



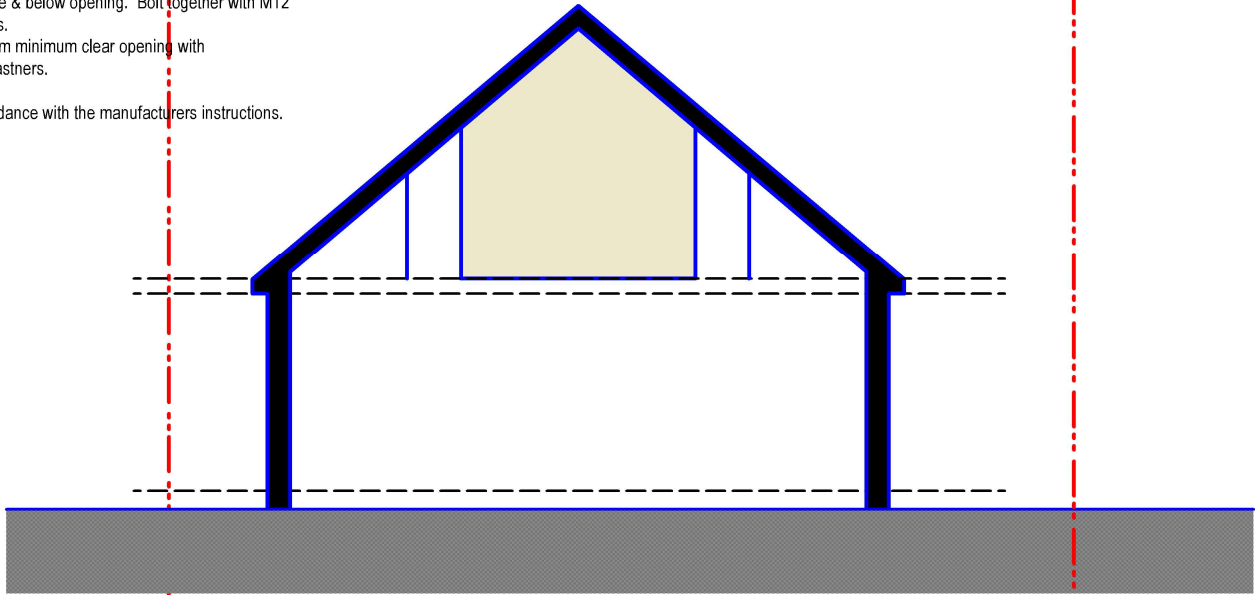
ROOF LANTERN
over flat roof
KORNICHE or similar
slim line aluminium
roof lantern

To be double glazed + to meet 'U' value of
min. 2.0 W/m sq.K.
All roof lights to be A-A fire rated.

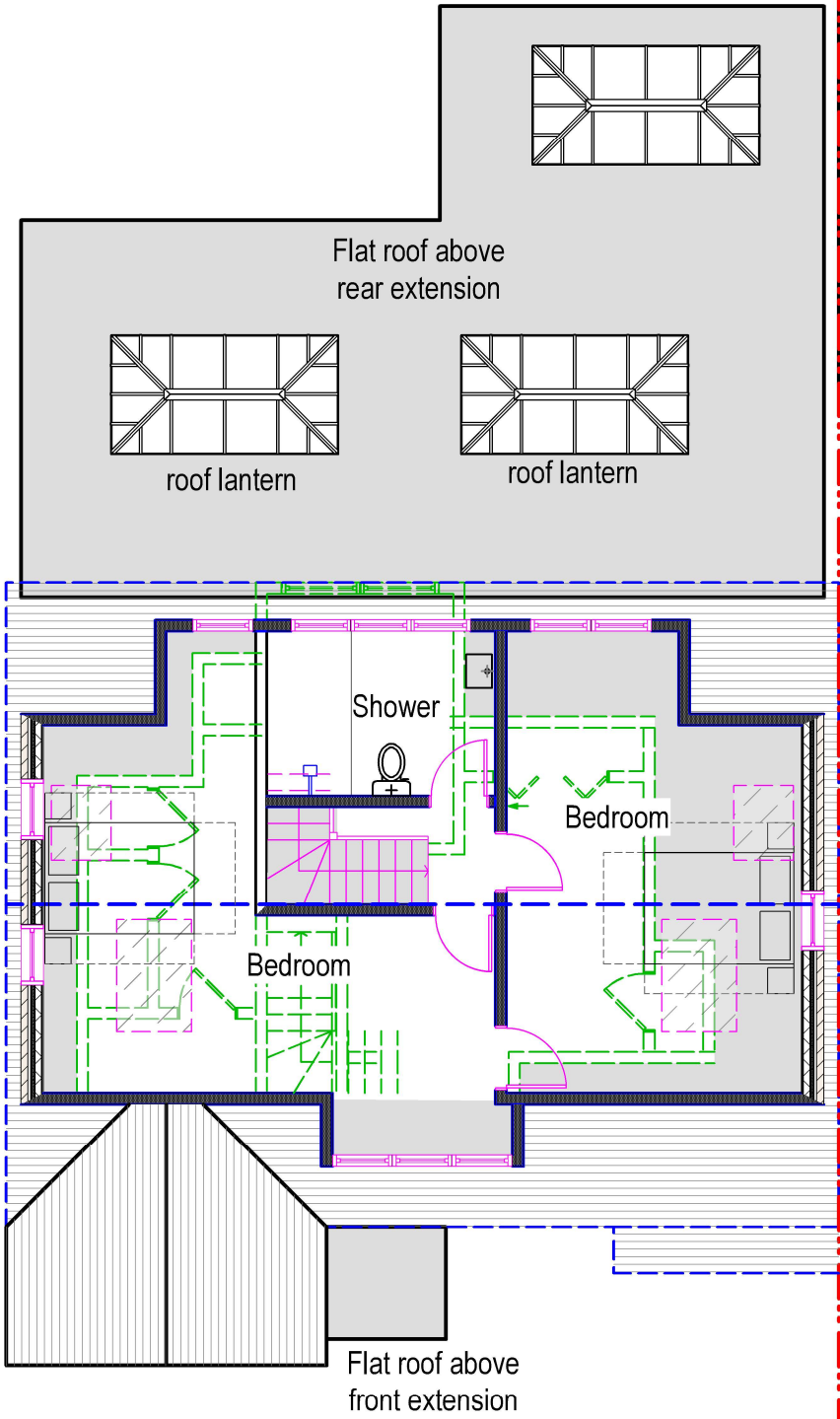
Fully thermally broken construction.

Double up rafters on the side of opening, supporting double
trimmers above & below opening. Bolt together with M12
bolts at 450 c/s.
Must be 450mm minimum clear opening with
non opening fasteners.

Fixed in accordance with the manufacturers instructions.



- New internal walls
- New external walls
- Walls to be demolished
- New doors/windows
- Proposed work shaded
- Rooflight



Garage

Neighbours Rear
Extension

NEIGHBOURS HOUSE
37 Hillside

Neighbours
gaarge

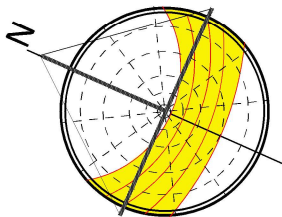
NEIGHBOURS HOUSE
41 Hillside

Flat roof above
front extension

This application seeks to add to an already
approved gable end and rear dormer
application under certificate of lawfulness
REF - 19664/APP/2023/3123

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PROP LOFT PLAN
Scale: 1:100



PROPOSED

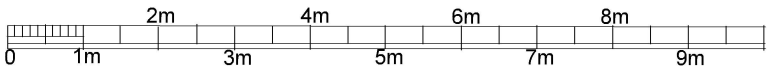
REV A - 13/04/2025
Revisions made to front of property

Purpose - Householder planning application

All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer.	PROJECT: 39 Hillside Road, HA6 1PY	DATE: 20/02/2025
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scale - 1 : 100 @ A3