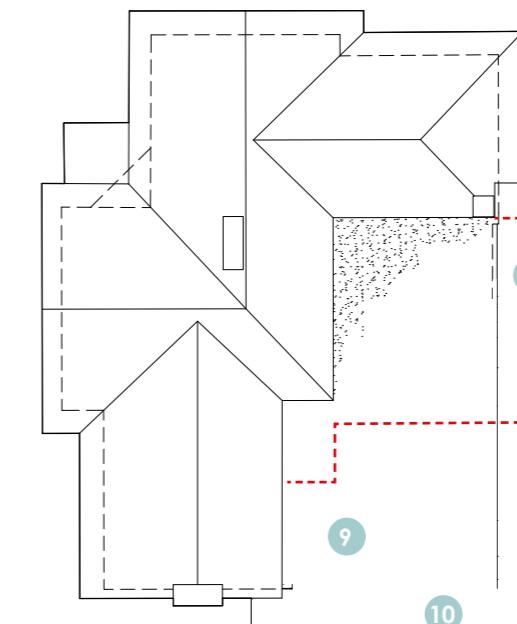
The existing flat roof extension to the building is to be removed and replaced with a higher quality open plan extension. The proposed internal alterations have been carefully considered to make the best use of the existing building.

A new driveway is proposed, which gives access to parking spaces and cycle storage. The site levels have been adapted to allow for a raised patio, which steps down to a rear garden.

The proposed roof plan indicates how a green roof and new flat roof will be integrated into the scheme.



Proposed Floor Plan



Proposed Roof Plan

Key

Bedroom
Bathroom
Hall
Kitchen, living, dining
Cloaks & utilities

- 1 Proposed driveway
- 2 Secondary entrance
- 3 Extent of existing walls - to be removed
- 4 Rear garden
- 5 Dashed line indicates extent of roof overhang

- 6 Hedgerow in-filled where required
- 7 Raised patio
- 8 Main entrance
- 9 Proposed grass roof
- 10 Proposed new flat roof

SCALE, MASS, APPEARANCE

Scale

The scale of the proposed extension has been carefully considered to cause minimal impact to the existing building and its setting. The extension is therefore proposed to be single storey and sit at a similar level to the existing eaves height.

Mass

The mass of the proposed extension is to be kept as minimal as possible and to infill the corner of the existing building. This can be seen on the floor plans detailed on the previous page.

Proposed West Elevation

The west elevation shows the proposed new extension to the building. The corner of the building has been infilled with a single storey extension that is sympathetic to the existing building and surrounding area. A flat roof is proposed to this portion of the building, with an overhang, which creates covered entrance points to the property.

The existing topography of the site has been improved by creating a level entrance, with steps down to the rear garden.

Proposed South Elevation

The south elevation shows the extent of the proposed extension, which is kept to a minimum and includes a roof overhang to provide covered entrance ways. The improved site levels allow for a new driveway to be incorporated into the scheme as well as providing access to the rear garden and allowing for a raised terrace area.

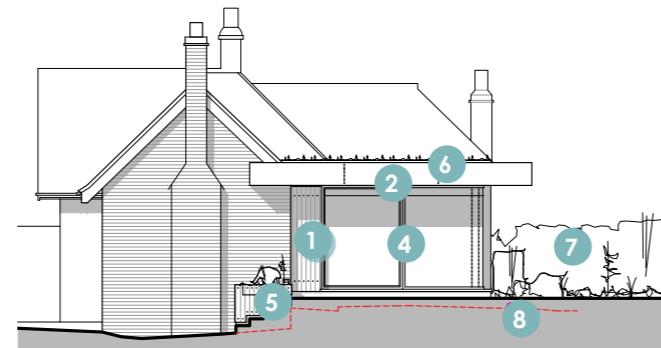
Proposed East & North Elevations

There are no alterations proposed to the eastern or northern building facades.

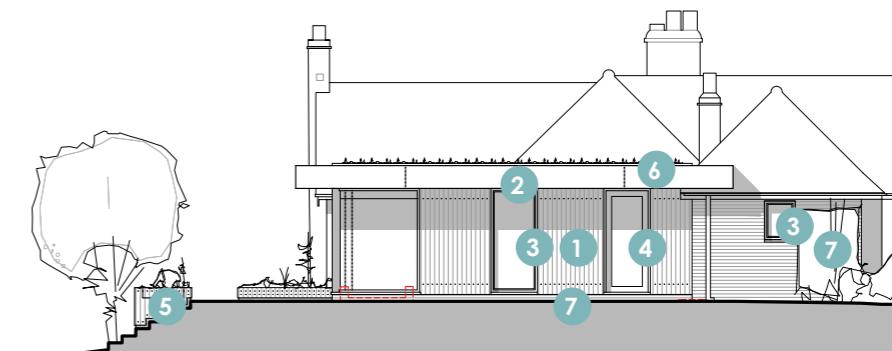
Appearance, Form & Materials

A contemporary appearance and form are proposed for the extension, this creates visual variation and helps to break down the overall mass of the building. The contemporary extension provides differentiation between the old and new.

Vertical timber cladding is proposed to the new extension, with a dark grey metal fascia, dark grey PPC aluminium window and doors frames and a green roof.



Proposed West Elevation



Proposed South Elevation



Proposed East Elevation



Proposed North Elevation

Key

1	Vertical timber cladding	5	Feature timber clad raised planters
2	Dark grey metal fascia	6	Green roof
3	Dark grey PPC aluminium window frames	7	New hedgerow to boundary
4	Dark grey PPC aluminium door frames	8	Red dashed line indicates existing ground



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