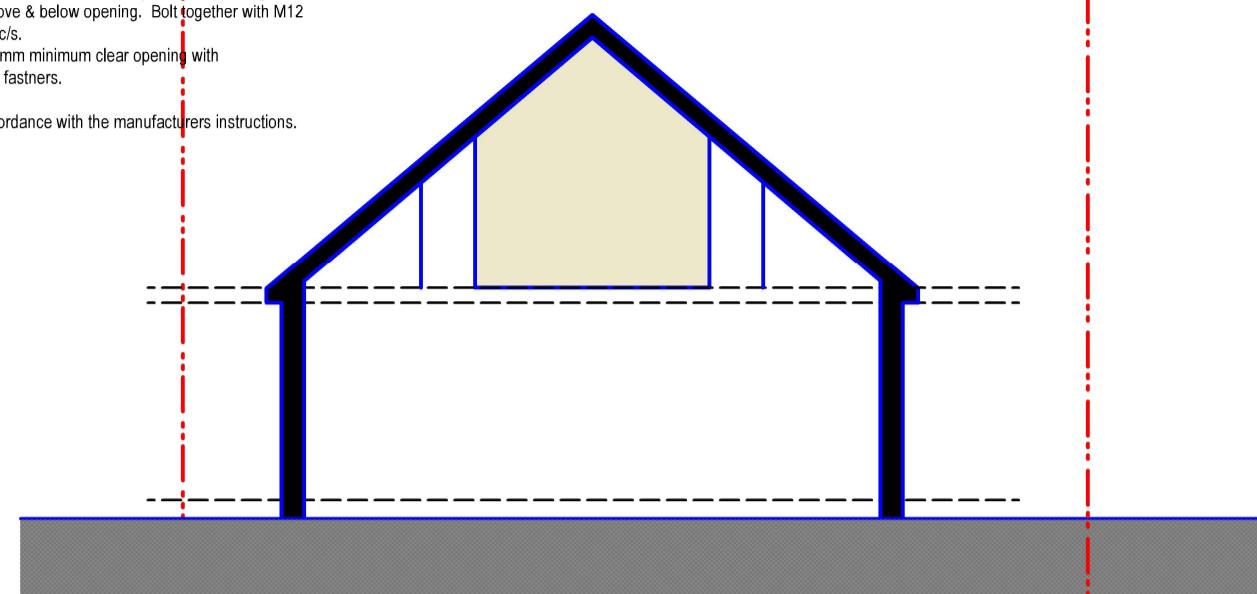




ROOF LANTERN
over flat roof
KORNICHE or similar
slim line aluminium
roof lantern

To be double glazed + to meet 'U' value of min. 2.0 W/m sq.K.
All roof lights to be A-A fire rated.
Fully thermally broken construction.
Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s.
Must be 450mm minimum clear opening with non opening fasteners.
Fixed in accordance with the manufacturers instructions.



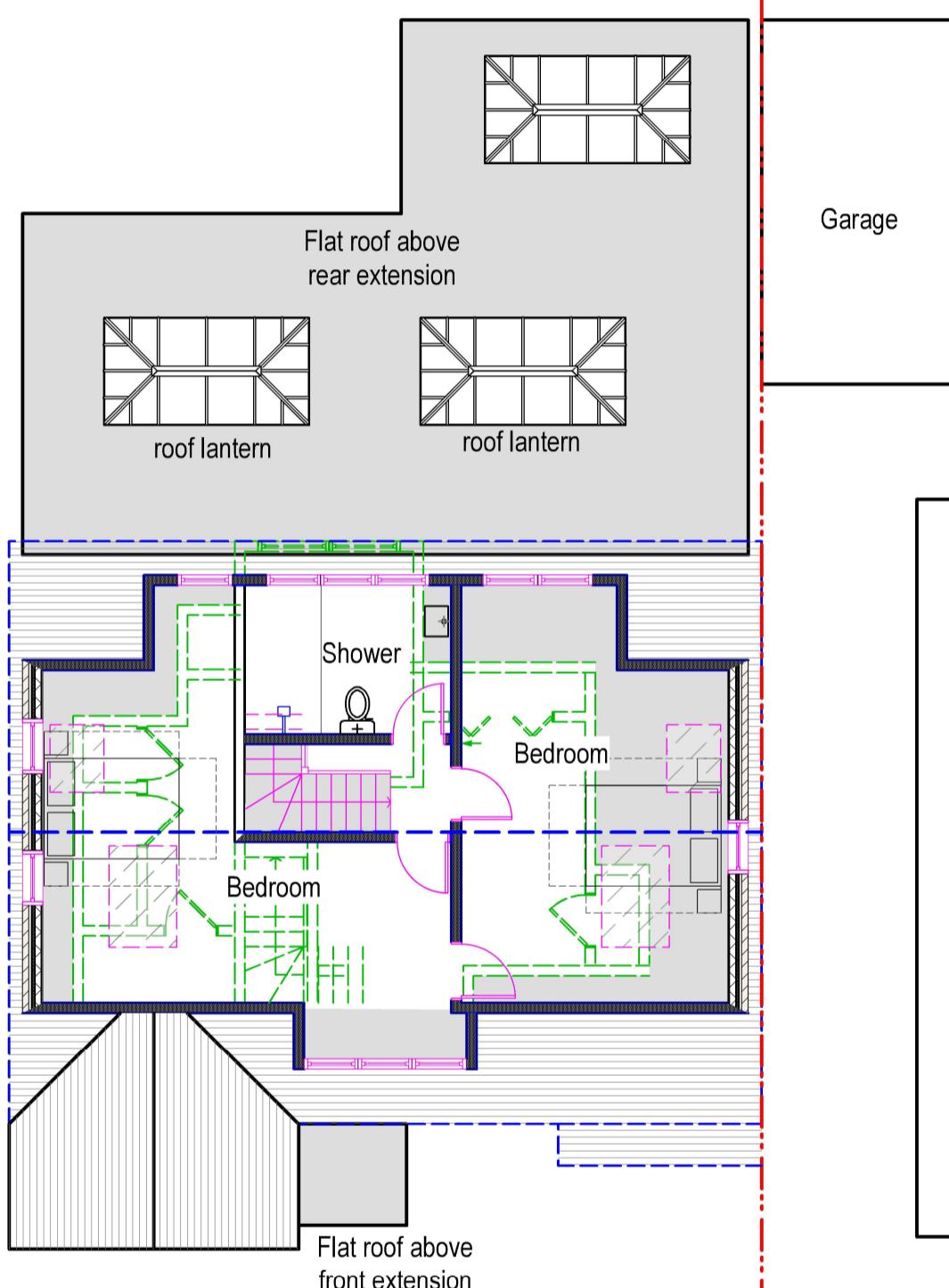
- New internal walls
- New external walls
- Walls to be demolished
- New doors/windows
- Proposed work shaded
- Rooflight

Neighbours Rear Extension

NEIGHBOURS HOUSE
37 Hillside

Neighbours garage

NEIGHBOURS HOUSE
41 Hillside



This application seeks to add to an already approved gable end and rear dormer application under certificate of lawfulness
REF - 19664/APP/2023/3123

13

PROP LOFT PLAN
Scale: 1:100



tel : 0796 222 3141
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0 1m 2m 3m 4m 5m 6m 7m 8m 9m

scale - 1 : 100 @ A3

REV A - 13/04/2025
Revisions made to front of property

PROPOSED

Purpose - Householder planning application

All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer.	PROJECT: 39 Hillside Road, HA6 1PY	DATE: 20/02/2025
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