



01 01 PROP ELEV FRONT
Scale: 1:100



ROOF LIGHTS on pitch roof
Rooflights to be double glazed + to meet 'U' value of min. 2.0 W/m sq.K.
All roof lights to be A-A fire rated.

Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s.
Must be 450mm minimum clear opening with non opening fasteners.



02 02 PROP ELEV REAR
Scale: 1:100

0 1m 2m 3m 4m 5m 6m 7m 8m 9m

scale - 1 : 100 @ A3

This application seeks to add to an already approved gable end and rear dormer application under certificate of lawfulness
REF - 19664/APP/2023/3123



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REV A - 11/04/2025
Gable window reduced
Front sloping roof reinstated

Purpose - Householder planning application

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|---|---------------------------------------|------------------|
| All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer. | PROJECT: 39 Hillside Road, HA6 1PY | DATE: 20/02/2025 |
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PROPOSED